DRAINAGE PLAN GENERAL GRADING NOTES: Existing Treatment Types: SCOPE: 1. THE CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE, ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION. Treatment A = 0 acres Pursuant to the latest City of Albuquerque Ordinance, the Drainage Plan shown hereon outlines Treatment B = 0 acres the drainage management criteria for controlling developed runoff on and exiting the project site. THE CONTRACTOR IS TO REFER TO THE EARTHWORK SPECIFICATIONS NOTED IN THE Treatment C = 0.33 acres One building is proposed for the subject property, with associated access, parking and GEOTECHNICAL INVESTIGATION REPORT PREPARED FOR THIS LOT AND CAN BE Treatment D = 0.45 acres landscaping. OBTAINED BE THE OWNER. Proposed Treatment Types: **EXISTING CONDITIONS:** THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR Treatment A = 0.00 acres Presently the 0.78 acre site is developed. The site is bounded on the north by Constitution Ave, PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS, PERMITS AND Treatment B = 0.11 acres on the east by Second Street, on the south by Kinley Ave. and on the west by private property. APPROVALS. The site is level. As shown by the FEMA Map Panel No. 332, dated 1996, the site is not Treatment C = 0.00 gcres located in a 100-year floodplain. Second Street is shown as being in a 100-year floodplain, but Treatment D = 0.67 acres 4. PVC DRAINAGE PIPES MAY REQUIRE FIELD ADJUSTMENT DUE TO SUBSURFACE ROCK. the City has installed storm drainage improvements (AMDS Systems 128-02B and 128-04B) CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO INLET/STREET. Using the values above produces the following storm water flows and volumes: which have eliminated the floodplain. No offsite runoff enters the property. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY CONDITIONS AND Existing 100—year Flow = 3.15 cfs PROPOSED CONDITIONS: NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. Proposed 100-year Flow = 3.40 cfs As shown by the plan, the building site is located along the west side of the property. On site TWO WORKING DAYS PRIOR TO EXCAVATION THE CONTRACTOR SHALL CONTACT NEW Existing 100-year Volume = 4817 cu. ft. flows will drain around the structure and flow to the east. All roof drainage will discharge from MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES. the roof to the east parking lot and continue to flow to Second Street via concrete curb Proposed 100-year Volume = 5468 cu. ft. openings/channels and sidewalk culverts. 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THE MAXIMUM GRADED SIDE SLOPE SAHLL NOT EXCEED 3 FEET (HORIZONTALLY) of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, TO 1 FOOT (VERTICALLY) New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque VICINITY MAP 11. AREAS DISTURBED DUE TO GRADING SHALL BE RESEEDED IN ACCORDANCE WITH Metropolitan Arroyo Flood Control Authority, latest edition. CITY OF ALBUQUERQUE STD. SPECIFICATION 1012 - NATIVE GRASS SEEDING, O.A.E. **LEGEND EXISTING** CONTOUR WALL PROPERTY LINE EASEMENT **METER** Z ANDERSON ADDITION, LOT "V" SPOT ELEVATION F=4958 2 ASPHALT S.O. 19 NOTES NOTICE TO CONTRACTOR 1. An excavation/construction permit will be required before beginning any work within City right-of-way. An approved copy of these plans must be submitted at the time of application for this permit. 2. 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W/COA STD DWG #2236 SND STREET N.W. 57.01 SEE S.O. 19 NOTES —1' WIDE CONCRETE——56.60 CURB OPENING/CHANNEL INSPECTION APPROVAL 1' WIDE SIDEWALK CULVERT—IN ACCORD. W/COA STD DWG #2236 PARIS ADDITION LOTS 1 THRU 6, 15 THRU 18, BLOCK 7

GRAPHIC SCALE

(IN FEET)

1 inch = 20 ft.

AND PORTION OF VACATED KINLEY AVE. N.W. CITY OF ALBUQUERQUE

PLAT NOTES

2. BENCH MARK DATA, A.C.S. 24-J14 = 4958.365, LOCATED AT THE NORTHEAST QUADRANT OF THE

1.THIS IS NOT A BOUNDARY SURVEY.

GRADING

11-30-98 1=20 STE0198L

3. NO CORNERS WERE SET BY THIS SURVEY.

INTERSECTION OF FOURTH ST. AND CONSTITUTION AVE. NW.

NEW MEXICO

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT OF WAY ROUTE AS-BUILT DWG. TO MAPS AND RECORDS ROUTE 1-COPY OF AS-BUILT TO HYDROLOGY SECTION SUB-BASIN MAP FOR CURB OPENING CALCS CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO

ZONE ATLAS: J-14

PROPOSED

LOTS 1-6, 15-18, BLOCK 7 PARIS ADDITION STEWART BUILDING DEVELOPMENT

McDowell Engineering 9nc.

Designed JSM Drawn STAFF STE0198L NOVEMBER, 1998

11-30-98

GENERAL GRADING NOTES: DRAINAGE PLAN Existing Treatment Types: 1. THE CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE, ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION. Treatment A = 0 acres Pursuant to the latest City of Albuquerque Ordinance, the Drainage Plan shown hereon outlines Treatment B = 0 acres 2. THE CONTRACTOR IS TO REFER TO THE EARTHWORK SPECIFICATIONS NOTED IN THE the drainage management criteria for controlling developed runoff on and exiting the project site. Treatment C = 0.33 acres GEOTECHNICAL INVESTIGATION REPORT PREPARED FOR THIS LOT AND CAN BE One building is proposed for the subject property, with associated access, parking and Treatment D = 0.45 acres OBTAINED BE THE OWNER. landscaping. 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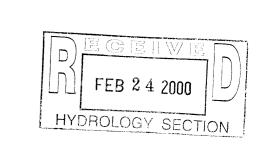
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GENERAL GRADING NOTES: DRAINAGE PLAN THE CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM THE CITY Existing Treatment Types: OF ALBUQUERQUE, ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION. SCOPE: Treatment A = 0 acres THE CONTRACTOR IS TO REFER TO THE EARTHWORK SPECIFICATIONS NOTED IN THE Pursuant to the latest City of Albuquerque Ordinance, the Drainage Plan shown hereon outlines Treatment B = 0 acres GEOTECHNICAL INVESTIGATION REPORT PREPARED FOR THIS LOT AND CAN BE the drainage management criteria for controlling developed runoff on and exiting the project site. Treatment C = 0.33 acres One building is proposed for the subject property, with associated access, parking and OBTAINED BE THE OWNER. Treatment D = 0.45 acres landscaping. 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W/COA STD DWG #2236 SEE S.O. 19 NOTES 2ND STREET N.W. 1' WIDE CONCRETE 56.6 CURB OPENING/CHANNEL 1' WIDE SIDEWALK CULVERT-IN ACCORD. W/COA STD DWG #2236/ ROUTE AS-BUILT DWG. TO MAPS AND RECORDS SEE S.O. 19 NOTES ROUTE 1-COPY OF AS-BUILT TO HYDROLOGY SECTION PARIS ADDITION NOT Stompad LOTS 1 THRU 6, 15 THRU 18, BLOCK 7 for CERTIFICATION AND PORTION OF VACATED KINLEY AVE. N.W. CITY OF ALBUQUERQUE CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO LOTS 1-6, 15-18, BLOCK 7 PARIS ADDITION STEWART BUILDING DEVELOPMENT PLAT NOTES GRAPHIC SCALE 1.THIS IS NOT A BOUNDARY SURVEY. McDowell Engineering 9nc. 11-30-98 SEE 9/3/99 L 2. BENCH MARK DATA, A.C.S. 24-J14 = 4958.365, LOCATED AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF FOURTH ST. AND CONSTITUTION AVE. NW. 3. NO CORNERS WERE SET BY THIS SURVEY. (IN FEET) 1 inch = 20 ft.Designed JSM Drawn STAFF GRADING 11-30-98 1=20 STE0198L NOVEMBER, 1998

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HYDROLOGY SECTION



GENERAL GRADING NOTES: DRAINAGE PLAN Existing Treatment Types: SCOPE: THE CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE, ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION. Treatment A = 0 acres Pursuant to the latest City of Albuquerque Ordinance, the Drainage Plan shown hereon outlines Treatment B = 0 acres the drainage management criteria for controlling developed runoff on and exiting the project site. THE CONTRACTOR IS TO REFER TO THE EARTHWORK SPECIFICATIONS NOTED IN THE Treatment C = 0.33 acres GEOTECHNICAL INVESTIGATION REPORT PREPARED FOR THIS LOT AND CAN BE One building is proposed for the subject property, with associated access, parking and Treatment D = 0.45 acres OBTAINED BE THE OWNER. landscaping. 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