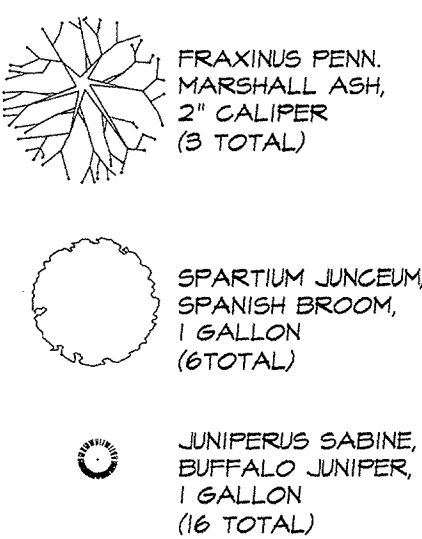


LANDSCAPING GENERAL NOTES

- NO GRASS SHALL BE PLANTED. GRAVEL GROUND COVER SHALL BE USED AT ALL AREAS.
- OWNER SHALL BE RESPONSIBLE FOR MAINTAINING PLANTS.
- WATERING SHALL BE BY HOSE, DRIP, OR BUBBLER SYSTEM.

LANDSCAPING LEGEND



DETAIL A

1"=1'-0"

LEGAL DESCRIPTION

LOTS 8,9,10,11, BLOCK 3
ANDERSON ADDITION
SECTION 17, T10N, R3 E, NM.P.M.
ALBUQUERQUE, NEW MEXICO

ZONE ATLAS MAP - J-14-Z

OCCUPANCY GROUP

S-3 PROPOSED USE - LIGHT-MANUFACTURING
STORAGE OF CONSTRUCTION SUPPLIES,
VEHICLE REPAIR WITH NO WELDING OR
OPEN FLAME

TYPE OF CONSTRUCTION

V-N

ALLOWABLE AREAS

RESIDENCE- UNLIMITED ALLOWED
849 SF ACTUAL, 1 BATH

WAREHOUSE- 8000 SF ALLOWED
EXISTING STORAGE- 656 SF
PROPOSED BUILDING- 4359 SF
ONE HOUR WALL PROVIDED
ON EAST SIDE OF BUILDING.

TOTAL SF - 5059 SF NEW AND EXISTING

PARKING REQUIREMENTS

RESIDENCE- 1 PER BATH, 1-1/2 MIN
NEW BUILDING- 1 PER 1000SF NET LEASEABLE AREA = 4.4 SPACES

REQUIRED SPACES- 15 + 4.4 = 5.9 SPACES REQUIRED
SPACES PROVIDED 1 EXISTING
5 NEW (ONE HANDICAPPED)

PARKING FOR EMPLOYEES ONLY

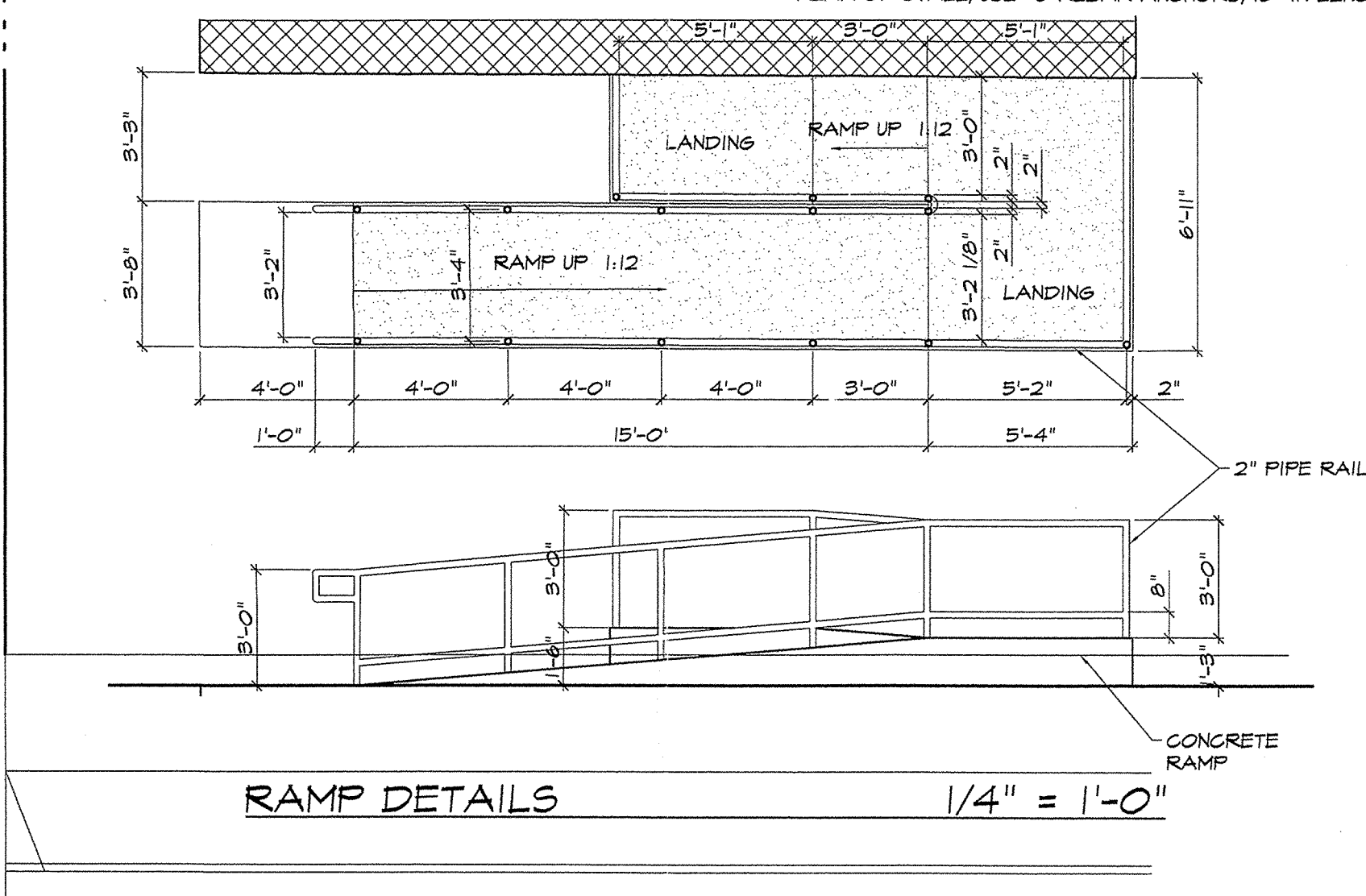
LANDSCAPING AREA REQUIRED

TOTAL SITE AREA = 14,044 SF
TOTAL BUILDING AREA = 5059 SF
NEW SITE AREA = 8241 SF
REQUIRED LANDSCAPING = 8241 X .15 = 1236 SF
LANDSCAPING PROVIDED = 1642 SF

AREA #1 404 SF
AREA #2 100
AREA #3 180
AREA #4 180
AREA #5 315

TOTAL 1642 SF

NOTE: ANTICIPATED DELIVERY
TRUCKS TO BE EXTENDED
CAB PICKUP TRUCKS.



RAMP DETAILS

1/4" = 1'-0"

NOTE: VERIFY REQUIRED LOCATION OF OVERHEAD POWER SERVICE
TO NEW BUILDING WITH PUBLIC SERVICE COMPANY OF NEW MEXICO.

INSPECTION OF CONSTRUCTION FOR C.O. FOR TRANSPORTATION
WILL BE DONE FROM THIS SHEET.

THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION
RESULTING FROM ERRORS ON APPROVED SITE PLAN. THIS SITE PLAN
HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD
CHANGES NOT ACCEPTED BY TRAFFIC ENGINEERING AFTER APPROVAL
WILL RESULT IN:

- UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY
CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED
WORK, AND
- INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.

ALL ASPHALT AND ASPHALT CONSTRUCTION MUST BE 100% COMPLETE
BEFORE INITIAL INSPECTION FOR TEMPORARY C.O.
WILL BE SCHEDULED.

NOTE: ALL EXISTING SIDEWALK AND CURB AND GUTTER IN
DISREPAIR MUST BE REMOVED AND REPLACED.

NOTE: THE AS-BUILT SUBMITTAL BY THE DESIGNER OF RECORD,
AS REQUIRED BY TRANSPORTATION DEVELOPMENT, MUST ALSO
INCLUDE A LETTER OF CERTIFICATION THAT THE SITE HAS BEEN
CONSTRUCTED IN ACCORDANCE WITH THE TOL BEFORE A CERTIFICATE
OF OCCUPANCY IS ISSUED.

NOTE: CONTRACTOR MUST BE AWARE THAT ANY AGREEMENT WITH
THE OWNER STATING THAT ANY PORTIONS OF PERMIT CONSTRUCTION
COMPLETED BY OTHER THAN THAT CONTRACTOR, WILL PROBABLY CAUSE
DELAY, THEREFORE, CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED
UNTIL ALL WORK IS FINISHED.

KEYED NOTES

- NEW CURB CUT, REPLACES EXISTING 20' CURB CUT. CONSTRUCTION IS COMPLETE.
- EXISTING PERIMETER CHAIN LINK FENCE TO REMAIN UNTIL CONSTRUCTION IS COMPLETE.
- EXISTING CURB AND GUTTER, REPAIR AS REQUIRED.
- NEW GAS YARD LINE.
- SIDEWALK, REPAIR EXISTING AND EXTEND AROUND BOTH SIDES OF PROPERTY.
- EXISTING WATER METER.
- EXTEND NEW 3/4" GOLD WATER LINE TO NEW BUILDING LOCATION.
- EXISTING FLAGPOLE TO REMAIN.
- EXISTING SEWER, EXTEND TO NEW BUILDING LOCATION AND PROVIDE CLEANOUTS. SEE PLUMBING PLAN.
- NEW PAVED PARKING AREA.
- EXISTING CONCRETE WALKS TO BE REMOVED.
- EXISTING METAL STORAGE SHED TO REMAIN EXCEPT AS NOTED. THIS BUILDING HAS NO LIGHTS, HEATING OR PLUMBING.
- REMOVE EXISTING SHED WHERE IT INTERFERES WITH NEW BUILDING.
- LOCATION OF EXISTING FRAME BUILDING TO BE REMOVED PRIOR TO START OF CONSTRUCTION.
- NO PARKING SIGN PAINTED ON ASPHALT.
- STRIPES NO PARKING AREA WITH 4" WIDE STRIPES, WHITE. PAINT CURBING RED.
- PAINTED ACCESS AISLE, 4" BLUE STRIPES PAINTED ON ASPHALT.
- SIGN DESIGNATING HANDICAPPED PARKING SPACE ON 48" HIGH POLE.
- HANDICAPPED PARKING SYMBOL PAINTED ON ASPHALT.
- EXISTING REAR WALK, STOP AT NEW CURB.
- EXISTING FRONT WALK TO BE REPLACED WITH HANDICAP RAMP MAXIMUM SLOPE 1:12.
- EXISTING GRAVEL SPACE ACCESS TO REMAIN.
- NEW CURB, SEE DETAILS THIS SHEET.
- PARKING STRIPES, 4" WIDE YELLOW, TYPICAL.
- PROVIDE H.C. ACCESS RAMP PER C.O.A. TYP. DETAILS.
- 8" THICK, 4000 PSI CONC. REFUSE BIN SLAB.
- 3" DIA. STEEL PIPE BOLLARDS 36" HIGH IN 12" DIA. CONCRETE FOOTING 48" BELOW GRADE. FILL PIPE.
- 8" THICK CONCRETE APRON IN FRONT OF REFUSE AREA.
- EXISTING CURB CUT TO REMAIN.
- EXISTING GRAVEL PARKING SPACE FOR RESIDENCE ONLY.
- ALL UNPAVED SPACES TO HAVE GRAVEL GROUND COVER.
- PROPOSED GAS METER LOCATION.
- PARKING BUMPER SECURE WITH 2-#6 REBAR INTO ASPHALT.
- 3" DIA. PIPE BOLLARD IN 12" DIA. CONC. FOOTING EACH SIDE OF OVERHEAD DOORS.
- CONC. CURB WITH 2-#4 REBAR CONT.
- 2" ASPHALT PAVING, RESIDENTIAL CLASS "A".
- 4" COMPACTED SUB BASE.
- 6" WIDE CONCRETE WALKWAY, 6" THICK.
- 8" WIDE CONCRETE WALKWAY, 6" THICK.
- PLACE CONCRETE BUMPER AT FRONT OF H.C. STALL, 18'-0" FROM REAR OF STALL, USE #6 REBAR ANCHORS, 18" IN LENGTH.

TRAFFIC CIRCULATION LAYOUT
APPROVED

Signed *Smith* Date 5/19/03

A-0