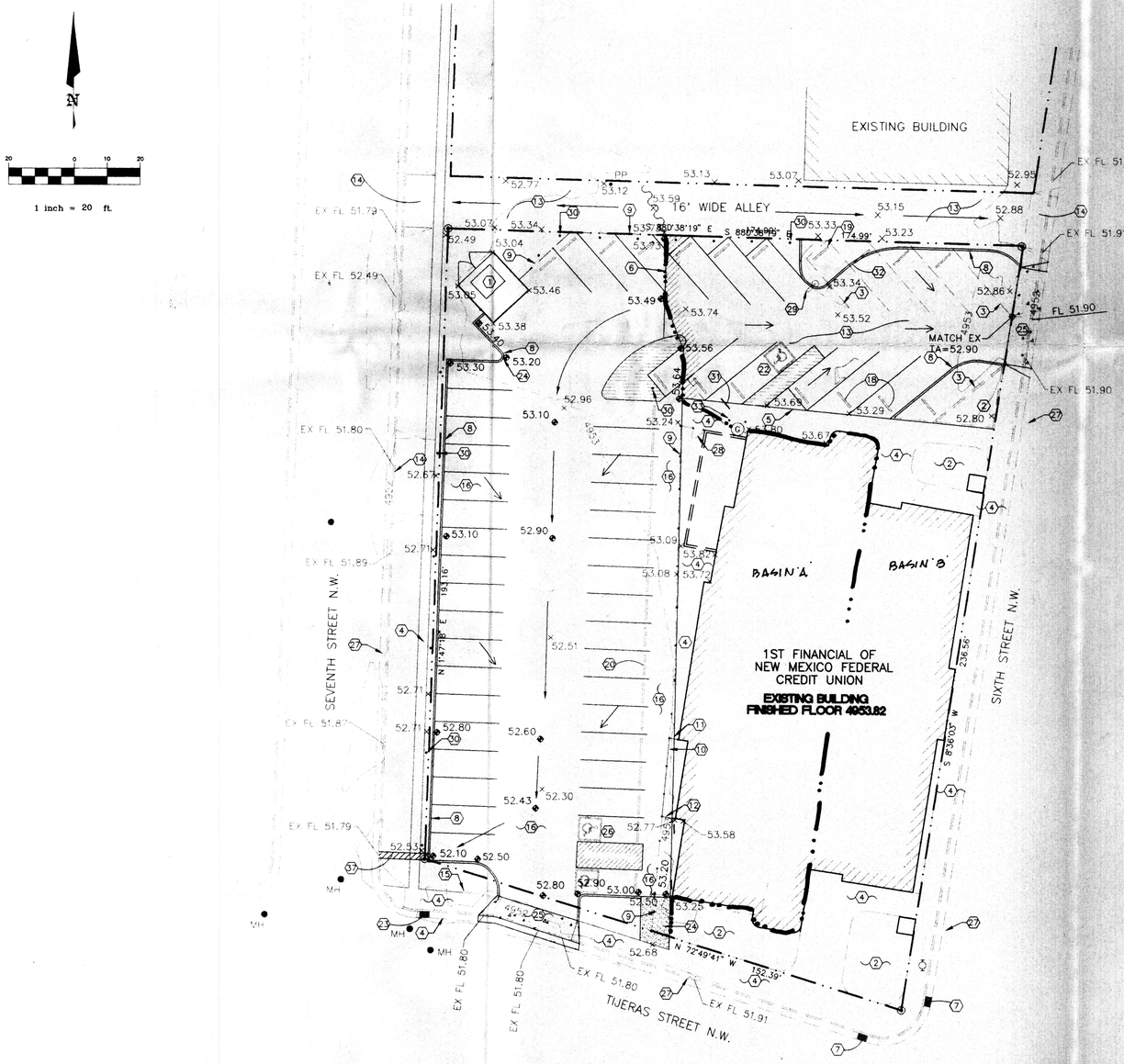
DRAINAGE PLAN NOTES

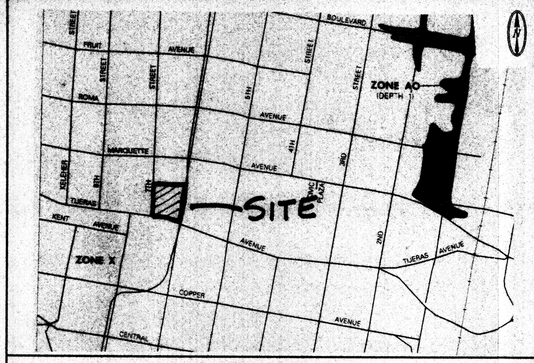
1. BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
4. This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
6. BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

1. An excavation/construction permit will be required before any work within City right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with the "City of Albuquerque Standard Specifications, Public Works Construction", 1986 Edition, with Update No. 6, and amendments through September 8, 1994.
3. Two working days prior to any excavation, the contractor must contat Line Locating Service, 260-1990, for location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all constructions. Should a conflict exist, the contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to arterial street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.

APPROVALS	NAME	DATE
HYDROLOGY		
INSPECTOR		
ACE FIELD		





FIRM PANEL 35001C0141 D 1"=500'

J-14 LOCATION MAP 1" = 800'

GRADING AND DRAINAGE PLAN

PURPOSE AND SCOPE:

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. The property is presently developed as First Financial Credit Union. The project consists of the paving of the existing gravel parking lot.

EXISTING CONDITIONS:

The project site is approximately 0.81 acres in size and is located on Sixth Street NW at Tijeras Street NW. The site is bounded by Sixth Street on the east, Tijeras Street on the south, Seventh Street on the west and developed commercial property on the north. Presently the site is fully developed.

On-site, all flow drains as sheet flow to the from the parking areas into the adjoining streets. The streets carry flows to existing drop inlets located at the intersections of Tijeras/sixth street and Tijeras/Seventh Street.

As shown by the attached FIRM Panel, this site is not located within a designated flood hazard zone.

DEVELOPED CONDITIONS:

As shown by the Plan, the project consists of the paving of the existing gravel parking lot located west of the building, and the re-configuration of the paved lot located north of the building. Drainage flows from the north lot will continue to drain into Sixth Street through the drivepad. Sixth Street conveys runoff south to the existing drop inlets located at Tijeras Street. Drainage flows from the west lot will drain into Seventh Street through a sidewalk culvert, and into an existing drop inlet located at Tijeras Street. The paving of the west parking lot results in an increased flow of 0.6 cfs into the drop inlet located at Tijeras and Seventh Street. This increased flow is offset by the benefit derived by paving the parking lot and eliminating sediment which historically discharged from the site.

CALCULATIONS:

The calculations shown hereon define the 100 year/6 hour design storm falling with the project area under existing and developed conditions. The Hydrology is per " Development Process Manual, Vol 2, Chapter 22" , July 1997 Revision.

HYDROLOGY

Precipitation Zone 2 — P360=2.35 in.

BASIN	BASIN area(ac)	Land Treatment (acres) A	B	C	D	Ew (inches)	V100 (af)	Q100 (cfs)
EXISTING CONDITION:								
SITE	0.81	0	0.02	0.40	0.39	1.60	0.1080	3.1
DEVELOPED CONDITION:								
SITE	0.81	0	0.02	0.03	0.76	2.05	0.1384	3.7
A	0.51	0	0.01	0.02	0.48	2.05	0.0871	2.3
B	0.30	0	0.01	0.01	0.28	2.05	0.0513	1.4

KEYED NOTES

1. EXISTING DUMPSTER ENCLOSURE LOCATION.
2. EXISTING LANDSCAPE AREA.
3. EXISTING CONCRETE CURB TO BE REMOVED.
4. EXISTING CONCRETE SIDEWALK.
5. EDGE OF EXISTING CONCRETE SIDEWALK.
6. EDGE OF EXISTING ASPHALT PAVING. (FIELD VERIFY)
7. EXISTING DROP INLET.
8. NEW EXTRUDED CONCRETE CURB.
9. EXISTING CHAINLINC FENCE TO BE REMOVED.
10. EXISTING CHAINLINC FENCE TO REMAIN.
11. ADD CHAINLINC FENCE FROM EXISTING CHAINLINC FENCE TO WALL OF EXIST. BUILDING (USE EXISTING CHAINLINC FENCE).
12. RELOCATE EXIST. CHAINLINC GATE TO HERE. SEE KEY NOTE #28.
13. EXISTING ASPHALT PAVING TO REMAIN.
14. EXISTING CURB CUT TO BE REMAIN.
15. EXISTING ACCESS RAMP TO BE REMOVED.
16. NEW 2" ASPHALT PAVING.
17. PAINTED STRIPES PER CITY STANDARDS.
18. EXISTING CONCRETE PARKING BUMPERS TYP. AT EXIST. PARKING SPACES.
19. EXIST. CONC. PARKING BUMPERS SAVE FOR REUSE AT NEW PARKING SPACES.
20. NEW CONCRETE PARKING BUMPERS.
21. "HANDICAPPED PARKING ONLY" SIGNAGE.
22. REDO EXISTING HANDICAPPED PARKING AREA TO AS SHOWN ON PLAN (NEW STRIPE RAMP AREA).
23. CONSTRUCT 2-18" SIDEWALK CULVERTS PER COA STD DWG 2236
24. NEW CONCRETE SIDEWALK, SIDEWALK TO BE FLUSH WITH ASPHALT PAVING.
25. REBUILD EXISTING CONC. DRIVE PAD PER CITY OF ALBUQUERQUE STANDARDS.
26. HANDICAPPED VAN PARKING SPACE, TYP.
27. EXISTING CONCRETE CURB AND GUTTER.
28. REMOVE EXIST. CHAINLINC GATE AND SAVE FOR NEW LOCATION SEE KEYNOTE #12.
29. EXISTING LIGHT POLE AND FIXTURE TO REMAIN.
30. NEW 4" DIA. CONC. FILLED STEEL PIPE BOLLARD, SEE DETAIL 1/ C-1.
31. EXIST. HANDICAPPED PARKING ONLY SIGN TO REMAIN.
32. FIRE LANE PAINT CURB RED.
33. 2 - NEW 4" DIA. CONC. FILLED STEEL PIPE BOLLARD, (SEE DETAIL 1/ C-1) AT EXIST. GAS METER.

LEGEND

- 6001 — EXISTING CONTOUR ELEVATION
- 01.5 × EXISTING SPOT ELEVATION
- — 01 — PROPOSED CONTOUR ELEVATION
- PROPERTY LINE
- 01.5 PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- DRAINAGE SWALE
- DRAINAGE BASIN DIVIDE

PROPERTY ADDRESS

601 Tijeras Ave N.W.

LEGAL DESCRIPTION

Lot 12-17, Block 2, Armijo Perfecto & Brothers Addition

PROJECT BENCHMARK

SE Corner of 6th St and Roma Ave
Std COA disk set in concrete block stamp "4-J 14 ACS"
Elevation= 4954.015

SURVEY

Topographic and Field Measurements by Brasher & Lorenz, Inc
Dated January, 1999

BRASHER & LORENZ, INC.
Consulting Engineers
2201 San Pedro NE, Building 1, Suite 210
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

8076-GD.DWG

FIRST FINANCIAL CREDIT UNION
NEW PARKING PLAN
GRADING & DRAINAGE PLAN

REVISION DATE

DENNIS A. LORENZ NEW MEXICO 9630 REGISTERED PROFESSIONAL ENGINEER
1-14-99

rick bennett architect
118 Park Avenue SW
Albuquerque, New Mexico
87102
(505) 242-1854

DATE 1/11/99

SHEET NUMBER C-1

RECEIVED JAN 19 1999 HYDROLOGY SECTION