

NEW

DRAINAGE INFORMATION SHEET

APPLICANT'S NAME: REGIS, ALAN ZONE ATLAS/DRNG. FILE #: J-14/D134

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: TRACT NO. 279-A, M.R.G.C.D. MAP NO. 37

CITY ADDRESS: 1635 SECOND (2ND) STREET N.W.

ENGINEERING FIRM: LEVI J. VALDEZ, P.E.
GEORGE T. RODRIGUEZ CONTACT: MR. VALDEZ
DEVELOPMENT CONSULTANT MR. RODRIGUEZ

ADDRESS: 12800 SAN JUAN N.E. 87123 PHONE: 294-0320

OWNER: ALAN REGIS CONTACT: MR. REGIS

ADDRESS: 3535 GIRARD N.E. 87107 PHONE: 837-1144

ARCHITECT: BILL BURK, ARCHITECT CONTACT: MR. BURK

ADDRESS: 9617 LA PLAYA N.E. PHONE: 292-6566 - FAX

SURVEYOR: ENGINEER CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: OWNER CONTACT: _____

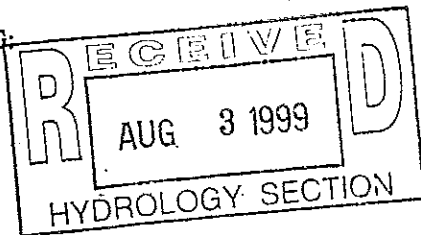
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

PRE-DESIGN MEETING:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☐ OTHER _____ (SPECIFY)

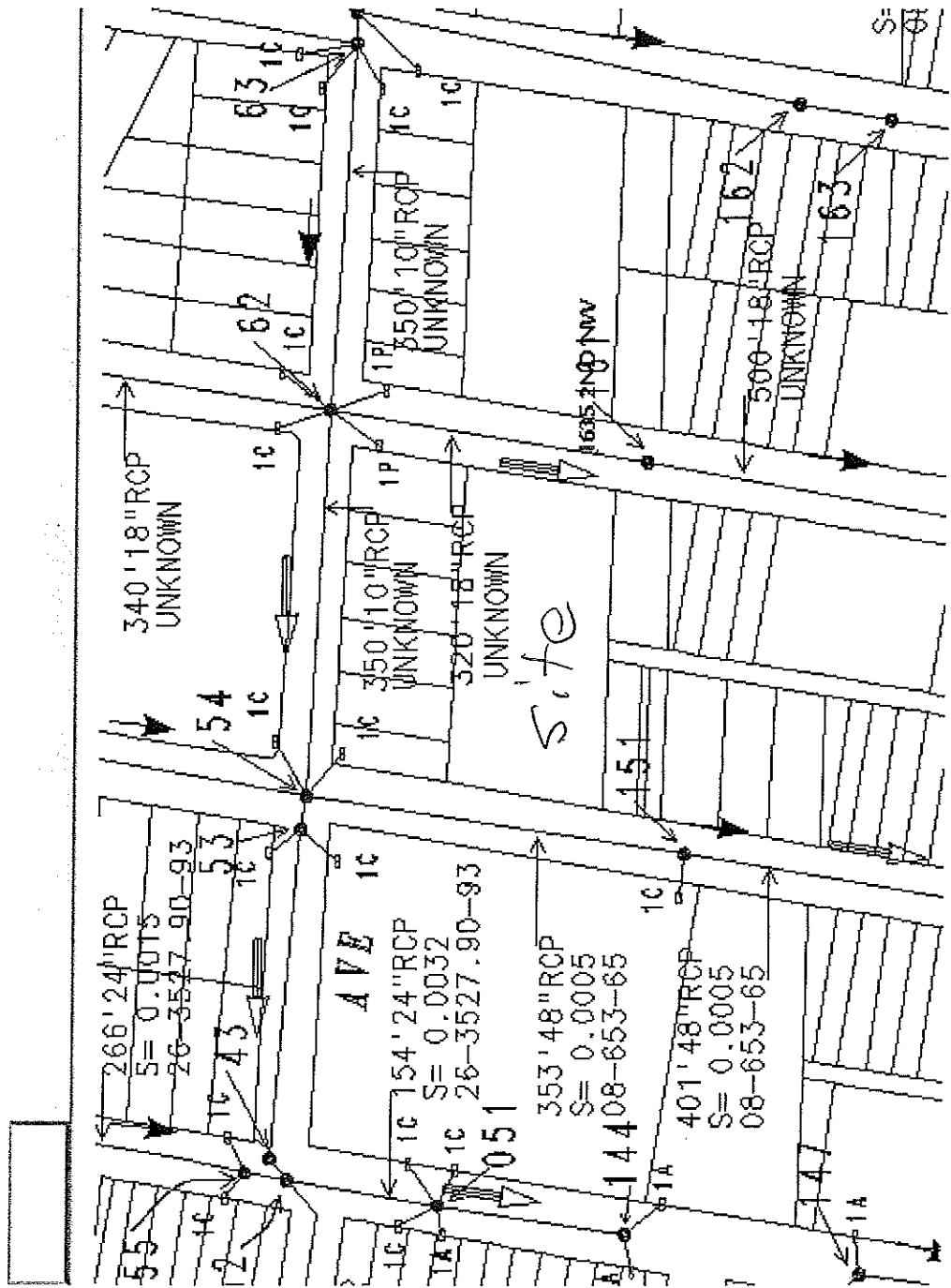
DATE SUBMITTED: 07-29-99

BY: GEORGE T. RODRIGUEZ



CIS PRODUCT REFERENCE TITLE 146 OPTIONS ON 2A 51 BWHYD HYDRO-TEC CRYA







City of Albuquerque

August 30, 1999

William Burk III, Reg. Arch.,
9617 La Playa N.E.
Albuquerque, New Mexico 87- - -

Re: Site Plan submittal for building permit approval for Office Warehouse for Alan Regis, 1635 Second St. N.W., M.R.G.C.D. Map No. 37, Tract 279-A, (Zone Map J-14-Z), Architect's Stamp dated 7/14/99. [J-14/D134]

Dear Mr. Burk,

The above referenced plan requires modification to the Site Plan prior to Building Permit release as detailed on the following attachment:

Please provide revised Site Plan reflecting following corrections.

Sincerely,

Mike Zamora,
Commercial Plan Checker

- The engineer's certification required by the Hydrology section needs to include certification that this site was constructed in accordance with the Traffic Circulation Layout (TCL) before C.O. is released. Place this note clearly on Site Plan.
- Please include zip code in architect's address on Drainage information sheet.
- Red-lined markup of Site Plan submitted and typed comments should be used to make corrections required. Return markup with corrections.
- Use of DPM and close review of SitePlans and comments in previous BuildingPermit plan set submittals can aid in production of Site Plan requiring fewer corrections to original and more expediant review time.
- Only one SitePlan is needed per Permit submittal. Multiple copies of SitePlans will need to match exactly.
- New and existing elements noted on the Site Plan must be shown, labelled, and dimensioned correctly and accurately, this includes, curb & gutter, all drive aisles, drivepads, parking stalls(including H.C.[or refer to detail]), landscaping, and fencing.
- Show, label, and dimension existing and/or new street sidewalks. City sidewalk ordinance requires minim.6' street sidewalks along the frontage of all commercial sites being developed adjacent to major streets.
- Dimension stalls - can be labelled "typical" or call out in individual locations, if not typical.
- Label concrete curb(at locations shown), and type (or show detail labelled "typical" or reference COA. Std. Detail Dwg. No. 2415), at each individual location or, if used, call out double-line style linework (or equivalent), used to symbolize curbing, as "typical".
- Minim. 5' wide sidewalk, raised 6" above parking surface, needed at the front of parked vehicles along the front of building. Needed except where concrete apron at overhead doors is being constructed. __Remove wheel stops. __H.C.ramp must be constructed at H.C. parking as part of sidewalk, as shown. __Show ramps and slope of ramps using arrows or refer to detail.
- Gates must be 20 feet beyond the back of sidewalk to accommodate a vehicle stopping to open the gates, if they are to be locked during business hours, also to allow unimpeded pedestrian use of sidewalk. __Gates must be 25 feet minim. width(unobstructed). Dimension gate width. __20' distance from back of sidewalk needed at entrance for vehicle visibility and to allow safe vehicle circulation.
- Proposed use of overhead doors on commercial sites requires that plan reviewer looks for large wheelbase-30' (refuse/UPS) vehicle to be smallest to use doors. As linework shows on Site Plan(using traffic turning template), there is insufficient room for backing up to overhead doors. This site layout will not allow enough room for this condition without backing from or into street. This violates provisions in theDPM,Sect.23.6B.8b.2 & 23.7B.8. __Loading/unloading of trucks behind vehicle stalls is prohibited[cr]. Consult DPM for service vehicle use.
- Label - "Construct new drivepad per City of Albuq. Std. Detail Dwg. No. 2426.
- 25' radius curve needed on end island along refuse path as shown. __Minimum width of end islands-10'.
- Show and label property lines and right-of-way lines.
- Need to see that all existing obstacles in City right-of-way, in existing sidewalks, have been picked up.
- All Civil Sheets (Drainage Plan, Site Plan and Landscape Plan) must be together at front of permit plan set.
- Linework on DrainagePlan and LandscapePlan must matchSitePlan exactly. This office recommends that as much information as possible that is pertinent to it's requirements be placed on Site Plan and not Drainage Plan. Any changes required by Transportation shown on Drainage Plan cannot be marked up on Drainage Plan per Hydrology's preference, such as curbs, ramps, drivepads,dimensions, labels, etc.