



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 15, 2003

Lawrence Read, P.E.
Larry Read & Associates Inc.
4800 Juan Tabo NE, Suite C
Albuquerque, NM 87111

Re: Blair Development, 503 Third St. NW, Certificate of Occupancy
Engineer's Stamp dated 5-12-03 (J14/D135)
Certification dated 12-11-03

Dear Mr. Read,

Based upon the information provided in your submittal received 12-12-03, the above referenced certification is approved for release of permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: Phyllis Villanueva
file

DRAINAGE INFORMATION SHEET
(REV. 11/01/2001)

J-14 / D135

PROJECT TITLE: BLAIR DEVELOPEMENT ZONE MAP/DRG. FILE #: J14/D135
DRB #: _____ EPC #: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 8, 9, 10, & 11, BLOCK 3, ANDERSON ADDITION
CITY ADDRESS: 503 THIRD STREET, NW

ENGINEERING FIRM: LARRY READ & ASSOCIATES, INC. CONTACT: LARRY READ
ADDRESS: 4800 Juan Tabo NE, Suite C PHONE: 237-8421
CITY, STATE: Albuquerque, NM ZIP CODE: 87111

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

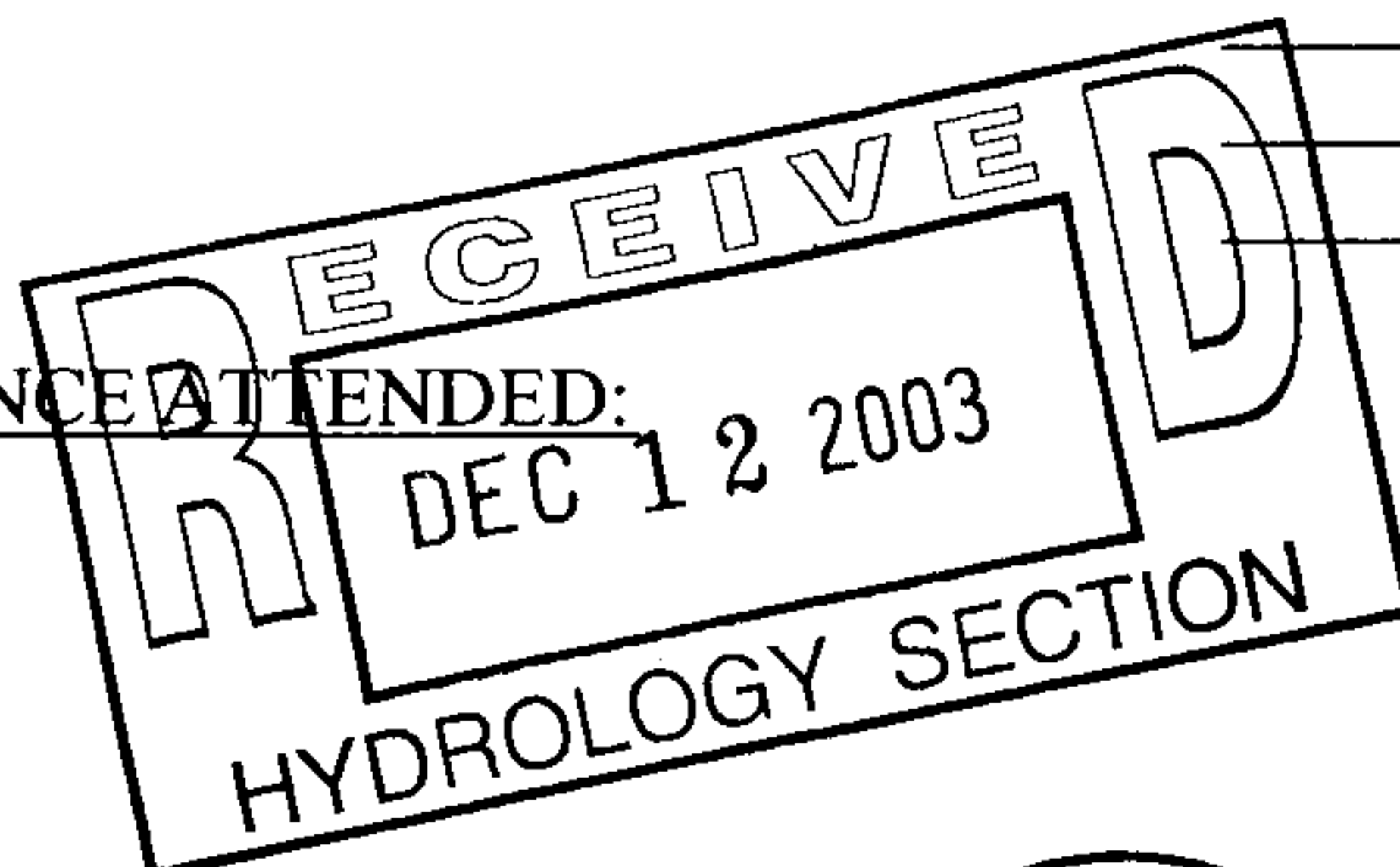
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERTIFICATION(TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



Stamp dated 5/12/03

DATE SUBMITTED: DEC 11, 2003 BY: 

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five acres
2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 16, 2003

Larry D. Read, PE
Larry Read & Associates
4800-C Juan Tabo NE
Albuquerque, NM 87111

**Re: Blair Development Grading and Drainage Plan
1500 3rd St. NW
Engineer's Stamp dated 5-12-03, (J14/D135)**

Dear Mr. Read,

Based upon the information provided in your submittal dated 5-22-03, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, please contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE: BLAIR DEVELOPMENT ZONE MAP/DRG. FILE #: J14/D135
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 8, 9, 10, 11, BLOCK 3, ANDERSON ADDITION
CITY ADDRESS: 503 3RD STREET NW

ENGINEERING FIRM: LARRY READ & ASSOC
ADDRESS: 4800 JUAN TABOKE SUITE C
CITY, STATE: ALB, NM

CONTACT: LARRY READ
PHONE: 237-8921
ZIP CODE: 87111

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

SEPARATE BY ARCHITECT
REQUIRES TCL or equal

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
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☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ OTHER (SPECIFY)

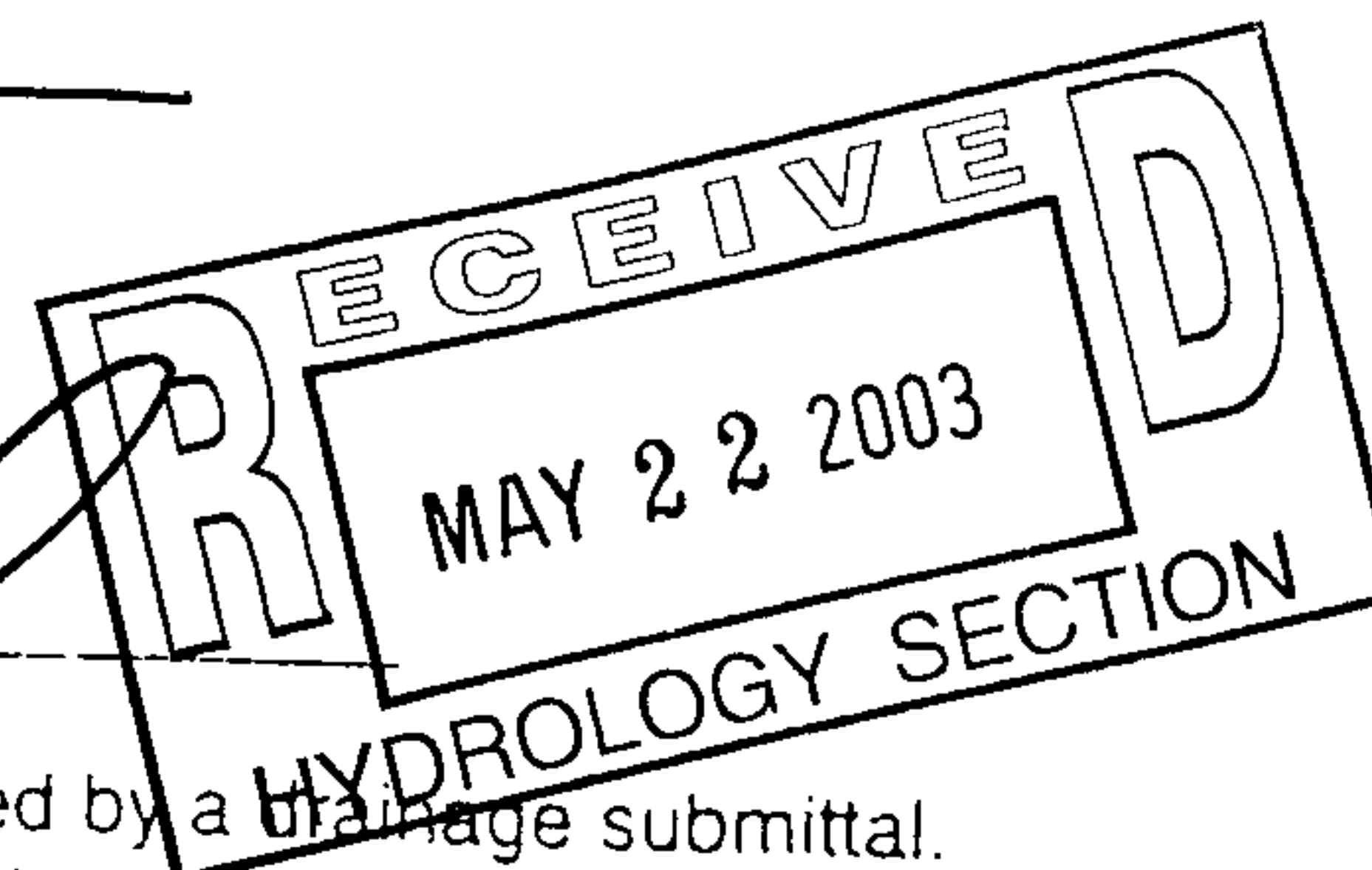
ROUGH GRADING APPROVAL

X So 19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: MAY 13, 2003 BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 19, 2003

Martin Grummer, RA
331 Wellesley Pl. NE
Albuquerque, NM 87106

**Re: John Blair Project Site Plan submitted for Traffic Circulation Layout
1500 3rd St. NW
Architect's Stamp dated 4-23-03, (J14/D135)**

Dear Mr. Grummer,

Based upon your markups of the already submitted TCL dated 4-24-03 and Zoning's requirement that a replat occurs, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Transportation.

Prior to Certificate of Occupancy release, Architect Certification of this plan will be required.

If you have any questions, please contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: file



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 19, 2003

Martin Grummer, RA
331 Wellesley Pl. NE
Albuquerque, NM 87106

**Re: John Blair Project Site Plan submitted for Traffic Circulation Layout
1500 3rd St. NW
Architect's Stamp dated 4-23-03, (J14/D135)**

Dear Mr. Grummer,

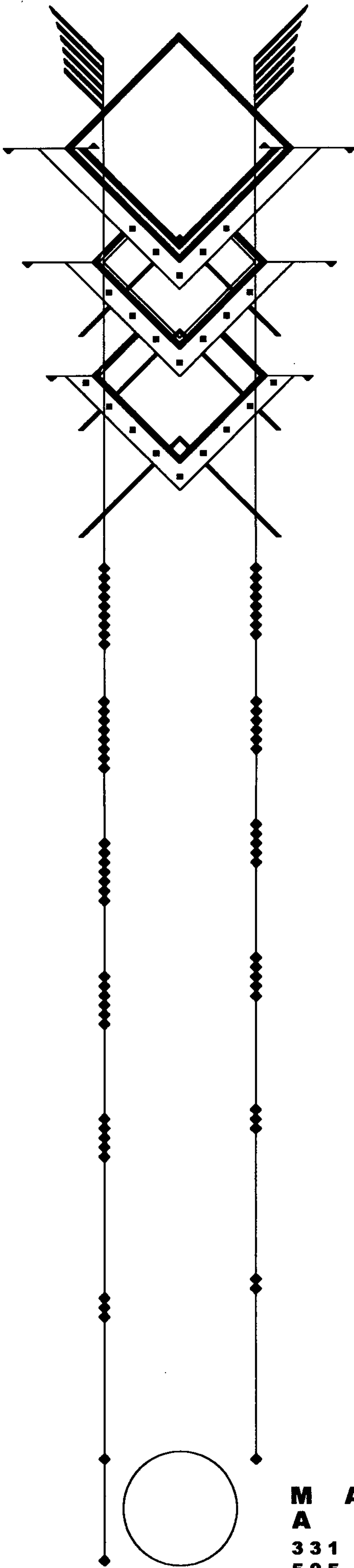
Based upon the information provided in your submittal dated 4-24-03, the above referenced plan cannot be approved for Building Permit until the following comments are addressed.

- A lot consolidation replat or cross access and parking easements must be submitted prior to Building Permit approval.
- The driveway on Constitution should be a maximum of 30' wide.
- Please denote that the northernmost parking spaces are for employees only.
- Please denote type of delivery vehicle expected and add turning templates to the plan.

If you have any questions, please contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services



23 April 2003

Ms. Teresa Martin

Re: TCL for 'The John Blair Project'

As we discussed on Tuesday April 22, 2003, I have inherited this Project from Richard Moeller due to his untimely death. I am a little unclear on his status on the TCL for this project. I have reviewed the written comments from your file #J14/D135 and more than half had been addressed on the plans I first received. I believe I have addressed the remainder with the attached drawing. I have reviewed the TCL site plan checklist and don't think there are any major items not addressed.

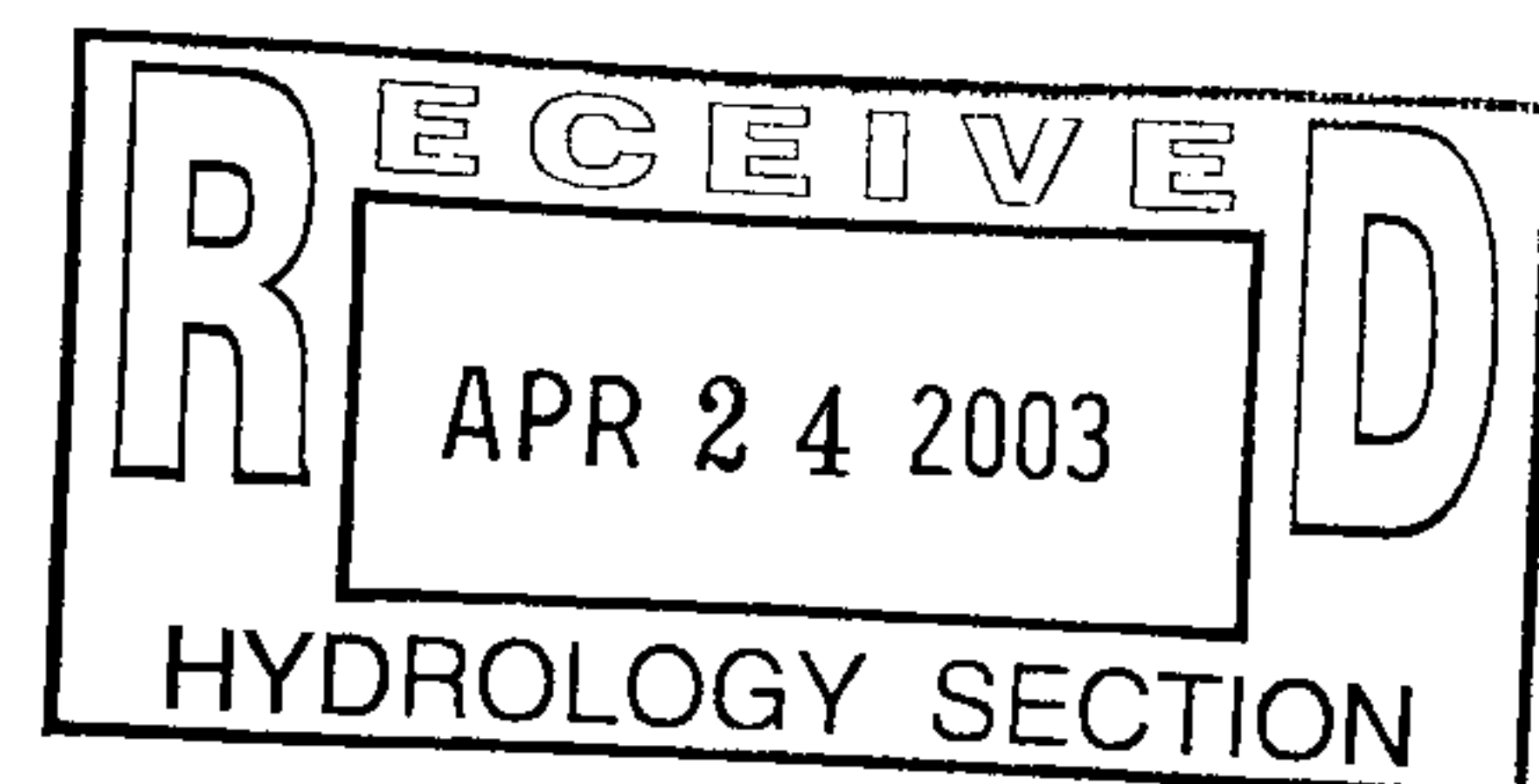
I would like to get this drawing approved before going back to Larry Read for his review of the Grading and Drainage Plan. The revision to the grading plan should be minimal and not affect the overall design scheme.

At any rate, this should get the review process back in motion after the unforeseen delays. Please let me know if I have overlooked any of your comments or if you have any more.

Thank you for your help in this matter.

SINCERELY


Martin FM Grummer



M A R T I N F M G R U M M E R
A R C H I T E C T
331 WELLESLEY PL NE ALBUQUERQUE, NM 87106
505-265-2507 505-265-6266 FAX MGRUMMER@AOL.COM

- T.C.L.(Site Plan) must be stamped and stamp must be dated.
- For this Plan, and all others following, submit street address of site. Could be part of title block or application sheet in Hydrology file. Also call out name of subdivision and lot number and/or tract number.
- Place a note on the plan stating the following:
"The as-built submittal by the designer-of-record, as required by Transportation Development, must also include a letter of certification that the site has been constructed in accordance with the TCL before a Certificate of Occupancy is issued."
- Contractor selected must be made aware, by note on Site Plan, that any agreement with the owner stating that any portions of permit construction completed by other than that contractor, will probably cause delay, therefore, Certificate of Occupancy will not be issued until all work is finished.
- The responsibility for errors on the site plan and subsequent unauthorized field changes must be specified on the Site Plan, in bold type, as follows:
"The responsible Party must rectify all unapproved construction resulting from errors on the approved Site Plan." and
"This Site Plan has been approved and accepted by all parties. Any field changes not accepted by Traffic Engineer, after approval for building permit, will result in:
(1) Untimely delay of certification for final Certificate of Occupancy in order to correct unapproved work, and
(2) increase in construction cost to responsible parties."
- Existing street sidewalk and C&G affecting safe vehicular or pedestrian travel will be removed and replaced. Note on plan.
- Only one T.C.L. is needed per Permit submittal. Multiple copies of T.C.L. will need to match exactly.
- Need to see clear differentiation between new construction and existing on T.C.L. _Show, label, and dimension existing and/or new street sidewalk construction. City sidewalk ordinance requires minim. 4' street sidewalks along the frontage of all commercial sites being developed. _Any new sidewalk construction must be built so back of sidewalk is at Right-of-way (property) line.
- Dimension parking stalls - label "typical" or call out in individual locations, if not typical.
- Concrete curb, per city standard, must be constructed at H.C. parking area as shown. _Label curb typical on general note.
- Because of the preliminary nature of the new review process, if Zoning has not seen this layout prior to this review, any requirements by Zoning at time of their review, altering the parking layout, will void approval of T.C.L. and new review will be needed.
- Need to know what size vehicle will be largest to use site, and route. _Proposed use of overhead doors on commercial sites requires that plan reviewer looks for large wheelbase (refuse/UPS) vehicle to be smallest to use doors. This site layout will not allow enough room for this condition without backing from or into street. This violates provisions in the DPM, Sect. 23.6B.8b.2 & 23.7B.8.
- Label - "Construct new driveway per City of Albuquerque Std. Detail Dwg. No. 2425."
- Property description on T.C.L. does not match current City Zone Map. Copy of replat or acceptable current plat, stamped and signed by County Clerk's Office, will be needed prior to approval for building permit.
- Need to see that all existing obstacles in City right-of-way, in existing sidewalks, have been picked up.
- All Civil Sheets (Drainage Plan and T.C.L. & details) must be together at front of plan set.
- Linework on Drainage Plan and Landscape Plan must match T.C.L. exactly. Confirm the acceptability of the changes in T.C.L., that are required by this office, with Hydrology. If minor changes are acceptable to Hydrology, call out on T.C.L.: INSPECTION OF CONSTRUCTION FOR C.O. FOR TRANSPORTATION WILL BE DONE FROM THIS SHEET.
- Show and label new or existing H.C. ramp at street corner, must be A.D.A.
- Place concrete wheel stop only at front of H.C. stall, 18'-0" from rear of stall, use #6 rebar anchors, 18" in length. Note on T.C.L.
- Using traffic turning template, TCL layout is not designed to allow safe, effective use by refuse vehicle, as shown, without violating Development Process Manual - Chapter 23, Section 6B.8b.2 & Chapter 23, Sect. 7B.8.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: THE JOHN BLAIR PROJECT ZONE MAP/DRG. FILE #: 114/D135
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 8, 9, 10, & 11 ANDERSON ADDITION
 CITY ADDRESS: 1500 3RD ST NW, ALBUQ. NM 87107

ENGINEERING FIRM: LARRY READ & ASSOC.
 ADDRESS: 12836-B LOMAS BLVD NE
 CITY, STATE: ALBUQ. NM

CONTACT: LARRY READ
 PHONE: 237-8421
 ZIP CODE: 87112

OWNER: JOHN BLAIR
 ADDRESS: 1605 SAN PATRICK SW
 CITY, STATE: ALB. NM

CONTACT: JOHN BLAIR
 PHONE: 259-7381
 ZIP CODE: 87104

ARCHITECT: MARTIN FM GRUMMER
 ADDRESS: 331 WELLESLEY PL NE
 CITY, STATE: ALBUQ. NM 87106

CONTACT: MARTIN GRUMMER
 PHONE: 265-2507
 ZIP CODE: 87106

SURVEYOR: THOMAS W. PATRICK
 ADDRESS: 333 LOMAS BLVD NE
 CITY, STATE: ALB. NM

CONTACT: THOMAS PATRICK
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: JOHN BLAIR
 ADDRESS: 1605 SAN PATRICK SW
 CITY, STATE: ALBUQ. NM

CONTACT: JOHN BLAIR
 PHONE: 259-7381
 ZIP CODE: 87104

CHECK TYPE OF SUBMITTAL:

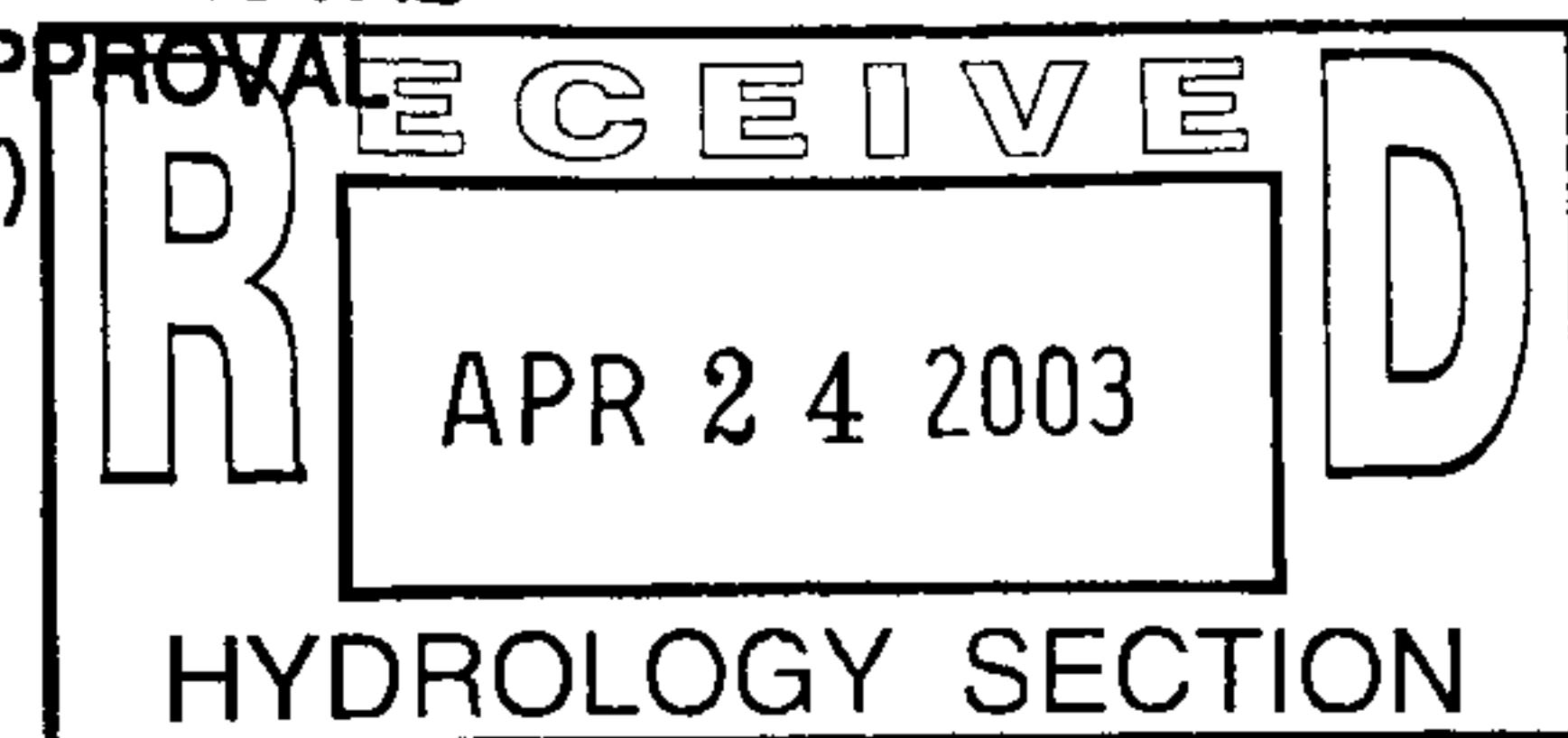
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
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- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 24 APR 03 BY: MARTIN GRUMMER

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque
Public Works Department
Transportation Development Services Section

March 30, 2000

Richard B. Moeller, Registered. Arch.,
Richard B. Moeller Architect, A.I.A.,
3737 Big Bend Rd. N.E.
Albuquerque, New Mexico 87111-4361

Re: T.C.L. submittal for building permit approval for Blair Development, XXXX Constitution N.W.
Anderson Addition, Block 3, Lots 8-11, [J14/D135], No Architect's Stamp.

Dear Mr. Moeller,

The location referenced above, dated March 30, 2000, is not acceptable and requires modification to the Traffic Circulation Layout (T.C.L.) prior to Building Permit release as stated on the attached written comments and red-lined T.C.L. markup.

Please resubmit revised T.C.L. after addressing typed and marked up comments.
Submit Plan along with typed comments and all red-lined, mark-up copies.

Sincerely,

Mike Zamora,
Commercial Plan Checker

cc:
Engineer
Hydrology File
Office File

Written Comments: File # J14/D135
3/31/2000

- T.C.L.(Site Plan) must be stamped and stamp must be dated.
- For this Plan, and all others following, submit street address of site. Could be part of title block or application sheet in Hydrology file. Also call out name of subdivision and lot number and/or tract number.
- Place a note on the plan stating the following:
 "The as-built submittal by the designer-of-record, as required by Transportation Development, must also include a letter of certification that the site has been constructed in accordance with the TCL before a Certificate of Occupancy is issued."
- Contractor selected must be made aware, by note on Site Plan, that any agreement with the owner stating that any portions of permit construction completed by other than that contractor, will probably cause delay, therefore, Certificate of Occupancy will not be issued until all work is finished.
- The responsibility for errors on the site plan and subsequent unauthorized field changes must be specified on the Site Plan, in bold type, as follows:
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- Label - "Construct new driveway per City of Albuquerque Std. Detail Dwg. No. 2425."
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- Linework on Drainage Plan and Landscape Plan must match T.C.L. exactly. Confirm the acceptability of the changes in T.C.L., that are required by this office, with Hydrology. If minor changes are acceptable to Hydrology, call out on T.C.L.: INSPECTION OF CONSTRUCTION FOR C.O. FOR TRANSPORTATION WILL BE DONE FROM THIS SHEET.
- Show and label new or existing H.C. ramp at street corner, must be A.D.A.
- Place concrete wheel stop only at front of H.C. stall, 18'-0" from rear of stall, use #6 rebar anchors, 18" in length. Note on T.C.L.
- Using traffic turning template, TCL layout is not designed to allow safe, effective use by refuse vehicle, as shown, without violating Development Process Manual - Chapter 23, Section 6B.8b.2 & Chapter 23, Sect. 7B.8.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 19, 2000

Larry Read, P.E.
Larry Read & Associates
12836-B Lomas Boulevard, NE
Albuquerque, NM 87112

RE: GRADING & DRAINAGE PLAN FOR BLAIR DEVELOPMENT (J-14 /D135)
ENGINEER'S STAMP DATED 8-31-00, SUBMITTED FOR BUILDING
PERMIT APPROVAL

Dear Mr. Read,

Based upon the information provided in your September 25, 2000, submittal, the project referred to above is approved for Building Permit. Please attach copies of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to release of the Certificate of Occupancy, an Engineer Certification, per the DPM checklist, will be required.

If you have any questions, please call me at 924-3988.

Sincerely,

Stuart Reeder, P.E.

Stuart Reeder, P.E.
Hydrology Division

xc: Whitney Reiersen

✓
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: BLAIR DEVELOPMENT ZONE ATLAS/DRNG. FILE: J-14 /D135

LEGAL DESCRIPTION: LOTS 8, 9, 10, & 11, BLOCK 3, ANDERSON ADDITION

CITY ADDRESS: 503 THIRD STREET, N.W.

ENGINEERING FIRM: LARRY READ & ASSOCIATES CONTACT: LARRY READ

ADDRESS: 12836-B LOMAS BLVD., N.E. 87112 PHONE: 237-8421

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

PREDESIGN MEETING:

☐ YES
☒ NO

DRB NO. _____
EPC NO. _____

☐ COPY OF CONFERENCE RECAP SHEET

PROJECT NO. _____

PROVIDED

TYPE OF TRANSMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ PRELIMINARY GRADING AND DRAINAGE

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

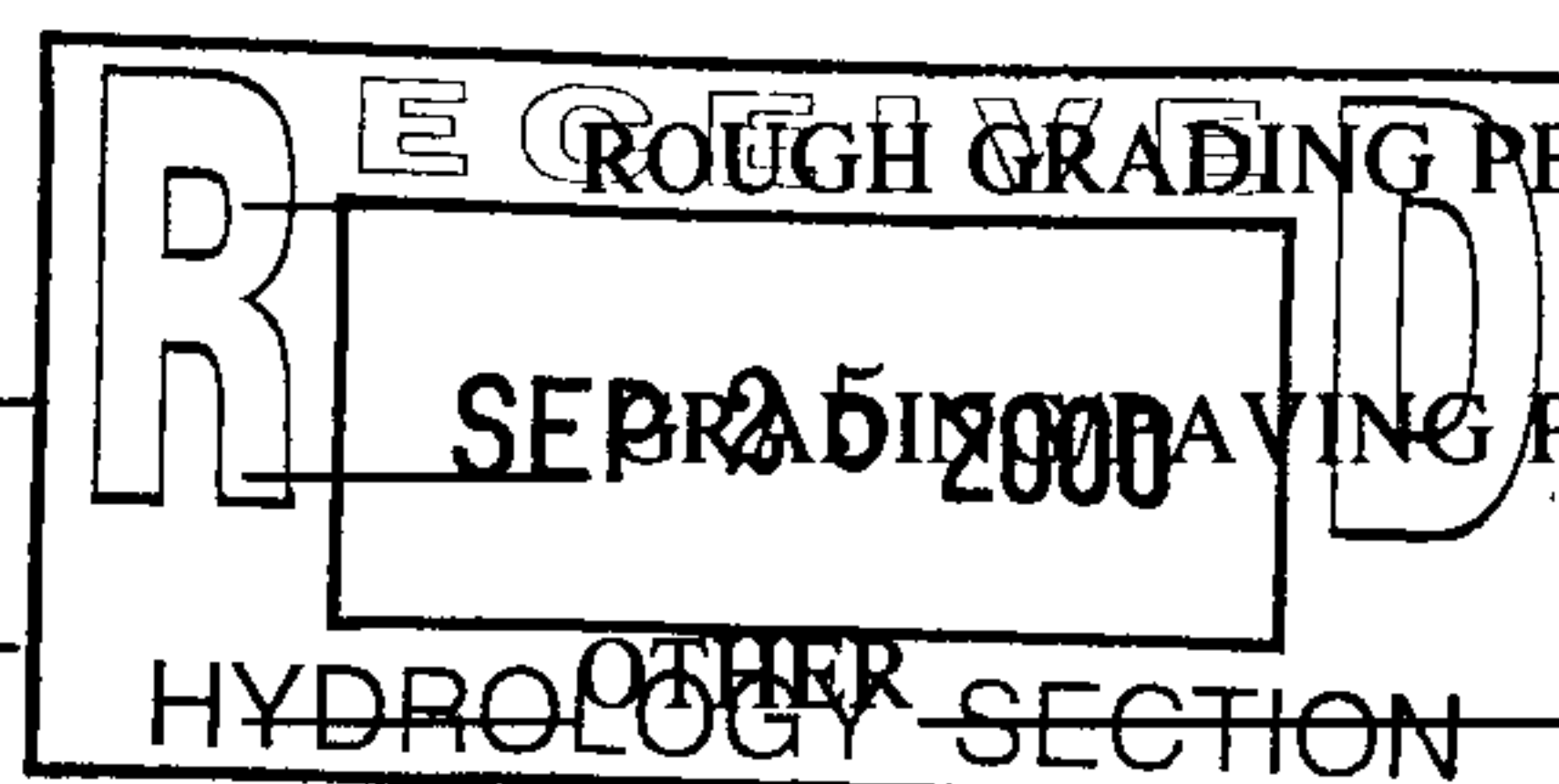
☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

DATE SUBMITTED: September 20, 2000

BY: LARRY READ

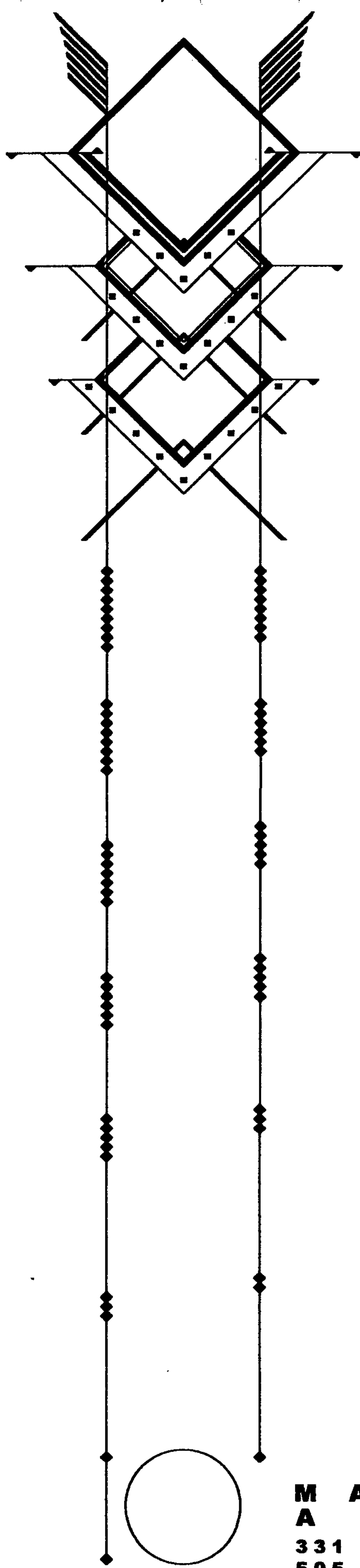


ROUGH GRADING PERMIT APPROVAL

BUILDING PERMIT APPROVAL

HYDROLOGY SECTION

(SPECIFY)



23 April 2003

Ms. Teresa Martin

Re: TCL for 'The John Blair Project'

As we discussed on Tuesday April 22, 2003, I have inherited this Project from Richard Moeller due to his untimely death. I am a little unclear on his status on the TCL for this project. I have reviewed the written comments from your file #J14/D135 and more than half had been addressed on the plans I first received. I believe I have addressed the remainder with the attached drawing. I have reviewed the TCL site plan checklist and don't think there are any major items not addressed.

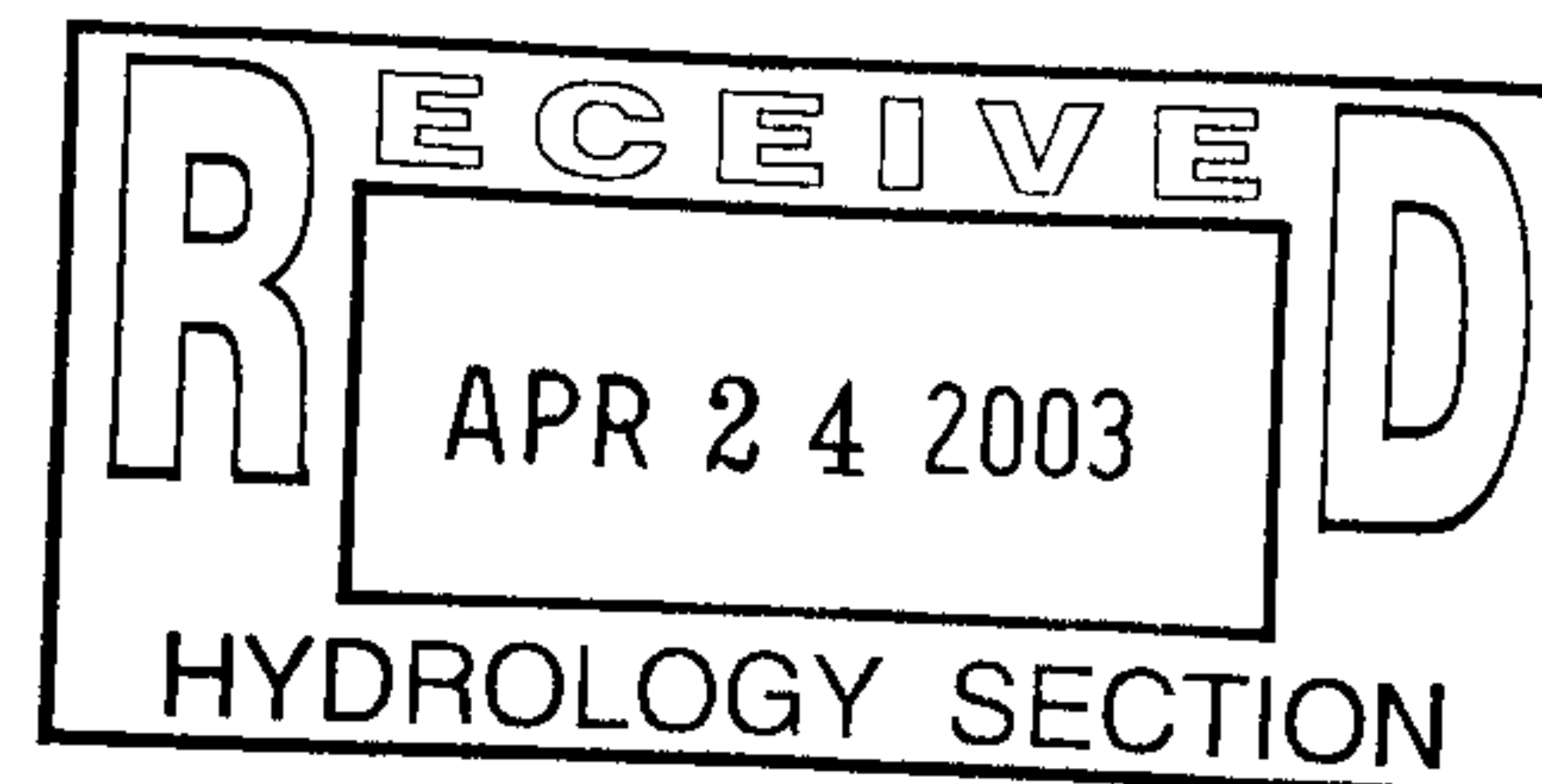
I would like to get this drawing approved before going back to Larry Read for his review of the Grading and Drainage Plan. The revision to the grading plan should be minimal and not affect the overall design scheme.

At any rate, this should get the review process back in motion after the unforeseen delays. Please let me know if I have overlooked any of your comments or if you have any more.

Thank you for your help in this matter.

SINCERELY


Martin FM Grummer



M A R T I N F M G R U M M E R
A R C H I T E C T
331 WELLESLEY PL NE ALBUQUERQUE, NM 87106
505-265-2507 505-265-6266 FAX MGRUMMER@AOL.COM

- T.C.L.(Site Plan) must be stamped and stamp must be dated.
- For this Plan, and all others following, submit street address of site. Could be part of title block or application sheet in Hydrology file. Also call out name of subdivision and lot number and/or tract number.
- Place a note on the plan stating the following:
 - "The as-built submittal by the designer-of-record, as required by Transportation Development, must also include a letter of certification that the site has been constructed in accordance with the TCL before a Certificate of Occupancy is issued."
- Contractor selected must be made aware, by note on Site Plan, that any agreement with the owner stating that any portions of permit construction completed by other than that contractor, will probably cause delay, therefore, Certificate of Occupancy will not be issued until all work is finished.
- The responsibility for errors on the site plan and subsequent unauthorized field changes must be specified on the Site Plan, in bold type, as follows:
 - "The responsible Party must rectify all unapproved construction resulting from errors on the approved Site Plan." and
 - "This Site Plan has been approved and accepted by all parties. Any field changes not accepted by Traffic Engineer, after approval for building permit, will result in:
 - (1) Untimely delay of certification for final Certificate of Occupancy in order to correct unapproved work, and
 - (2) increase in construction cost to responsible parties."
- Existing street sidewalk and C&G affecting safe vehicular or pedestrian travel will be removed and replaced. Note on plan.
- Only one T.C.L. is needed per Permit submittal. Multiple copies of T.C.L. will need to match exactly.
- Need to see clear differentiation between new construction and existing on T.C.L. _Show, label, and dimension existing and/or new street sidewalk construction. City sidewalk ordinance requires minim. 4' street sidewalks along the frontage of all commercial sites being developed. _Any new sidewalk construction must be built so back of sidewalk is at Right-of-way (property) line.
- Dimension parking stalls - label "typical" or call out in individual locations, if not typical.
- Concrete curb, per city standard, must be constructed at H.C. parking area as shown. _Label curb typical on general note.
- Because of the preliminary nature of the new review process, if Zoning has not seen this layout prior to this review, any requirements by Zoning at time of their review, altering the parking layout, will void approval of T.C.L. and new review will be needed.
- Need to know what size vehicle will be largest to use site, and route. _Proposed use of overhead doors on commercial sites requires that plan reviewer looks for large wheelbase (refuse/UPS) vehicle to be smallest to use doors. This site layout will not allow enough room for this condition without backing from or into street. This violates provisions in the DPM, Sect. 23.6B.8b.2 & 23.7B.8.
- Label - "Construct new driveway per City of Albuquerque. Std. Detail Dwg. No. 2425."
- Property description on T.C.L. does not match current City Zone Map. Copy of replat or acceptable current plat, stamped and signed by County Clerk's Office, will be needed prior to approval for building permit.
- Need to see that all existing obstacles in City right-of-way, in existing sidewalks, have been picked up.
- All Civil Sheets (Drainage Plan and T.C.L. & details) must be together at front of plan set.
- Linework on Drainage Plan and Landscape Plan must match T.C.L. exactly. Confirm the acceptability of the changes in T.C.L., that are required by this office, with Hydrology. If minor changes are acceptable to Hydrology, call out on T.C.L.: INSPECTION OF CONSTRUCTION FOR C.O. FOR TRANSPORTATION WILL BE DONE FROM THIS SHEET.
- Show and label new or existing H.C. ramp at street corner, must be A.D.A.
- Place concrete wheel stop only at front of H.C. stall, 18'-0" from rear of stall, use #6 rebar anchors, 18" in length. Note on T.C.L.
- Using traffic turning template, TCL layout is not designed to allow safe, effective use by refuse vehicle, as shown, without violating Development Process Manual - Chapter 23, Section 6B.8b.2 & Chapter 23, Sect. 7B.8.



City of Albuquerque

March 27, 2000

Larry Read, P.E.
Larry Read & Associates
12836 B Lomas Blvd., NE
Albuquerque, NM 87112

RE: GRADING & DRAINAGE PLAN FOR BLAIR DEVELOPMENT (J-14/D135)
ENGINEERS STAMP DATED 3/3/00 SUBMITTED FOR BUILDING PERMIT
APPROVAL

Dear Mr. Read,

Based upon the information provided in your March 6, 2000, submittal, the project referred to above is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to release of the Certificate of Occupancy, an Engineer Certification, per the DPM checklist, will be required.

If you have any questions, please call me at 924-3988.

Sincerely,

Stuart Reeder, P.E.

Stuart Reeder, P.E.
Hydrology Division

xc: Whitney Reiersen
✓ File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: BLAIR DEVELOPMENT ZONE ATLAS/DRNG. FILE: J-14 / D/35

LEGAL DESCRIPTION: LOTS 8, 9, 10, & 11, BLOCK 3, ANDERSON ADDITION

CITY ADDRESS: 5031 THIRD STREET, N.W.

ENGINEERING FIRM: LARRY READ & ASSOCIATES CONTACT: LARRY READ

ADDRESS: 12836-B LOMAS BLVD., N.E. 87112 PHONE: 237-8421

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

PREDESIGN MEETING:

☐ YES
☒ NO

DRB NO. _____
EPC NO. _____

☐ COPY OF CONFERENCE RECAP SHEET

PROJECT NO. _____

PROVIDED

TYPE OF TRANSMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ PRELIMINARY GRADING AND DRAINAGE

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☒ OTHER TCL (SPECIFY)

DATE SUBMITTED: MARCH 6, 2000

BY: LARRY READ

