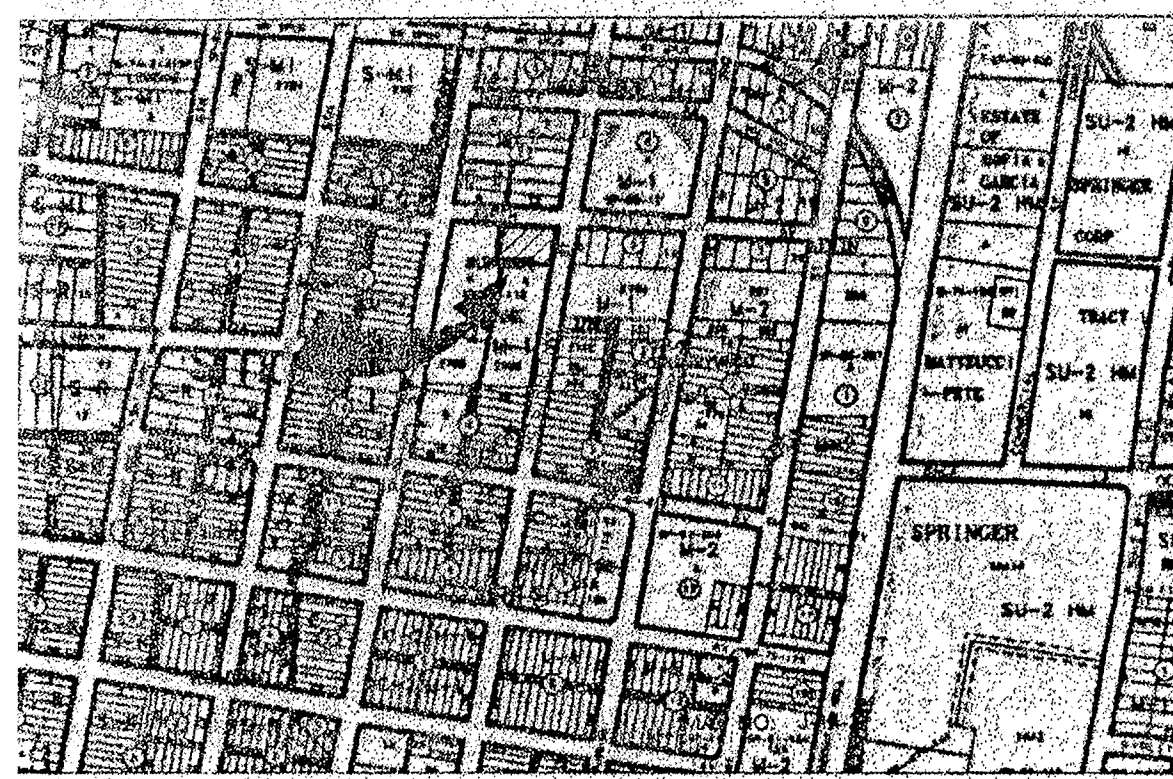
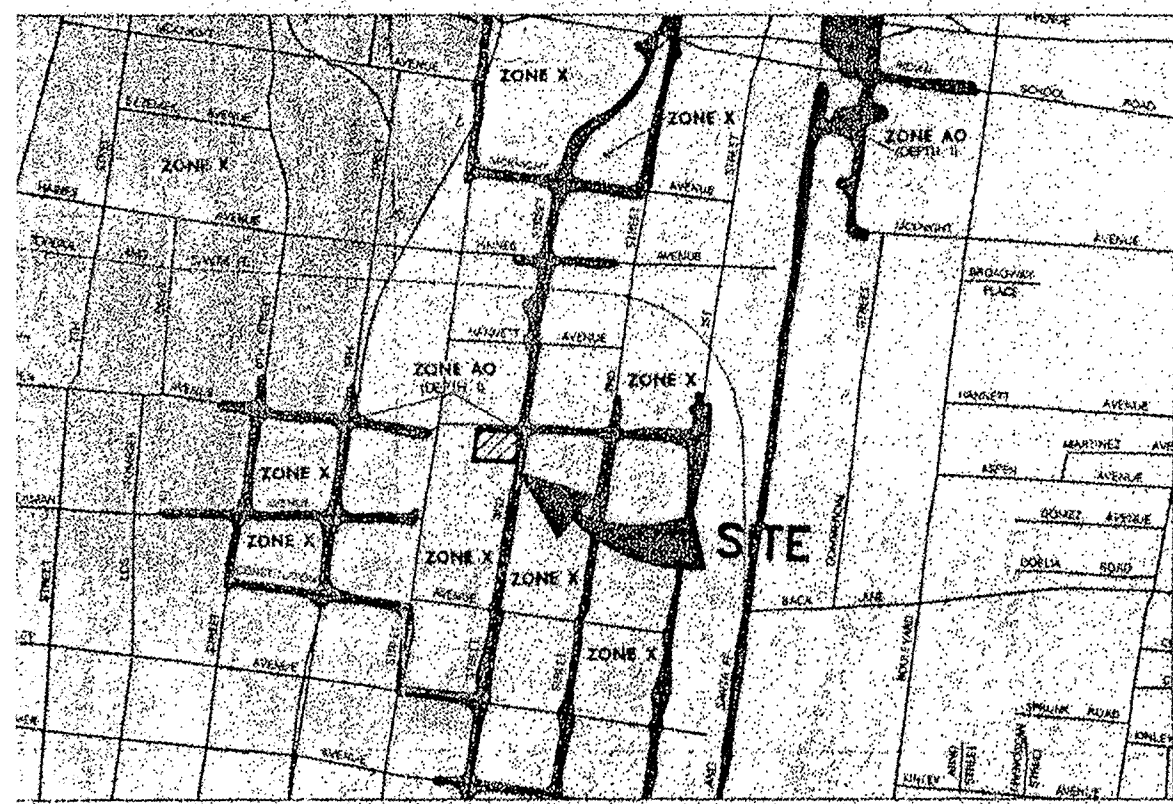


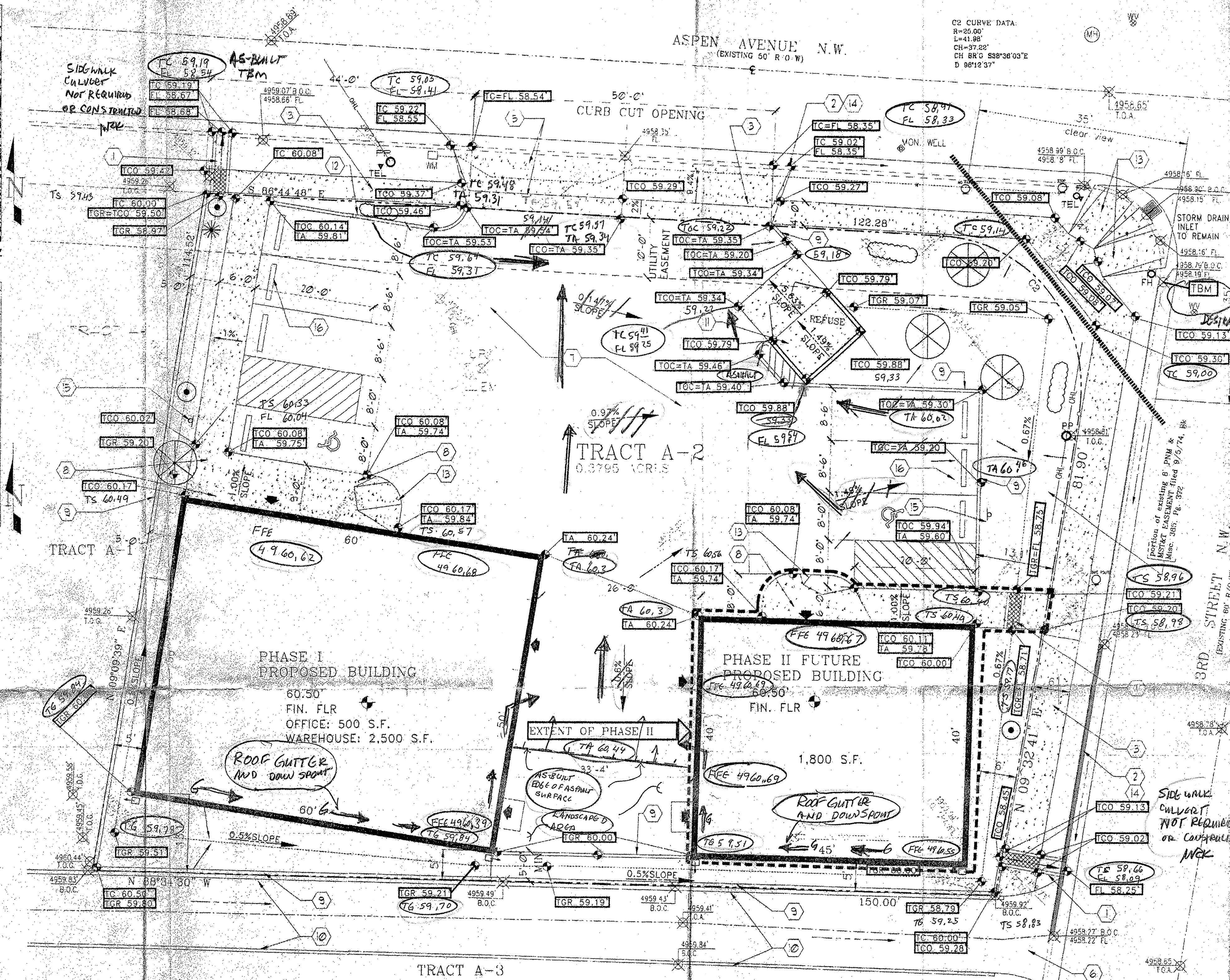


LOCATION MAP
MAP NO: J-14-Z
NOT TO SCALE



FORM MAP: PANEL 35001 C0332 D
NOT TO SCALE

- LEGEND**
- 4959- EXISTING ELEV. CONTOUR TO REMAIN
 - EXISTING ELEV. CONTOUR - MODIFIED
 - PROPOSED ELEV. CONTOUR
 - TC 59.43- PROPOSED TOP OF CURB ELEVATION
 - FL 58.12- PROPOSED FLOWLINE ELEVATION
 - TCO 59.54- PROPOSED TOP OF CONCRETE ELEVATION
 - TCO 59.54- PROPOSED TOP OF GRAVEL ELEVATION
 - TA 58.35- PROPOSED TOP OF ASPHALT ELEVATION
 - 0.5% SLOPE- PROPOSED DIRECTION OF FLOW - DRAINAGE
 - EXISTING DIRECTION OF FLOW - TO REMAIN
 - 59.80'- DOWNSPOUT LOCATION AND FLOW DIRECTION
 - PROPOSED BUILDING FINISH FLOOR ELEVATION
 - EXISTING TOP OF GRAVEL ELEV. TO REMAIN
 - EXISTING BACK OF CURB ELEV. TO REMAIN
 - EXISTING FLOWLINE ELEV. TO REMAIN
 - EXISTING TOP OF ASPHALT ELEV. TO REMAIN
 - EXIST. TOP OF GRAVEL ELEVATION TO BE RE-GRADED
 - OPP- EXISTING POWER POLE TO BE REMAIN
 - TEL- EXISTING TELEPHONE RISER TO REMAIN
 - CHL- OVERHEAD POWER LINE
 - MON. WELL- EXISTING MONITORING WELL TO REMAIN
 - W- EXISTING WATER METER TO REMAIN
 - WV- EXISTING WATER VALVE TO REMAIN
 - W- EXISTING SANITARY SEWER MANHOLE TO REMAIN
 - Q- STREET SIGN
 - ENTER- BUILDING ENTRANCE
 - NEW ASPHALT PAVEMENT
 - NEW CONCRETE PAVEMENT



- KEYED NOTES**
- CONCRETE SIDEWALK CULVERT WITH STEEL PLATE TOP PER CITY OF ALBUQUERQUE STANDARD DRAWING #2236.
 - NEW CONCRETE CURB AND GUTTER, MATCH EXISTING ELEVATIONS AND ASSURE SMOOTH TRANSITION.
 - CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD DRAWING #2430.
 - NOT USED.
 - CONCRETE DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD DRAWING #2425.
 - EXISTING CONCRETE DRIVEPAD TO REMAIN ON ADJACENT PROPERTY.
 - ASPHALT PAVEMENT.
 - CONCRETE SIDEWALK AND ENTRY.
 - CONCRETE CUT-OFF WALL PER CGA STANDARD DETAIL DRAWING #2415.
 - EXISTING CONCRETE CURB TO REMAIN ON ADJACENT PROPERTY.
 - REFUSE BIN ENCLOSURE.
 - NOT USED.
 - WHEEL CHAIR CURB ACCESS RAMP PER CITY OF ALBUQUERQUE STANDARD DRAWING #2441.
 - REMOVE EXISTING CONCRETE DRIVE PAD.
 - HANDICAPP PARKING SIGN.
 - CONCRETE TIRE STOP.
- CHANGED TO TREATED TIMBER**
- APPROVAL**
- | APPROVAL | NAME | DATE |
|-----------|------|------|
| INSPECTOR | | |
- ENGINEERS CERTIFICATION**
- I HEREBY CERTIFY THAT I HAVE PERSONALLY INSPECTED THE SITE AND THAT NO GRADING, FILLING OR EXCAVATION HAS OCCURRED SINCE THE DATE OF THE TOPOGRAPHIC SURVEY.
- CELIA S. TOMLINSON, PE**
- RECORD INFORMATION**
- THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND IS INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF SITE CONDITIONS FOR ANY OTHER PURPOSE.
- MARVIN R. KORTUM, NMPE 6519**
- REVISIONS TO THE ORIGINAL PLAN, REVIEWED AND APPROVED BY THE HYDROLOGY SECTION ON OCTOBER 6, 2005, HAVE BEEN CONSTRUCTED, AS DESCRIBED BELOW:**
- THE RUNOFF FROM IMPERVIOUS SURFACES THAT FLOWS TO THE SOUTH PART OF THE PROPERTY FROM THE SOUTH HALF OF THE PITCHED ROOF ON THE TWO BUILDINGS IS NOW DIRECTED TO A GUTTER AND DOWN SPOUT INSTALLED ON THE BUILDINGS, WITH THE DOWN SPOUT DIRECTING THE ROOF RUNOFF TO THE ASPHALT DRIVEWAY BETWEEN THE TWO BUILDINGS.
 - A TREATED TIMBER CURB IS SUBSTITUTED FOR THE CONCRETE HEADER WALL THAT WAS APPROVED ALONG THE SOUTH AND WEST PROPERTY LINES.
 - THE ASPHALT SURFACED DRIVEWAY HAS BEEN RE-SURFACED TO DIRECT RUNOFF TSO THE DRIVEWAY AND INTO THE GUTTER ALONG ASPEN AVENUE NW.
 - THE SIDEWALK CULVERTS AT THE SOUTHWEST CORNER, ON ASPEN AVENUE NW, AND AT THE NORTHEAST CORNER, ON 3RD STREET HAVE BEEN DELETED AS A REQUIREMENT BECAUSE ALL RUNOFF FROM IMPERVIOUS SURFACES IS DIRECTED TO THE DRIVEWAY ON ASPEN AVENUE NW.
- NOTE: ADD 4900 FEET TO PROPOSED SPOT ELEVATIONS TO GET MEAN SEA LEVEL DATUM ELEVATIONS.**

DRAINAGE AND GRADING PLAN FOR ASPEN/3RD STREET BUILDINGS 300 ASPEN AVENUE N.W.

FLOODPLAIN INFORMATION: The property is located in Zone X, areas determined to be outside the 500-year floodplain, according to the Floodway Insurance Rate Map of Bernalillo County, Community Panel 35001C0332D, effective September 20, 1998. Third (3rd) Street and Aspen Avenue are in Zone AO, flood depths of one foot.

EXISTING ON-SITE CONDITIONS: The site is presently unimproved and gravelled vacant land. It is bound on the north by Aspen Avenue NW, an asphalted street with concrete curb and gutter, but no sidewalk; on the east by 3rd Street NW, an asphalted street with concrete curb and gutter but has no sidewalk; on the south by vacant, unimproved gravel lot; and on the west by an unimproved vacant gravelled lot. The subject property is flat and on an infill area. Surface drainage stays on site. An underground storm drain system exists on 3rd Street, with a catch basin on the curb return of the southwest corner of Aspen and 3rd Street.

OFF-SITE DRAINAGE CONTRIBUTION - NONE.

PROPOSED IMPROVEMENTS: Two buildings with a total of 6000 square feet of roof area will be built on the south side of the lot. Landscaping and asphalt parking will be provided.

ANALYSIS PHILOSOPHY: The site will be graded such that the post-development flows will be allowed to free discharge to Aspen and 3rd through landscaped areas. Pre-developed and post-developed runoff quantities and volumes are calculated to determine the impact of the additional impervious surfaces that will be created.

EROSION CONTROL: Water from construction activities and/or rainfall shall be retained on site through temporary ponding areas to prevent any runoff from entering the streets.

NOTE: All references are to City of Albuquerque Development Process Manual, July, 1997

TOTAL LOT SIZE: 0.3795 ACRES

PRECIPITATION ZONE 2

100 YEAR STORM DEPTH (DPM TABLE A-2, p 22-8)

EVENT INCHES	P ₁₀₀	P ₁₀₀	P ₁₀₀	P ₁₀₀	P ₁₀₀
	2.01	2.35	2.75	3.30	3.95

100 YR 6 HR STORM EVENT

TREATMENT	A	B	C	D
Q _{PEAK} (CFS/ACRE)	1.56	2.28	3.14	4.70
E ₅₀₀ (INCHES)	0.53	0.78	1.13	2.12

EQUATIONS REQUIRED

Q_{PEAK} TOTAL (Q_{PT}) = Q_{PA} A_A + Q_{PB} A_B + Q_{PC} A_C + Q_{PD} A_D (DPM EQ. a-10, p 22-16)

E₅₀₀ (WEIGHTED) = (E_A * A_A + E_B * A_B + E_C * A_C + E_D * A_D) / A_T (DPM EQ. a-5, p 22-14)

V₅₀₀ (VOLUME RUNOFF) = E₅₀₀ (WEIGHTED) * (A_A + A_B + A_C + A_D) / 12 in/ft (DPM EQ. a-6, p 22-14)

V_{10 DAYS} = V₅₀₀ + A_T * (P_{10 DAYS} - P₅₀₀) / 12 in/ft (DPM EQ. a-9, p 22-14)

EXISTING CONDITIONS

TREATMENT	A	B	C	D
Q _{PEAK} TOTAL (Q _{PT})	1.19 CFS			
V ₅₀₀	1560 ft ³			

DEVELOPED CONDITIONS

TREATMENT	A	B	C	D
Q _{PEAK} TOTAL (Q _{PT})	1.59 CFS			
V ₅₀₀	2525 ft ³			

INCREASE IN RUNOFF QUANTITY = 1.59 - 1.19 = 0.40 CFS (NEGLIGIBLE)

INCREASE IN RUNOFF VOLUME = 2525 ft³ - 1560 ft³ = 965 ft³

THE NEGLIGIBLE RUNOFF QUANTITY INCREASE, WHICH WILL BE ALLOWED TO FREE DISCHARGE TO THE STREETS, WILL NOT ADVERSELY IMPACT THE STREET AND/OR CATCH BASIN CAPACITY.

NOTE: -TBM AS MARKED NOT USED FOR AS-BUILT ELEVATION BECAUSE IT WAS DESTROYED BY NEW CONSTRUCTION

- BM 24-J14 ALSO HAS BEEN DESTROYED BY NEW CONSTRUCTION

- THE TOP OF CURB AT THE WEST END OF THE PROPERTY, TC 59.19, WAS USED FOR AS-BUILT ELEVATIONS

NOTE: THIS IS NOT A BOUNDARY SURVEY. PROPERTY CORNERS, BEARINGS AND DISTANCES SHOWN HEREON ARE FOR ORIENTATION PURPOSES ONLY.

300 ASPEN AVENUE N.W.

WAREHOUSE ON ASPEN

REVISION

REVISION	DATE	DESCRIPTION

APPROVALS

APPROVALS	ENGINEER	DATE

PROJECT TITLE: WAREHOUSE ON ASPEN

SHEET TITLE: DRAINAGE AND GRADING PLAN

SCALE IN FEET

1" = 10'

BENCHMARK 24-J14 ELEVATION 4958.365

ENGINEERS CERTIFICATION

I HEREBY CERTIFY THAT I HAVE PERSONALLY INSPECTED THE SITE AND THAT NO GRADING, FILLING OR EXCAVATION HAS OCCURRED SINCE THE DATE OF THE TOPOGRAPHIC SURVEY.

CELIA S. TOMLINSON, PE

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