

DRAINAGE PLAN

SCOPE:

Pursuant to the latest City of Albuquerque Ordinance, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. One building is proposed for the subject property, with associated access, parking and landscaping.

EXISTING CONDITIONS:

Presently the 0.78 acre site is developed. The site is bounded on the north by Constitution Ave. on the east by Second Street, on the south by Kinley Ave. and on the west by private property. The site is level. As shown by the FEMA Map Panel No. 332, dated 1996, the site is not located in a 100-year floodplain. Second Street is shown as being in a 100-year floodplain, but the City has installed storm drainage improvements (AMDS Systems 128-02B and 128-04B) which have eliminated the floodplain. No offsite runoff enters the property.

PROPOSED CONDITIONS:

As shown by the plan, the building site is located along the west side of the property. On site flows will drain around the structure and flow to the east. All roof drainage will discharge from the roof to the east parking lot and continue to flow to Second Street via concrete curb openings/channels and sidewalk culverts. Runoff will continue to be allowed to free discharge to the adjacent streets, since the increase in runoff due to development is less than 10%.

Supplemental calculations have been provided to the City of Albuquerque Hydrology Department.

CALCULATIONS:

The calculations shown hereon define the 100 year/6 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per "Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority, latest edition.

Existing Treatment Types:

Treatment A = 0 acres
Treatment B = 0 acres
Treatment C = 0.33 acres
Treatment D = 0.45 acres

Proposed Treatment Types:

Treatment A = 0.00 acres
Treatment B = 0.11 acres
Treatment C = 0.00 acres
Treatment D = 0.67 acres

Using the values above produces the following storm water flows and volumes:

Existing 100-year Flow = 3.15 cfs
Proposed 100-year Flow = 3.40 cfs

Existing 100-year Volume = 4817 cu. ft.
Proposed 100-year Volume = 5468 cu. ft.

PROPERTY ADDRESS:

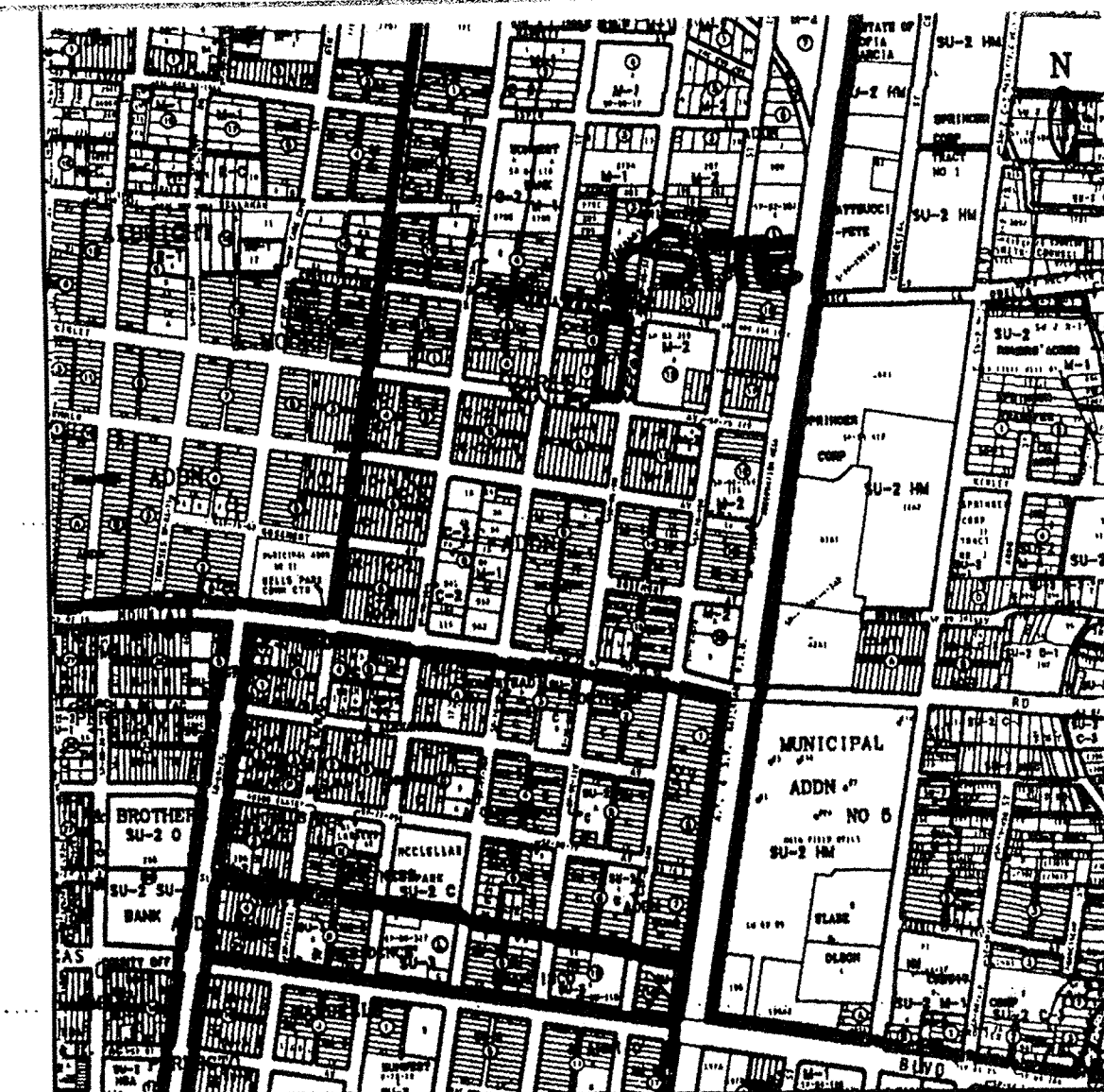
Second Street NW

TOPOGRAPHY:

Topographic information provided by Marquez Surveying Company, dated September 1998.

GENERAL GRADING NOTES:

1. THE CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE, ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO THE EARTHWORK SPECIFICATIONS NOTED IN THE GEOTECHNICAL INVESTIGATION REPORT PREPARED FOR THIS LOT AND CAN BE OBTAINED BE THE OWNER.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS, PERMITS AND APPROVALS.
4. PVC DRAINAGE PIPES MAY REQUIRE FIELD ADJUSTMENT DUE TO SUBSURFACE ROCK. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO INLET/STREET.
5. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY CONDITIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
6. TWO WORKING DAYS PRIOR TO EXCAVATION THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
7. CONTRACTOR SHALL PROVIDE DOUBLE CLEAN-OUTS AT ALL BENDS IN DRAINAGE PIPE.
8. THE TOPSOIL COULD BE SAVED ASIDE FOR RE-USE IN FILLING DISTURBED AREAS AROUND THE STRUCTURE.
9. ALL DISTURBED AREAS ON THE LOT SHALL BE RESEEDING WITH NATIVE SEEDING MATERIAL.
10. THE MAXIMUM GRADED SIDE SLOPE SHALL NOT EXCEED 3 FEET (HORIZONTALLY) TO 1 FOOT (VERTICALLY)
11. AREAS DISTURBED DUE TO GRADING SHALL BE RESEEDING IN ACCORDANCE WITH CITY OF ALBUQUERQUE STD. SPECIFICATION 1012 - NATIVE GRASS SEEDING, O.A.E.



VICINITY MAP

ZONE ATLAS: J-14

LEGEND

EXISTING PROPOSED

CONTOUR

WALL

PROPERTY LINE

EASEMENT

METER

CURB AND GUTTER

SPOT ELEVATION

S.O. 19 NOTES

NOTICE TO CONTRACTOR

1. An excavation/construction permit will be required before beginning any work within City right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Interim Standard Specifications for Public Works Construction, 1986 as amended through the latest edition.
3. Two working days prior to any excavation, contractor must contact New Mexico One Call System, 260-1990, for location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all constructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to _____ street use.
6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT OF WAY

DESIGN APPROVAL _____ Date _____

INSPECTION APPROVAL _____ Date _____

ACCEPTANCE _____ Date _____

ROUTE AS-BUILT DWG. TO MAPS AND RECORDS
ROUTE 1-COPY OF AS-BUILT TO HYDROLOGY SECTION

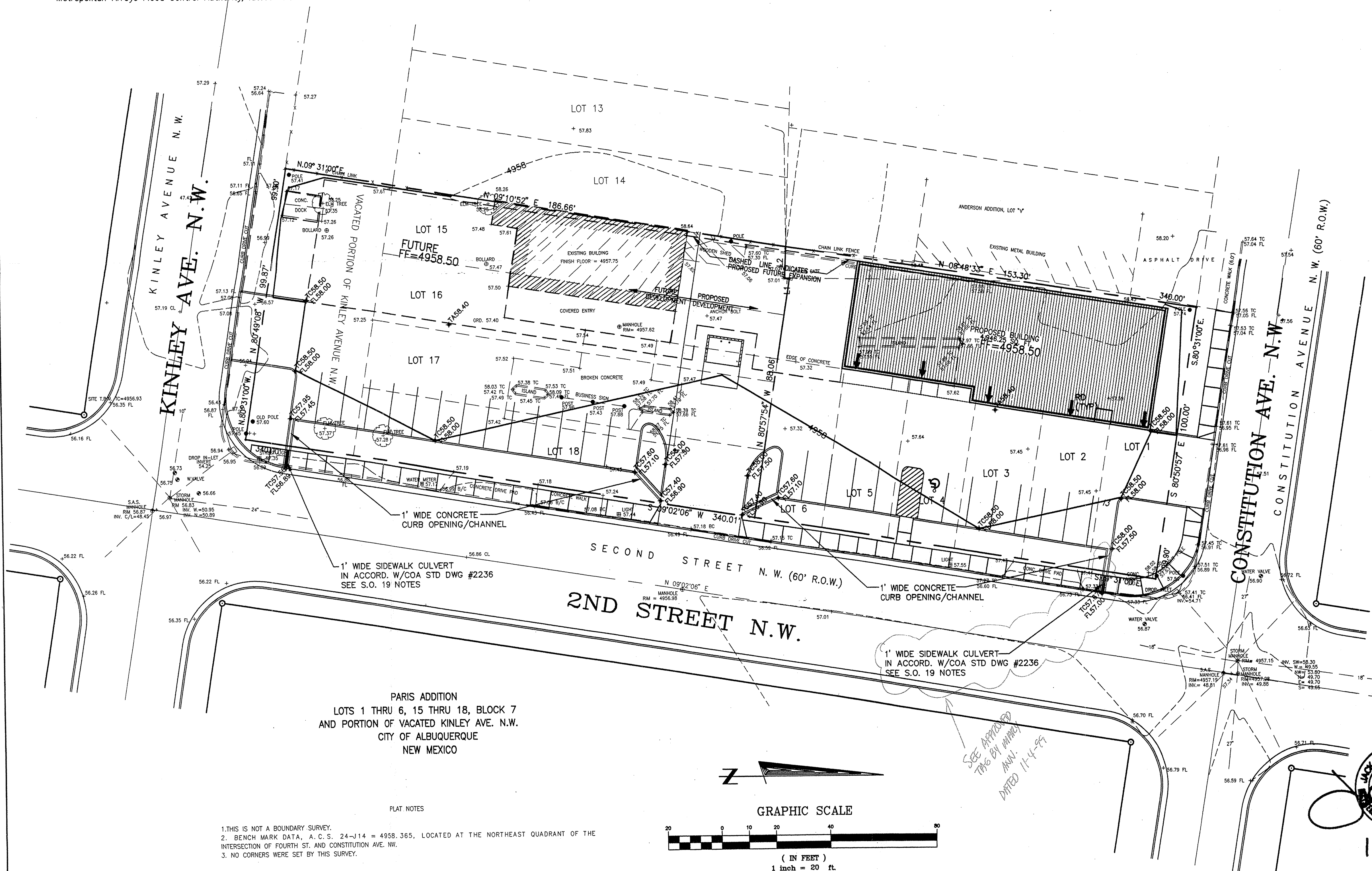
NOT Stamped
for CERTIFICATION
RECEIVED
FEB 24 2000
CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO

LOTS 1-6, 15-18, BLOCK 7
PARIS ADDITION

STEWART BUILDING DEVELOPMENT

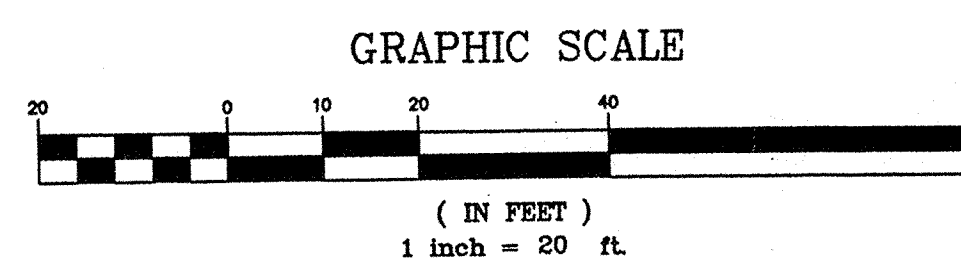
McDowell Engineering Inc.

Designed JSM Drawn STAFF Checked JSM Sheet 1 of 1
File STE0198L Date NOVEMBER, 1998



GRADING
11-30-98
1=20
STE0198L

- PLAT NOTES
1. THIS IS NOT A BOUNDARY SURVEY.
 2. BENCHMARK DATA, A.C.S. 24-J14 = 4958.365, LOCATED AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF FOURTH ST. AND CONSTITUTION AVE. NW.
 3. NO CORNERS WERE SET BY THIS SURVEY.



SEE APPROVED
TRNG BY MARY ANN
DATED 11-4-99

11-30-98
SEE 2/3/99
Certified GAD