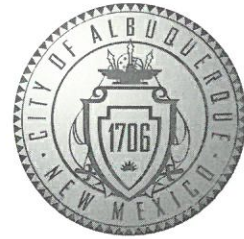


CITY OF ALBUQUERQUE



May 4, 2018

Boehm Architecture
William Boehm
Albuquerque, NM 87XXX

Re: Hollow Spirits Distillery
1324 1st NW
Traffic Circulation Layout
Architect's Stamp **04-04-18** (J14-D129)

Dear Ms. Salas, Mr. Boehm,

Based upon the information provided in your submittal received 04-27-18, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. A scale of 1"=20' is recommended for sites less than 5 acres. Please make the dimension font larger.
2. Label the compact parking spaces by placing the words "**COMPACT**" on the pavement of each space.
3. Please show the location of the ADA and motorcycle parking signs either free-standing or wall mounted per the zoning code.
4. The handicap accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide. ADA parking spaces can be 18 feet long. Would suggest moving one of the ADA spots next to the delivery entrance.
5. A 5 ft. keyway is required for dead-end parking aisles. The landscaping buffer on the northeast side should be adjusted to 5 feet.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact me at 924-3630.

Sincerely,

Logan Patz
Traffic Engineer, Planning Department
Development Review Services

LWP via: email

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

Project Title: Hollow Spirits Distillery **Building Permit #:** 2018-03108 **Hydrology File #:** 540129
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot six-A (6-A) in Block numbered Nineteen (19) of Paris Addition
City Address: 1324 1st St NW

Applicant: Donna Salas **Contact:** Donna Salas
Address: 1324 1st St NW
Phone#: 505-459-5606 **Fax#:** _____ **E-mail:** donnasalas@msn.com

Other Contact: Frank Holloway **Contact:** _____
Address: 1324 1st St NW
Phone#: 505-550-1144 **Fax#:** _____ **E-mail:** _____

Check all that Apply:

IS THIS A RESUBMITTAL?: Yes No

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?



DATE SUBMITTED: 4/25/2018 **By:** Donna Salas

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

HOLLOW SPIRITS
1324 1st St.
Albuquerque, NM 87102

DRAWING LIST

ARCHITECTURAL DRAWINGS	
SHEET	DRAWING TITLE
CS00	COVER SHEET
CS01	CODE REVIEW
CN01	CONSTRUCTION NOTES
LP100	EXISTING SITE PLAN/SURVEY
LP101	SITE IMPROVEMENT PLAN
LP102	TRASH DUMPSTER ACCESS PLAN & DIAGRAM
FS01	EGRESS & FIRE SAFETY
FS02	FIRE SAFETY 2 PLAN & RELATED INFORMATION
Ex-100	EXISTING BUILDING FLOOR PLAN
D100	DEMO PLAN
A100	ARCHITECTURAL FLOOR PLAN
A100.1	EXPANDED ARCHITECTURAL FLOOR PLAN
A101	ROOF PLAN
A200	REFLECTED CEILING PLAN
A300	EXTERIOR BUILDING ELEVATIONS
A400	BUILDING SECTIONS
A600	ENLARGED TOILET PLANS: WOMEN
A601	ENLARGED TOILET PLANS: MEN
A800	PARTITION TYPES (SHEET 1)
A801	PARTITION TYPES (SHEET 2)
A802	PARTITION TYPES (SHEET 3)
A803	INTERIOR ELEVATIONS: POUR ROOM
A1000	FINISH SCHEDULE, DOOR SCHEDULE, WINDOW SCHEDULE

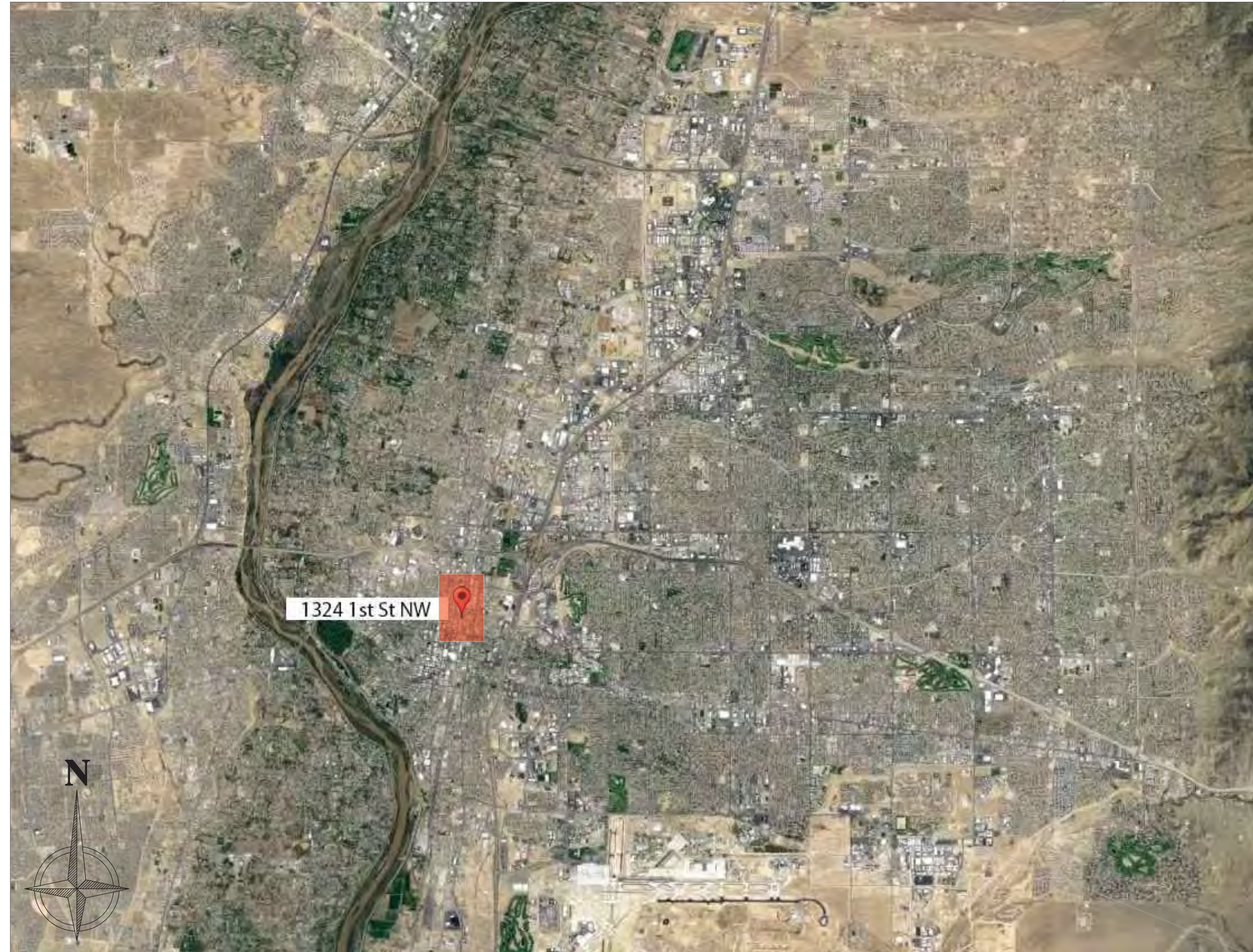
MEP DRAWINGS	
SHEET	DRAWING TITLE
E001	ELECTRICAL LEGEND, NOTES
E101	LIGHTING PLANS & FIXTURE SCHEDULE
E201	POWER & SPECIAL SYSTEMS PLANS AND EQUIPMENT CONNECTION SCHEDULE
E601	ELECTRICAL RISER DIAGRAM & PANEL SCHEDULES
M101	MECHANICAL PLANS
M501	MECHANICAL DETAILS
MP001	MECHANICAL SYMBOL LEGEND & NOTES
MP601	MECHANICAL SCHEDULES
P101	SOIL & VENT PLANS
P102	DOMESTIC WATER PLANS
P401	PLUMBING RISER DIAGRAMS
P501	PLUMBING DETAILS

ZONING COMPLIANCE

PROPOSED USE OF BUILDING SHALL FOLLOW ALL ZONING ORDINANCES AS PER CITY OF ALBUQUERQUE, CODE OF ORDINANCES, CHAPTER 14 - ZONING, PLANNING & BUILDING ARTICLE 16: ZONING CODE

ZONE M-2: HEAVY MANUFACTURING	HOLLOW SPIRITS COMPLIANT?	NOTES
A) PERMISSIVE USES 5) MANUFACTURE OR TREATING OF THE FOLLOWING: B) ALCOHOL	YES	
C) HEIGHT I) STRUCTURE HEIGHT UP TO 36' IS PERMITTED AT ANY LEGAL LOCATION	YES	EXISTING BUILDING HEIGHT IS 18'-6" AT MAXIMUM HEIGHT LOCATION
D) LOT SIZE NO REQUIREMENTS	YES	
E) SETBACK SETBACK SHALL BE PROVIDED IN THE 0-1 ZONE 0-1 ZONE SETBACK REQUIREMENTS THE FOLLOWING REGULATIONS APPLY TO STRUCTURES OTHER THAN SIGNS EXCEPT AS PROVIDED IN 14-16-3-1 & 14-16-3-3 OF THIS ZONING CODE: I) THERE SHALL BE A FRONT & CORNER SIDE YARD SETBACK OF NOT LESS THAN 5' & A SETBACK OF 11' FROM THE JUNCTION OF A DRIVEWAY OR ALLEY & A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION	YES	THE EXISTING BUILDING ALONG 1ST ST IS ON THE PROPERTY LINE (SIDE YARD). HOWEVER, ANY AND ALL NEW WORK WILL BE IN COMPLIANCE WITH 0-1 ZONING SETBACK REQUIREMENTS.
F) OFF-STREET PARKING OFF-STREET PARKING MUST BE PROVIDED AS SET FORTH IN 14-16-3-1 OF THIS ZONING CODE <u>RESTAURANT/BAR WITH DISTILLER'S LICENSE AND IN COMPLIANCE WITH FIRE CODE: 1 PARKING SPACE FOR EVERY 3 SEATS</u> <u>OFFICE: 1 PARKING SPACE FOR EVERY 200 SQUARE FEET OF NET LEASEABLE AREA ON GROUND FLOOR</u>	YES YES	THE BAR WILL HAVE 93 SEATS AND WILL THEREFORE REQUIRE 31 SPACES. THE OFFICE IS 2,000S.F. OF NET LEASEABLE AREA AND THEREFORE REQUIRES 10 SPACES. THE NEW PARKING DESIGN SHOWS A TOTAL OF 41 PARKING SPACES WHICH IS COMPLIANT WITH ZONING REQUIREMENTS

SUMMARY: PROPOSED DESIGN IS COMPLIANT WITH ALL APPLICABLE ZONING REQUIREMENTS



ALBUQUERQUE SATELLITE MAP



SITE VICINITY MAP



EXISTING STREETSCAPE: FRONT ENTRANCE



EXISTING STREETSCAPE: SIDE & REAR



Frank Holloway, CEO
frank@hollowspirits.com
(505) 550-1144

Michael S. Chavez
michaelschavez17@gmail.com
(505) 385-1212

Architect of Record:
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bill@boehmarchitecture.com
(617) 521-9082

M/E/P Engineers:
Testudo Engineering
wayne@testudoeng.com
(505) 554-1282

General Contractor:
Ernie Vallez Construction
vallezconst@msn.com
(505) 550-8884

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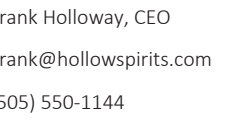
Hollow Spirits
1324 1st St NW
Albuquerque, NM
87102

COVER SHEET

Project number	1700
Date	4/04/2018
Drawn by	MC
Checked by	MC, BB

CS00

Scale NONE



Michael S. Chavez
michaelschavez17@gmail.com
(505) 385-1212

Architect of Record:
Boehm Architecture
Bill@boehmarchitecture.com
(517) 521-9082

M/E/P Engineers:
Testudo Engineering
wayne@testudoeng.com
(505) 554-1282

General Contractor:
 Ernie Vallez Construction
 vallezconst@msn.com
 (505) 550-8884

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

MAY, 2017

LEGAL DESCRIPTION

As contained in the Title Commitment prepared for this property
by Old Republic National Title Insurance Company, Commitment No.
1703484, Effective date: May 11, 2017.

Lot numbered Six-A (6-A) in Block numbered Nineteen (19) of PARIS ADDITION, an Addition to the City of Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on May 11, 1999, in Plat Book 99C, page 113.

FLOOD ZONE DETERMINATION

The subject property (as shown hereon) appears to lie within "Zone X" (areas determined to be outside 0.2% annual chance floodplain) as shown on National Flood Insurance Program Flood Insurance Rate Map No. 35001C0332G, dated 9-26-2008.

EXCEPTIONS

As listed in the Title Commitment prepared for this property by Old Republic National Title Insurance Company, Commitment No. 1703484, Effective date: May 11, 2017,

- | | |
|----|--|
| 9 | Real Property Encroachment Agreement and Covenants Upon Real estate filed December 1, 1989, in Book MSK. 814-A, Page 149, as Document No. 1989102206, records of Bernalillo County, New Mexico.
(Affects subject property - no plottable items) |
| 10 | Any and all rights, claims, liens, easements or equities in favor of the Middle Rio Grande Conservancy District which may affect the insured premises.
(Affects subject property - no plottable items) |
| 11 | Deed of Trust executed by LaDonna M. Carley, a single woman, to Plazza Bank, to Plazza Bank, dated October 15, 2014, as Document No. 2014082768, records of Bernalillo County, New Mexico.
(Affects subject property - no plottable items) |
| 12 | Unrecorded Lease disclosed by Subordination Agreement-Lease executed by the Plaintiff by LaDonna, Inc. LaDonna M. Carley, to Plazza Bank, dated October 2, 2014, filed October 15, 2014, as Document No. 2014082769, records of Bernalillo County, New Mexico.
(Affects subject property - non survey matter) |

No Easements appear on the plot of record.

SURVEYORS CERTIFICATION

To: Frank E. Holloway II; LaDonna M. Carley, a single woman and
Old Republic National Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 8, 9, 11(a) and 14 of Table A thereof. The field work was completed on May 22, 2017.

Russ P. Hugg
NMPS No. 9750
May 25, 2017



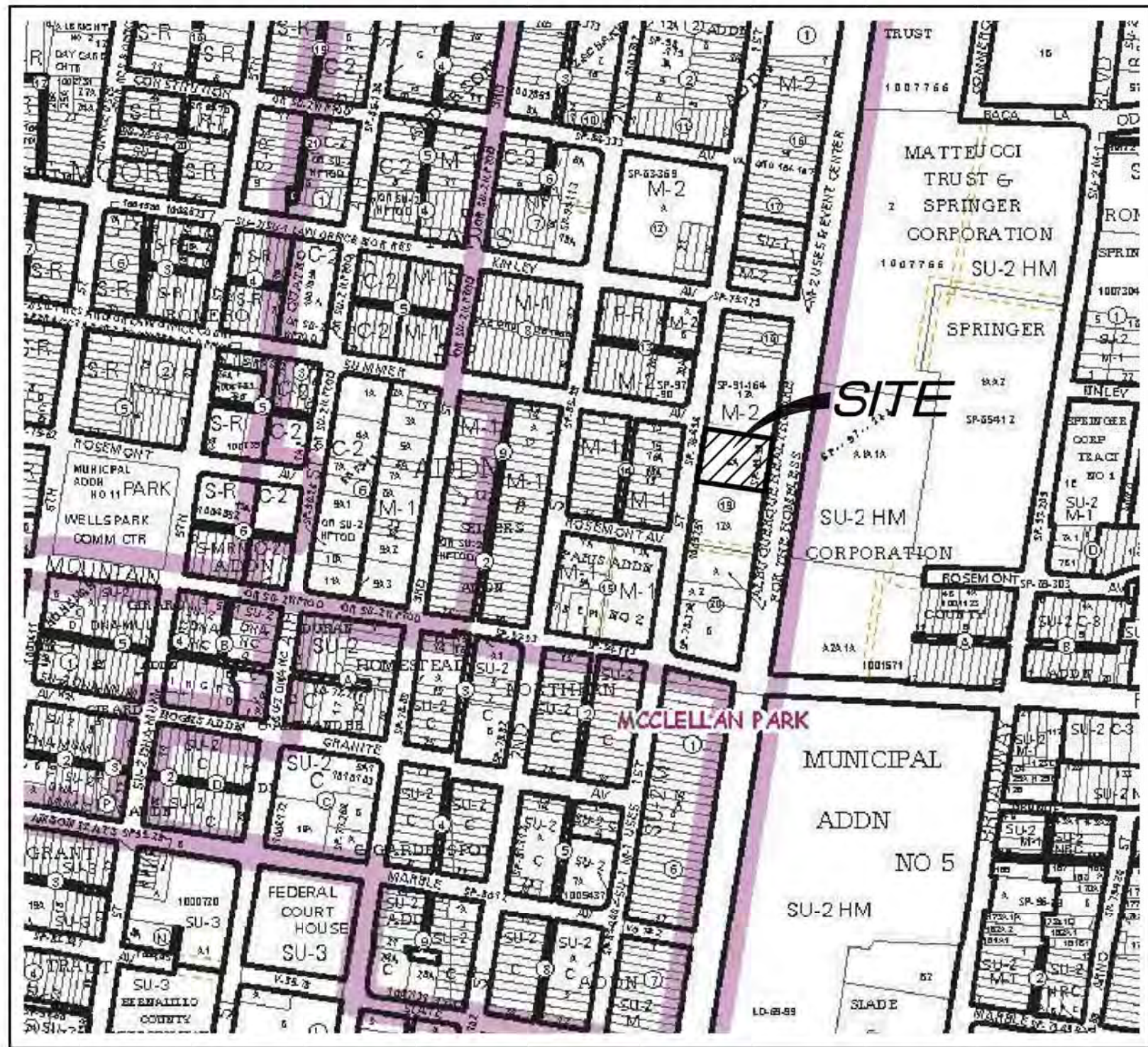
Hollow Spirits
1324 1st St NW
Albuquerque, NM
87102

EXISTING SITE SURVEY

Project number	1700
Date	2/28/2018
Drawn by	MC
Checked by	MC, BB

P100

scale



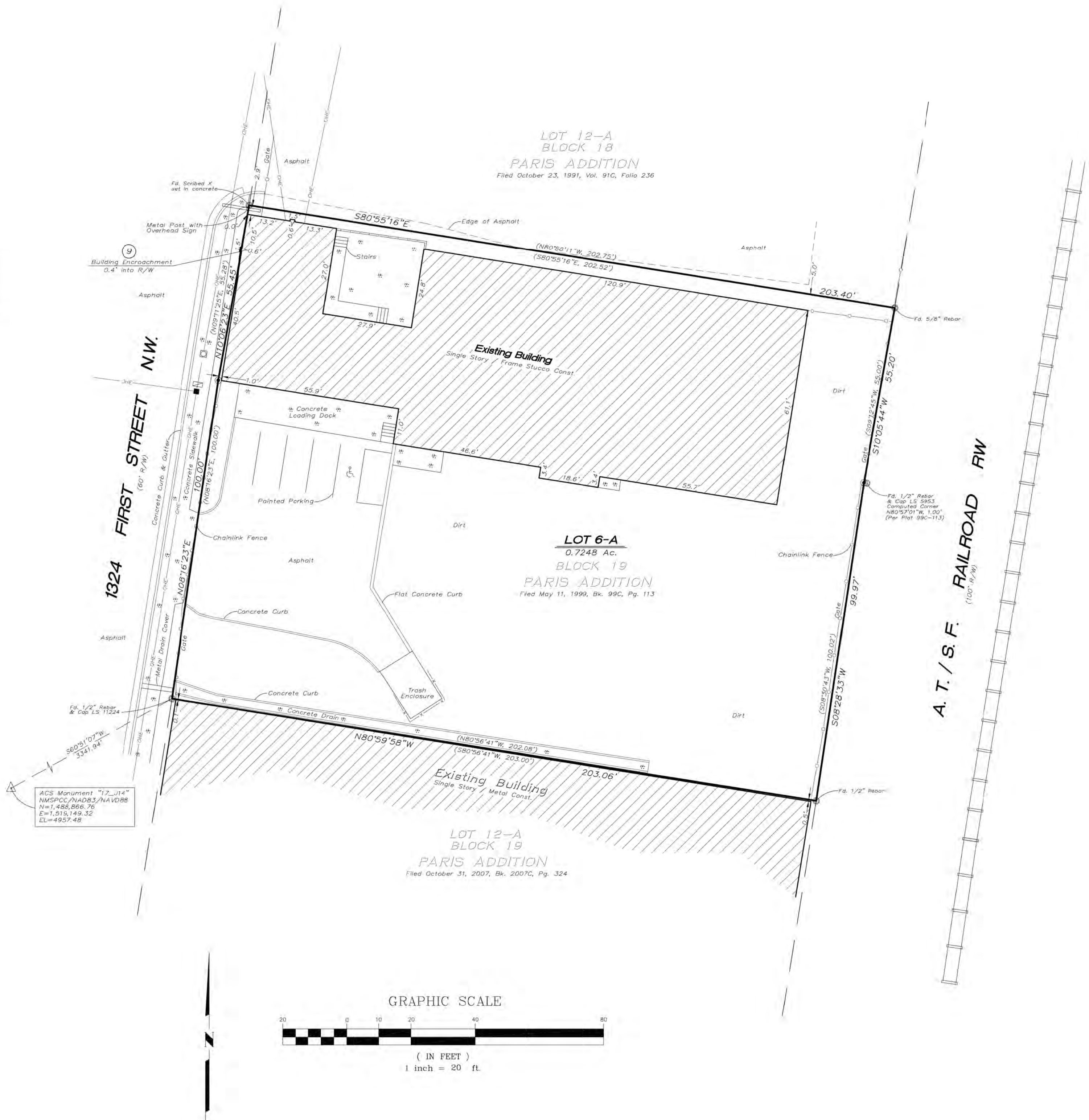
VICINITY MAP
NOT TO SCALE

GENERAL NOTES

1. Bearings are New Mexico State Plane Grid Bearings, Central Zone – NAD83.
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Record plat or deed bearings and distances, where they differ from those established by this field survey, are shown in parentheses ().
5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" or "HUGG L.S. 11808" unless otherwise indicated herein.
6. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or "HUGG L.S. 11808" or concrete nail with brass disk stamped "HUGG L.S. 9750" or "HUGG L.S. 11808" unless otherwise indicated herein.
7. Field surveys were performed during the month of May, 2017.
8. The surveyed property contains 140 total marked parking spaces, including 137 regular marked parking spaces and 3 marked handicap spaces (there is space under a canopy shown hereon for 4 cars – not included in parking count). The number of spaces shown hereon are as-built and not intended to imply conformance to any applicable zoning ordinance or restriction.
9. City of Albuquerque Zone Atlas Page: J-14-Z
10. The Word Certify or Certification as used herein is understood to be an expression of professional opinion by the surveyor, based upon his best knowledge, information and belief, as such, and does not constitute a guarantee, nor a warranty, expressed or implied.
11. The surveyed property is subject to all exceptions pertaining to the surveyed property as listed in SCHEDULE B – SECTION II of the Title Commitment prepared for this property by Old Republic National Title Insurance Company, Certificate No. 1703-84, Effective May 11, 2017.
12. The above described Title Commitment was used in defining easements as shown hereon. Circled numbers by the easement description correspond to the Title Commitment's SCHEDULE B – SECTION II item number. Where possible, said easements have been plotted. Only easements as provided for in said Title Commitment and as described above or described as provided for or designated on the plat of record are shown on this survey.
13. With regard to Table A, Item 11, observed surface evidence only has been shown hereon. Where additional or more detailed information is required, the client is advised that excavation may be necessary. All utilities should be field located and spotted by the contractor(s) prior to commencement of any construction.
14. There is no observable evidence of recent earth moving work, building construction or building additions in the process of conducting the field work.

DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY

- A. Plat entitled "PLAT OF LOT 6-A, BLOCK 19, PARIS ADDITION, ALBUQUERQUE, NEW MEXICO", filed May 11, 1999, Plat Block 99C, Page 113.
- B. Plat entitled "PLAT OF LOT 12-A, BLOCK 19, LOTS A-1 & A-2, BLOCK 20, PARIS ADDITION, ALBUQUERQUE, NEW MEXICO", filed October 31, 2007, Plat Block 2007C, Page 324.
- C. Plat entitled "PLAT OF LOT 12-A, BLOCK 11B, PARIS ADDITION, ALBUQUERQUE, NEW MEXICO", filed October 23, 1991, Plat Block 91C, Page 236.
- D. Title Commitment prepared for the surveyed property by Old Republic National Insurance Company for Title Insurance File No. 1703217, having an Effective date of May 5, 2017.

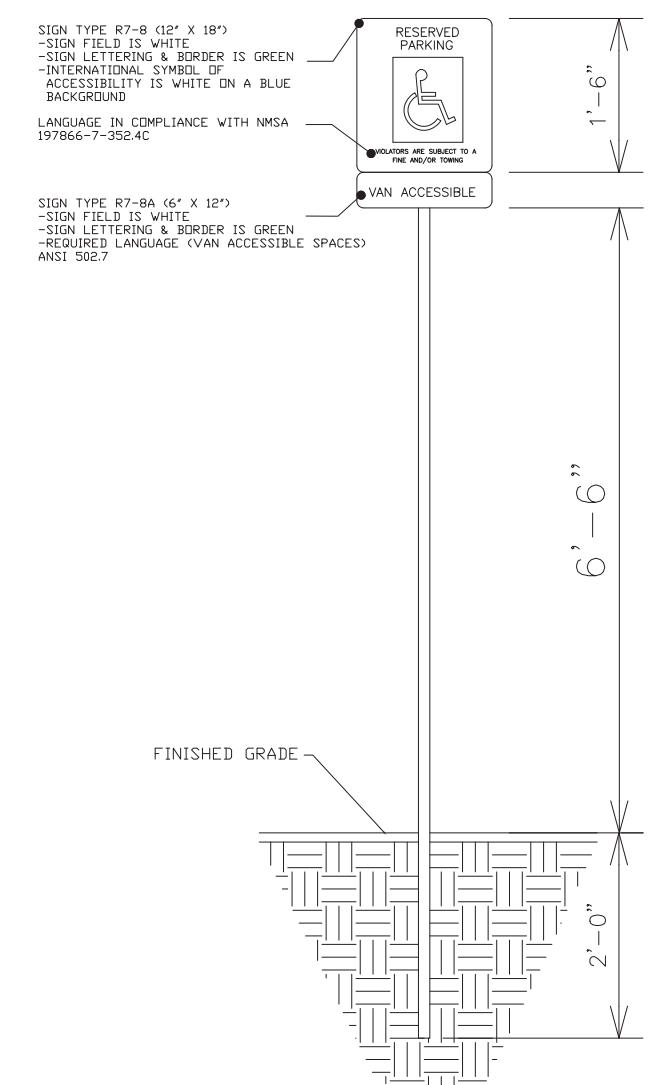


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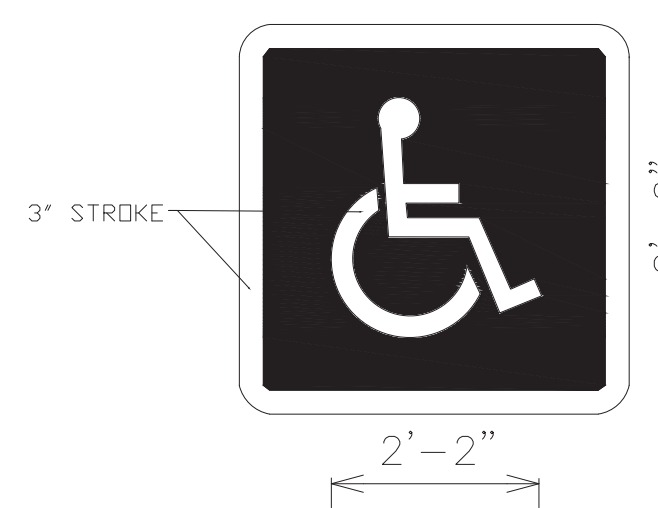
SURV  TEK, INC.

Consulting Surveyors Phone: 505-897-3366
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

ACCESSIBILITY SIGNAGE



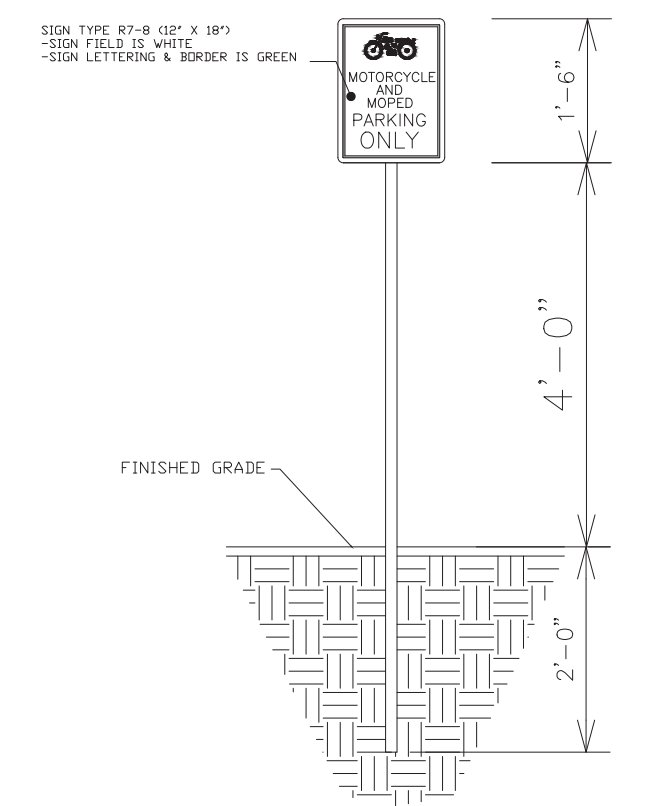
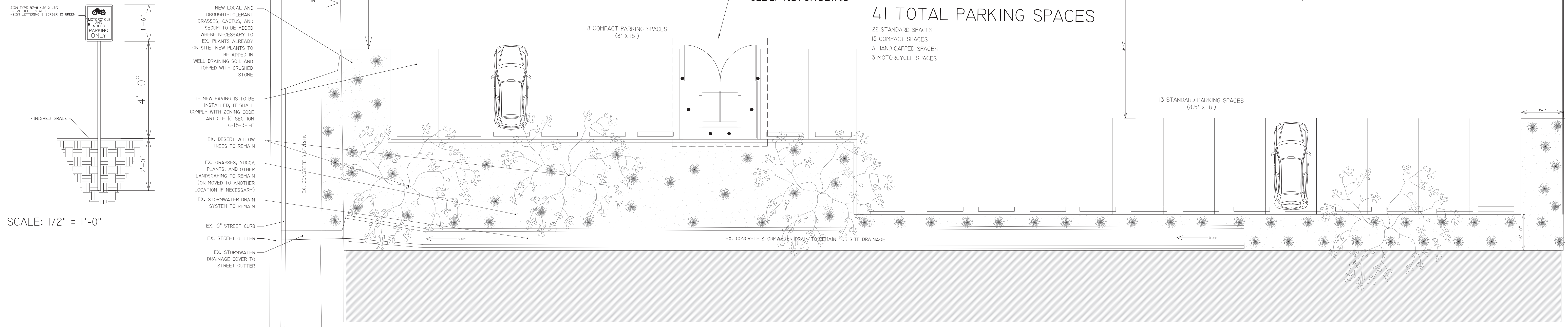
SCALE: 1/2" = 1'-0"



SCALE: 1/2" = 1'-0"

1ST STREET

MOTORCYCLE SIGNAGE

SCAL F: $1/2'' = 1'-0''$ 

PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"



Frank Holloway, CEO
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(505) 385-1212

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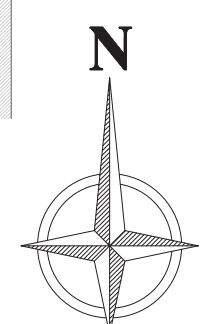
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87102

SITE IMPROVEMENT PLAN

Project number	1700
Date	4/04/2018
Drawn by	MC
Checked by	MC, BB

LP101

Scale $\frac{1}{8}" = 1'-0"$



DUMPSTER ENCLOSURE DETAIL

scale	$\frac{1}{8}'' = 1'-0''$
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