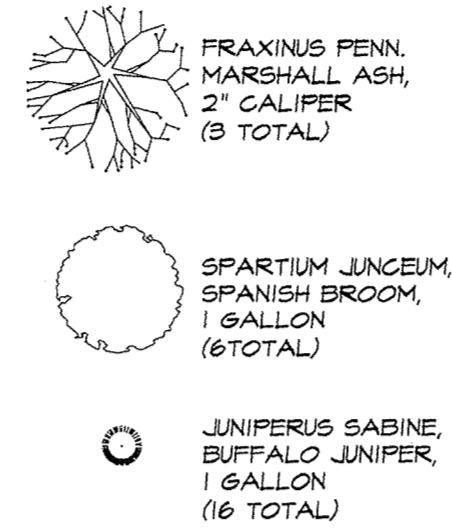


Vicinity Map

LANDSCAPING GENERAL NOTES

- NO GRASS SHALL BE PLANTED. GRAVEL GROUND COVER SHALL BE USED AT ALL AREAS.
- OWNER SHALL BE RESPONSIBLE FOR MAINTAINING PLANTS.
- WATERING SHALL BE BY HOSE, DRIP, OR BUBBLER SYSTEM.

LANDSCAPING LEGEND



DETAIL A

1"=1'-0"

LEGAL DESCRIPTION

LOTS 8, 9, 10 & 11, BLOCK 3  
ANDERSON ADDITION  
SECTION 17, T.10N., R.3 E. N.M.P.M.  
ALBUQUERQUE, NEW MEXICO

ZONE ATLAS MAP - J-14-Z

OCCUPANCY GROUP

S-3 PROPOSED USE - LIGHT-MANUFACTURING  
STORAGE OF CONSTRUCTION SUPPLIES,  
VEHICLE REPAIR WITH NO WELDING OR  
OPEN FLAME

TYPE OF CONSTRUCTION

V-N

ALLOWABLE AREAS

RESIDENCE- UNLIMITED ALLOWED  
844 SF ACTUAL, 1 BATH

WAREHOUSE- 8000 SF ALLOWED  
EXISTING STORAGE- 656 SF  
PROPOSED BUILDING- 4353 SF  
ONE HOUR WALL PROVIDED  
ON EAST SIDE OF BUILDING.

TOTAL SF - 5858 SF NEW AND EXISTING

PARKING REQUIREMENTS

RESIDENCE- 1 PER BATH, 1-1/2 MIN  
NEW BUILDING- 1 PER 1000 SF NET LEASEABLE AREA = 4.4 SPACES

REQUIRED SPACES- 1.5 + 4.4 = 5.9 SPACES REQUIRED  
SPACES PROVIDED- 1 EXISTING  
5 NEW (ONE HANDICAPPED)

PARKING FOR EMPLOYEES ONLY

LANDSCAPING AREA REQUIRED

TOTAL SITE AREA = 14,049 SF  
TOTAL BUILDING AREA = 5858 SF  
NEW SITE AREA = 8241 SF  
REQUIRED LANDSCAPING = 8241 X .15 = 1236 SF  
LANDSCAPING PROVIDED = 1692 SF

AREA #1 904 SF  
AREA #2 100  
AREA #3 100  
AREA #4 100  
AREA #5 915

TOTAL 1692 SF

THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION  
RESULTING FROM ERRORS ON APPROVED SITE PLAN. THIS SITE PLAN  
HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD  
CHANGES NOT ACCEPTED BY TRAFFIC ENGINEERING AFTER APPROVAL  
WILL RESULT IN:

- UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY  
CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED  
WORK, AND
- INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.

ALL ASPHALT AND ASPHALT CONSTRUCTION MUST BE 100% COMPLETE  
BEFORE INITIAL INSPECTION FOR TEMPORARY C.O.  
WILL BE SCHEDULED.

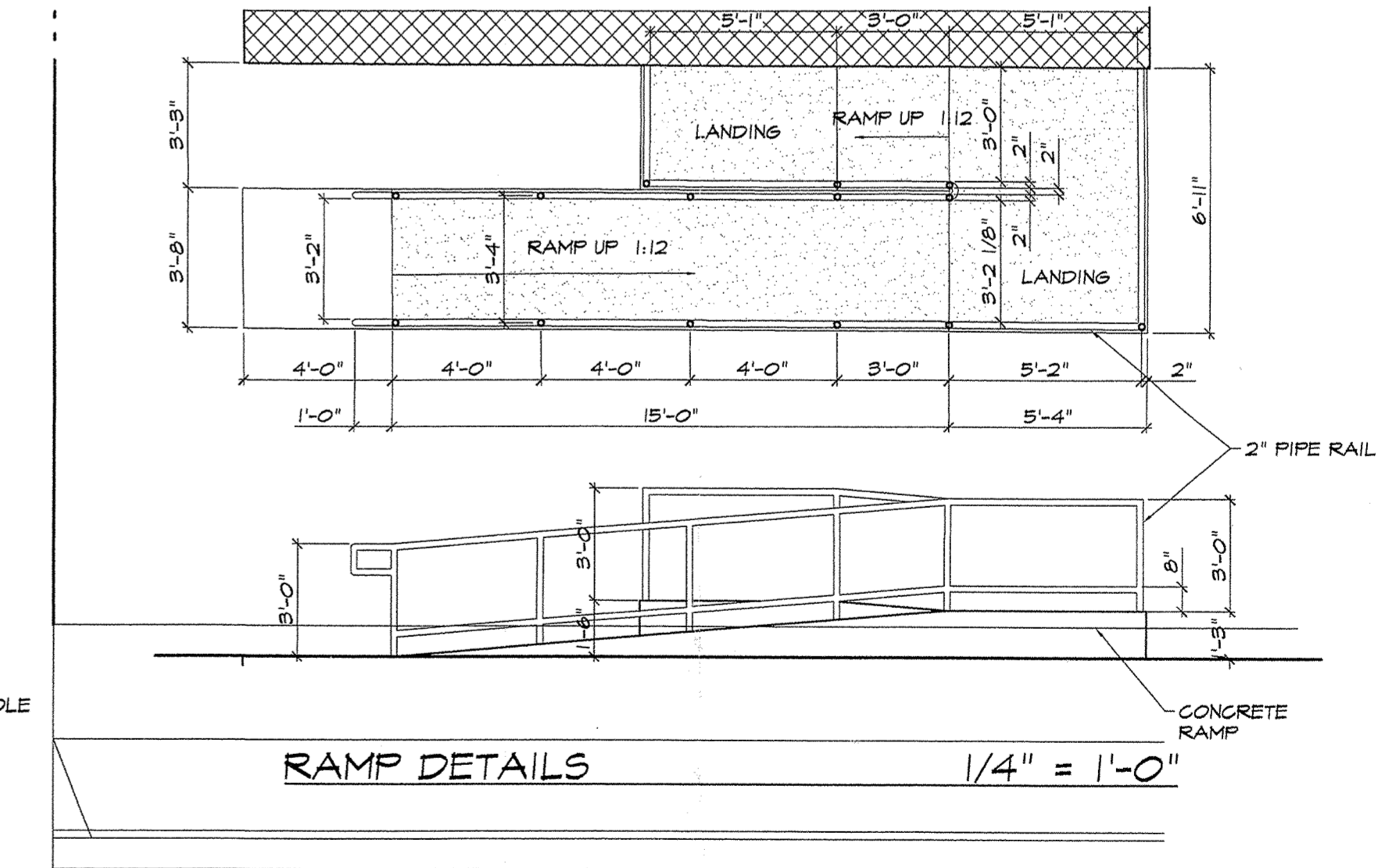
NOTE: ALL EXISTING SIDEWALK AND CURB AND GUTTER IN  
DISREPAIR MUST BE REMOVED AND REPLACED.

NOTE: THE AS-BUILT SUBMITTAL BY THE DESIGNER OF RECORD,  
AS REQUIRED BY TRANSPORTATION DEVELOPMENT, MUST ALSO  
INCLUDE A LETTER OF CERTIFICATION THAT THE SITE HAS BEEN  
CONSTRUCTED IN ACCORDANCE WITH THE T.C. BEFORE A CERTIFICATE  
OF OCCUPANCY IS ISSUED.

NOTE: CONTRACTOR MUST BE AWARE THAT ANY AGREEMENT WITH  
THE OWNER STATING THAT ANY PORTIONS OF PERMIT CONSTRUCTION  
COMPLETED BY OTHER THAN THAT CONTRACTOR, WILL PROBABLY CAUSE  
DELAY, THEREFORE CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED  
UNTIL ALL WORK IS FINISHED.

KEYED NOTES

- NEW CURB CUT, REPLACES EXISTING 20' CURB CUT. CONSTRUCT  
NEW DRIVEPAD PER C.O.A. DTL. DMS. #2425
- EXISTING PERIMETER CHAIN LINK FENCE TO REMAIN UNTIL  
CONSTRUCTION IS COMPLETE
- EXISTING CURB AND GUTTER, REPAIR AS REQUIRED.
- NEW GAS YARD LINE.
- SIDEWALK, REPAIR EXISTING AND EXTEND AROUND BOTH  
SIDES OF PROPERTY.
- EXISTING WATER METER.
- EXTEND NEW 3/4" COLD WATER LINE TO NEW BUILDING LOCATION.
- EXISTING GAS METER TO REMAIN.
- EXISTING SEWER, EXTEND TO NEW BUILDING LOCATION AND  
PROVIDE CLEANOUTS. SEE PLUMBING PLAN.
- NEW PAVED PARKING AREA.
- EXISTING CONCRETE WALKS TO BE REMOVED.
- EXISTING METAL STORAGE SHED TO REMAIN EXCEPT AS NOTED  
THIS BUILDING HAS NO LIGHTS, HEATING OR PLUMBING.
- REMOVE EXISTING SHED WHERE IT INTERFERES WITH NEW  
BUILDING.
- LOCATION OF EXISTING FRAME BUILDING TO BE REMOVED PRIOR TO  
START OF CONSTRUCTION.
- NO PARKING SIGN PAINTED ON ASPHALT.
- STRIPS NO PARKING AREA WITH 4" WIDE  
STRIPES, WHITE. PAINT CURBING RED.
- PAINTED ACCESS AISLE, 4" BLUE STRIPES  
PAINTED ON ASPHALT.
- SIGN DESIGNATING HANDICAPPED PARKING SPACE ON 48"  
HIGH POLE.
- HANDICAPPED PARKING SYMBOL PAINTED ON ASPHALT.
- EXISTING REAR WALK, STOP AT NEW CURB.
- EXISTING FRONT WALK TO BE REPLACED WITH HANDICAP RAMP  
MAXIMUM SLOPE 1:12
- EXISTING CRAWLSPACE ACCESS TO REMAIN.
- NEW CURB, SEE DETAILS THIS SHEET.
- PARKING STRIPES, 4" WIDE YELLOW, TYPICAL.
- PROVIDE H.C. ACCESS RAMP PER C.O.A. TYP. DETAILS
- 8" THICK, 4000 PSI CONC. REFUSE BIN SLAB.
- 3" DIA. STEEL PIPE BOLLARDS 36" HIGH IN 12" DIA.  
CONCRETE FOOTING 48" BELOW GRADE. FILL PIPE.
- 8" THICK CONCRETE APRON IN FRONT OF REFUSE AREA.
- EXISTING CURB CUT TO REMAIN.
- EXISTING GRAVEL PARKING SPACE FOR RESIDENCE ONLY.
- ALL UNPAVED SPACES TO HAVE GRAVEL GROUND COVER.
- PROPOSED GAS METER LOCATION.
- PARKING BUMPER, SECURE WITH 2-#6 REBAR INTO ASPHALT.
- 3" DIA. PIPE BOLLARD IN 12" DIA. CONC. FOOTING EACH SIDE  
OF OVERHEAD DOORS.
- CONC. CURB WITH 2-#4 REBAR CONT.
- 2" ASPHALT PAVING, RESIDENTIAL CLASS "A".
- 4" COMPACTED SUB BASE.
- 6" WIDE CONCRETE WALKWAY, 6" THICK
- 8" WIDE CONCRETE WALKWAY, 6" THICK
- PLACE CONCRETE BUMPER AT FRONT OF H.C. STALL, 18'-0" FROM  
REAR OF STALL, USE #6 REBAR ANCHORS, 18" IN LENGTH



NOTE: VERIFY REQUIRED LOCATION OF OVERHEAD POWER SERVICE  
TO NEW BUILDING WITH PUBLIC SERVICE COMPANY OF NEW MEXICO.

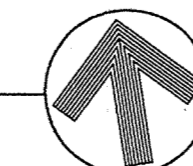
CONSTITUTION AVENUE N.W.

(60' R.O.W. / 32' PAVED)

INSPECTION OF CONSTRUCTION FOR C.O. FOR TRANSPORTATION  
WILL BE DONE FROM THIS SHEET.

ARCHITECTURAL & LANDSCAPING SITE PLAN

1" = 10'-0"



A-0