

DRAINAGE PLAN

SCOPE:

Pursuant to the latest City of Albuquerque Ordinance, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. One building is proposed for the subject property, with associated access, parking and landscaping.

EXISTING CONDITIONS:

Presently the 0.78 acre site is developed. The site is bounded on the north by Constitution Ave, on the east by Second Street, on the south by Kinley Ave. and on the west by private property. The site is level. As shown by the FEMA Map Panel No. 332, dated 1996, the site is not located in a 100-year floodplain. Second Street is shown as being in a 100-year floodplain, but the City has installed storm drainage improvements (AMDS Systems 128-02B and 128-04B) which have eliminated the floodplain. No offsite runoff enters the property.

PROPOSED CONDITIONS:

As shown by the plan, the building site is located along the west side of the property. On site flows will drain around the structure and flow to the east. All roof drainage will discharge from the roof to the east parking lot and continue to flow to Second Street via concrete curb openings/channels and sidewalk culverts. Runoff will continue to be allowed to free discharge to the adjacent streets, since the increase in runoff due to development is less than 10%.

Supplemental calculations have been provided to the City of Albuquerque Hydrology Department.

CALCULATIONS:

The calculations shown hereon define the 100 year/6 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per "Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority, latest edition.

Existing Treatment Types:

Treatment A = 0 acres
Treatment B = 0 acres
Treatment C = 0.33 acres
Treatment D = 0.45 acres

Proposed Treatment Types:

Treatment A = 0.00 acres
Treatment B = 0.11 acres
Treatment C = 0.00 acres
Treatment D = 0.67 acres

Using the values above produces the following storm water flows and volumes:

Existing 100-year Flow = 3.15 cfs
Proposed 100-year Flow = 3.40 cfs

Existing 100-year Volume = 4817 cu. ft.
Proposed 100-year Volume = 5468 cu. ft.

PROPERTY ADDRESS:

Second Street NW

TOPOGRAPHY:

Topographic information provided by Marquez Surveying Company, dated September 1998.

GENERAL GRADING NOTES:

1. THE CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE, ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO THE EARTHWORK SPECIFICATIONS NOTED IN THE GEOTECHNICAL INVESTIGATION REPORT PREPARED FOR THIS LOT AND CAN BE OBTAINED BE THE OWNER.
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4. PVC DRAINAGE PIPES MAY REQUIRE FIELD ADJUSTMENT DUE TO SUBSURFACE ROCK. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO INLET/STREET.
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8. THE TOPSOIL COULD BE SAVED ASIDE FOR RE-USE IN FILLING DISTURBED AREAS AROUND THE STRUCTURE.
9. ALL DISTURBED AREAS ON THE LOT SHALL BE RESEED WITH NATIVE SEEDING MATERIAL.
10. THE MAXIMUM GRADED SIDE SLOPE SHALL NOT EXCEED 3 FEET (HORIZONTALLY) TO 1 FOOT (VERTICALLY)
11. AREAS DISTURBED DUE TO GRADING SHALL BE RESEED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STD. SPECIFICATION 1012 - NATIVE GRASS SEEDING, O.A.E.



VICINITY MAP

ZONE ATLAS: J-14

LEGEND

	EXISTING	PROPOSED
CONTOUR	5900	5850
WALL		
PROPERTY LINE		
EASEMENT		
METER		
CURB AND GUTTER		
SPOT ELEVATION	5235.39	

S.O. 19 NOTES

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PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT OF WAY

DESIGN APPROVAL	Hydrology Section	Date
INSPECTION APPROVAL	Trans./Street Maint.	Date
ACCEPTANCE	Construction Mgt. Div.	Date

ROUTE AS-BUILT DWG. TO MAPS AND RECORDS
ROUTE 1-COPY OF AS-BUILT TO HYDROLOGY SECTION

SUB-BASIN MAP FOR CURB OPENING CALCS

CITY OF ALBUQUERQUE, BERNALILLO COUNTY

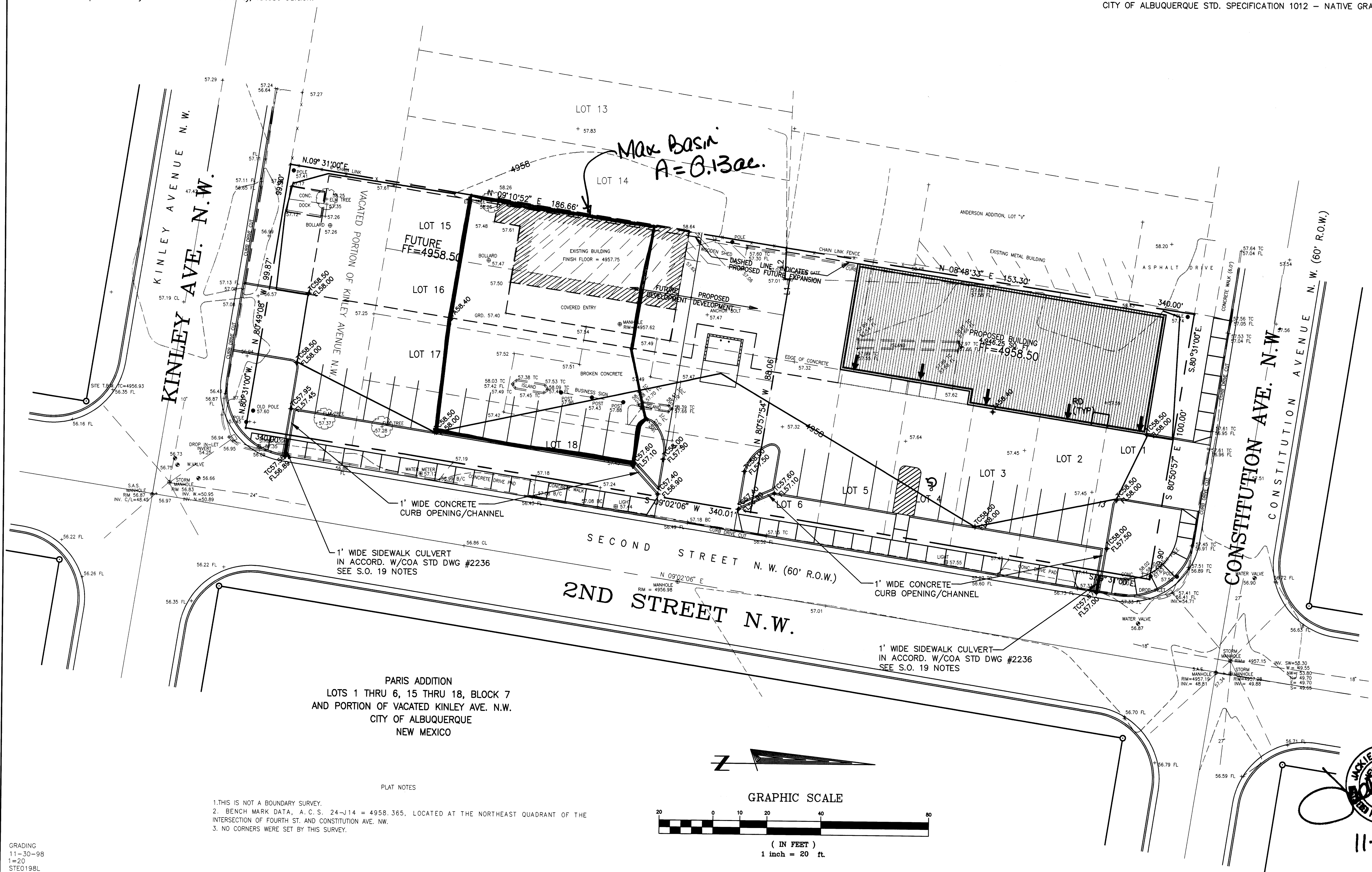
NEW MEXICO

LOTS 1-6, 15-18, BLOCK 7
PARIS ADDITION

STEWART BUILDING DEVELOPMENT

McDowell Engineering Inc.

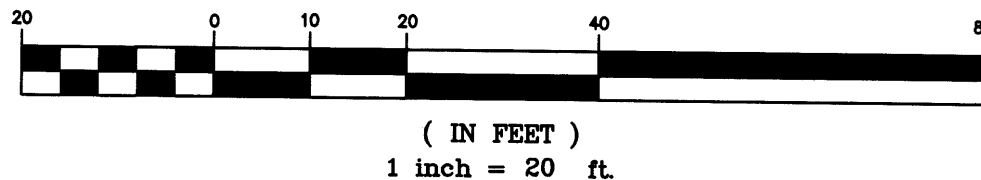
Designed	JSM	Drawn	STAFF	Checked	JSM	Sheet	of
File	STE0198L	Date	NOVEMBER, 1998			1	1



GRADING
11-30-98
1=20
STE0198L

- PLAT NOTES
1. THIS IS NOT A BOUNDARY SURVEY.
 2. BENCH MARK DATA, A.C.S. 24-J14 = 4958.365, LOCATED AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF FOURTH ST. AND CONSTITUTION AVE. NW.
 3. NO CORNERS WERE SET BY THIS SURVEY.

GRAPHIC SCALE



11-30-98

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VICINITY MAP

ZONE ATLAS: J-14

LEGEND

	EXISTING	PROPOSED
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WALL		
PROPERTY LINE		
EASEMENT		
METER		
CURB AND GUTTER		
SPOT ELEVATION		
AS-BUILT ELEV.		

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INSPECTION APPROVAL	Trans./Street Maint.	Date
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ROUTE AS-BUILT DWG. TO MAPS AND RECORDS
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CITY OF ALBUQUERQUE, BERNALILLO COUNTY

LOTS 1-6, 15-18, BLOCK 7
PARIS ADDITION

STEWART BUILDING DEVELOPMENT

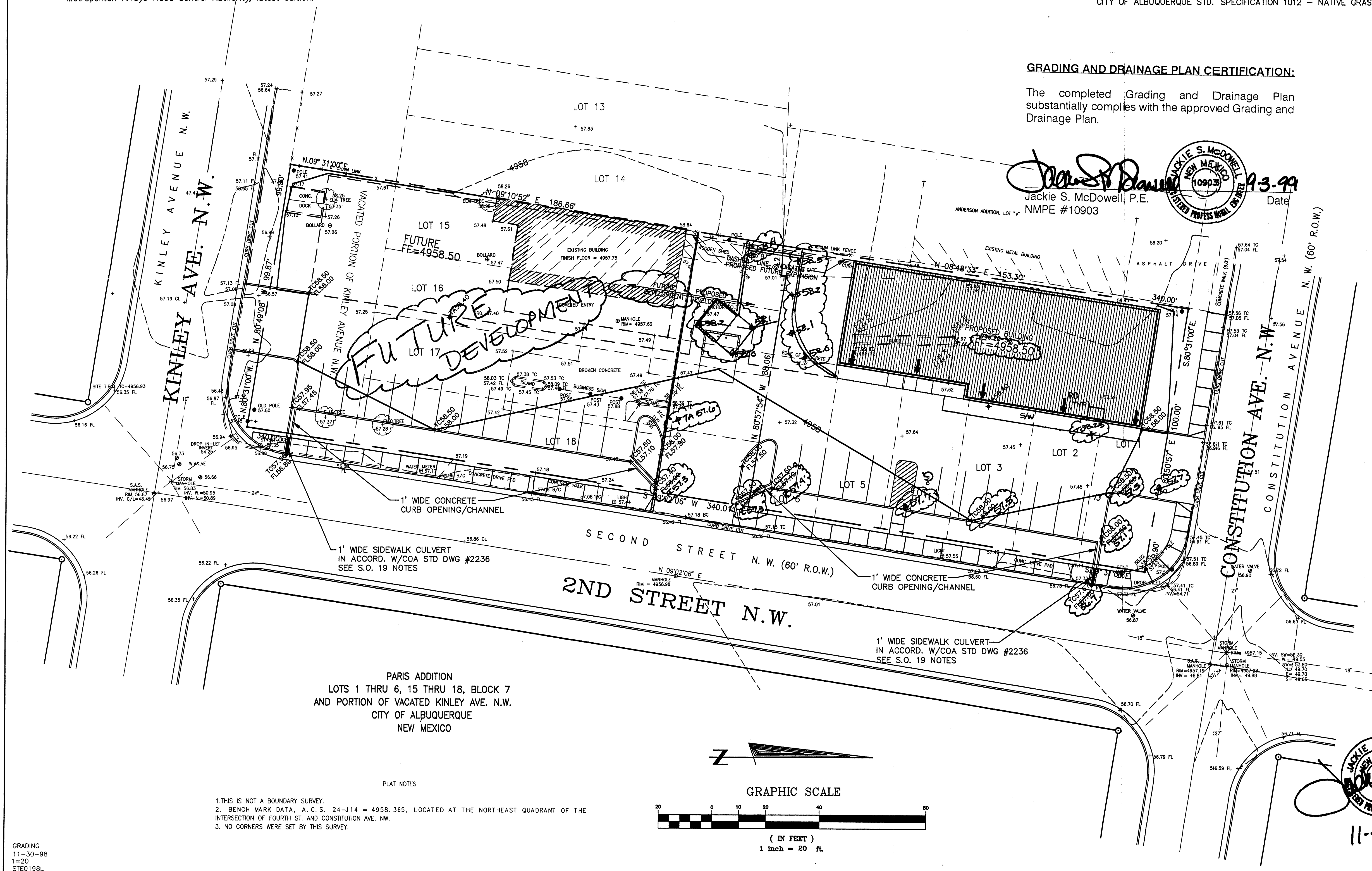
McDowell Engineering Inc.

Designed JSM	Drawn STAFF	Checked JSM	Sheet of
File STE0198L	Date NOVEMBER, 1998		1 1

GRADING AND DRAINAGE PLAN CERTIFICATION:

The completed Grading and Drainage Plan substantially complies with the approved Grading and Drainage Plan.

Jackie S. McDowell, P.E.
NMPE #10903

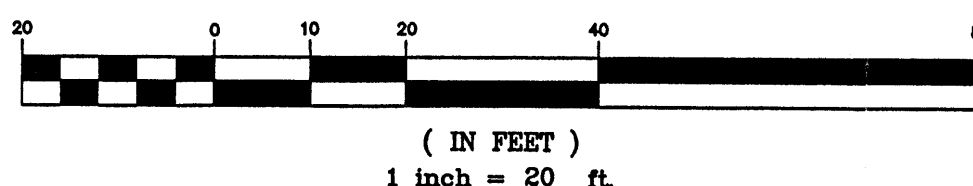


GRADING
11-30-98
1=20
STE0198L

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PLAT NOTES

GRAPHIC SCALE



11-30-98

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VICINITY MAP

ZONE ATLAS: J-14

	LEGEND	
	EXISTING	PROPOSED
CONTOUR	5900	5850
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PROPERTY LINE		
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CURB AND GUTTER		
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ACCEPTANCE	Construction Mgt. Div.	Date
ROUTE AS-BUILT DWG. TO MAPS AND RECORDS ROUTE 1-COPY OF AS-BUILT TO HYDROLOGY SECTION		

NOT Stamped for CERTIFICATION

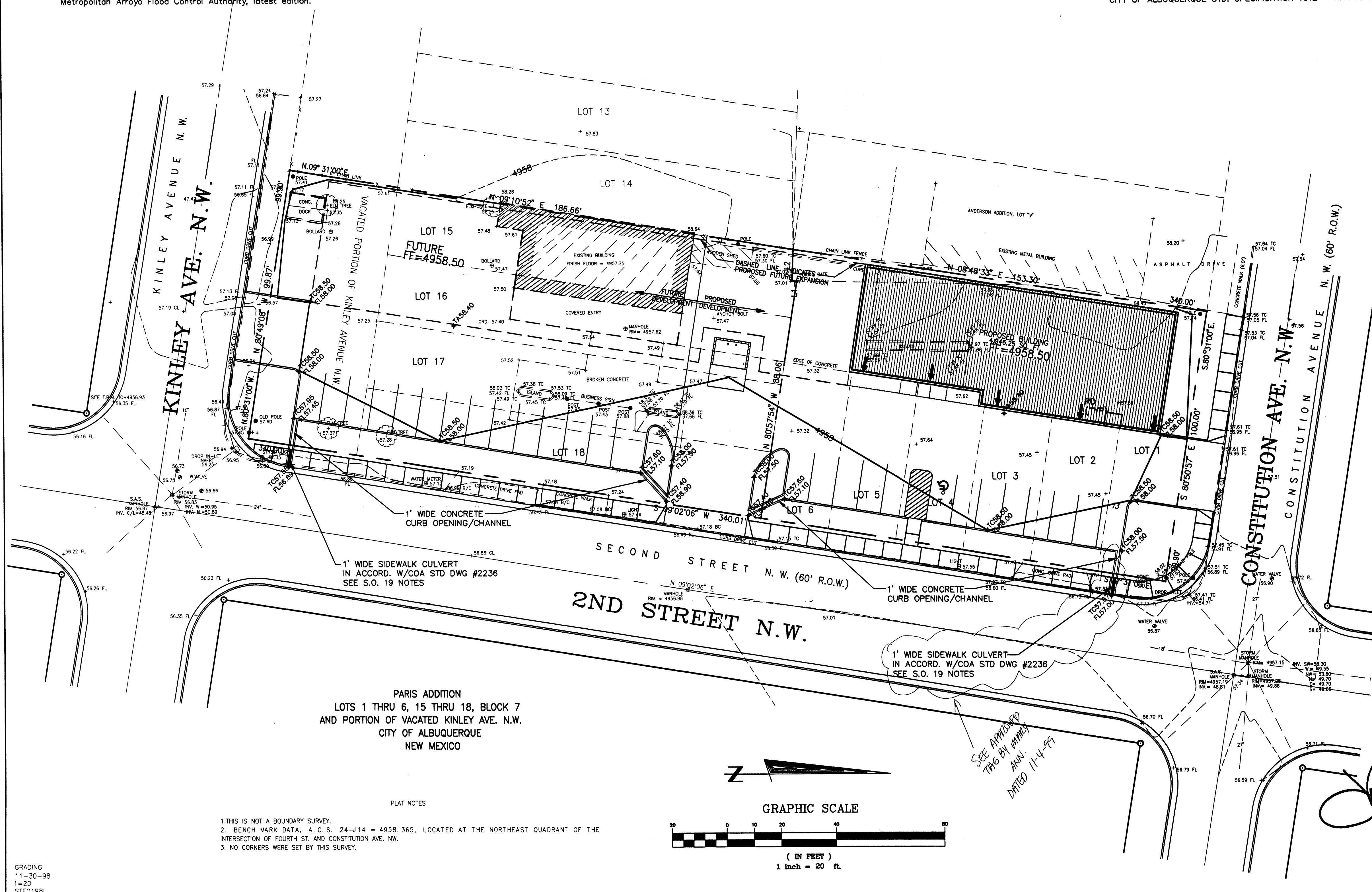
CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO

LOTS 1-6, 15-18, BLOCK 7
PARIS ADDITION

STEWART BUILDING DEVELOPMENT

McDowell Engineering Inc.

Designed JSM	Drawn STAFF	Checked JSM	Sheet of
File STE0198L	Date NOVEMBER, 1998	1	1



RECEIVED
FEB 24 2000
HYDROLOGY SECTION

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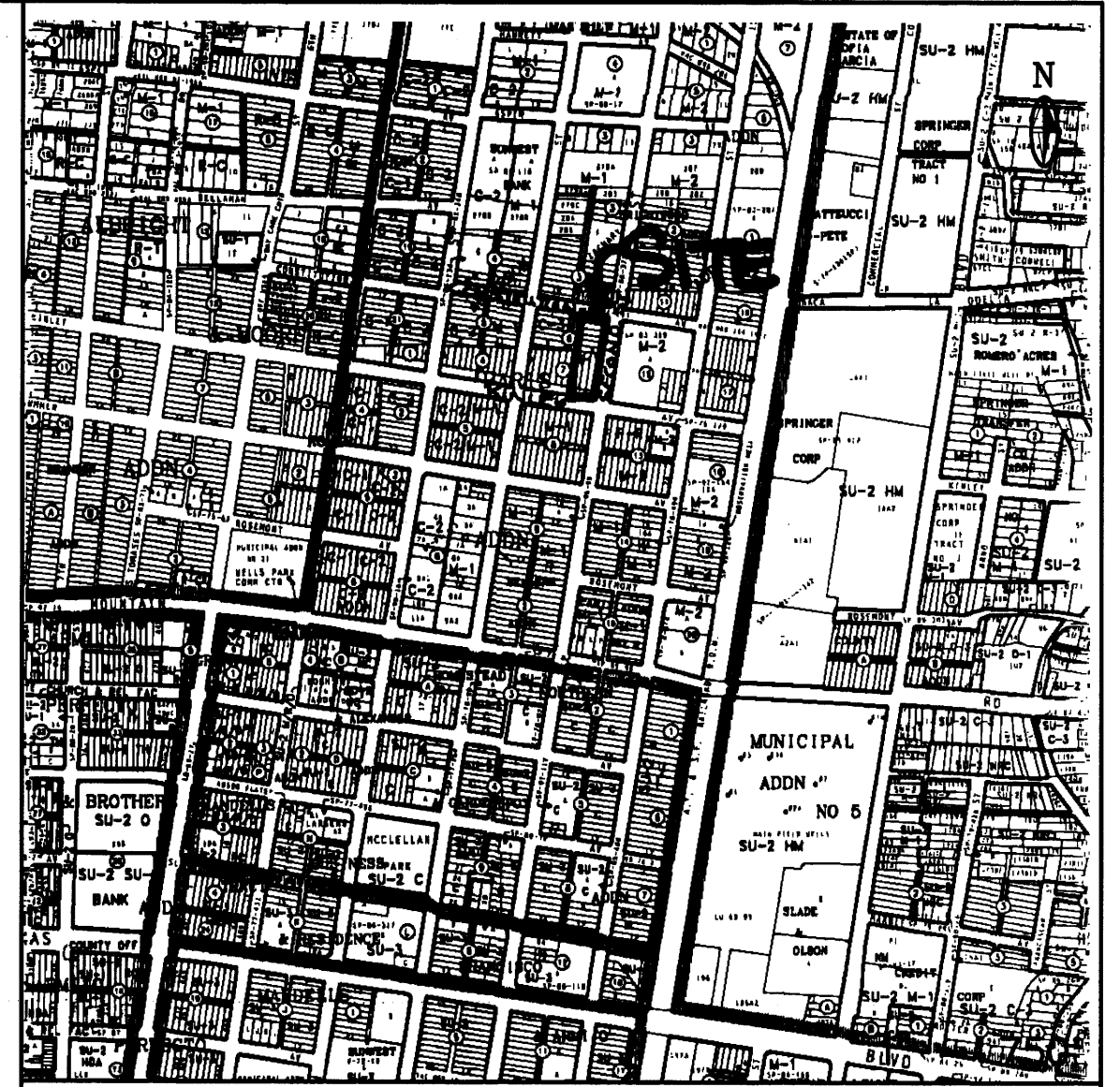
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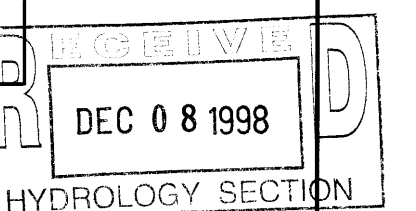
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S.O. 19 NOTES

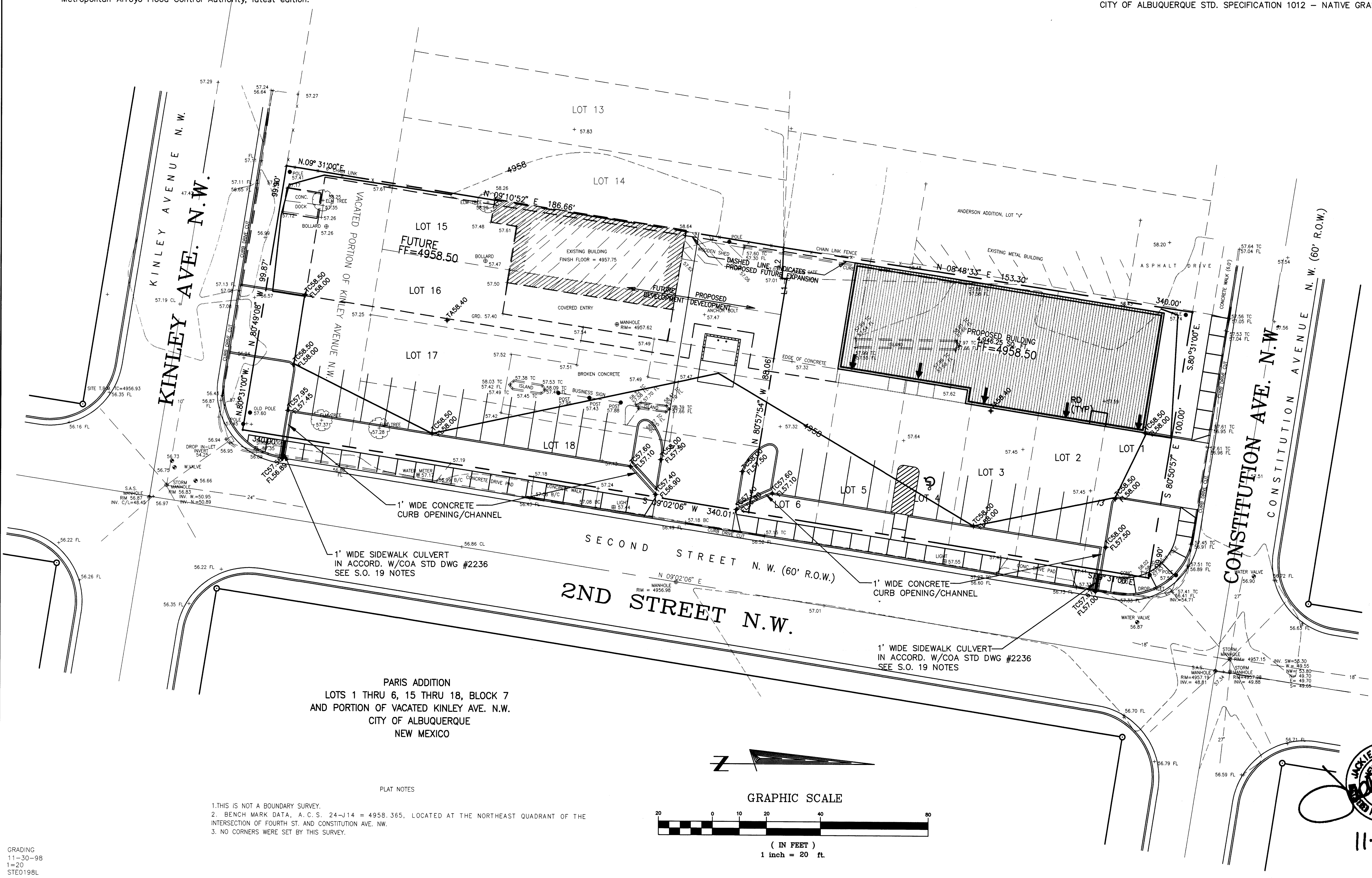
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