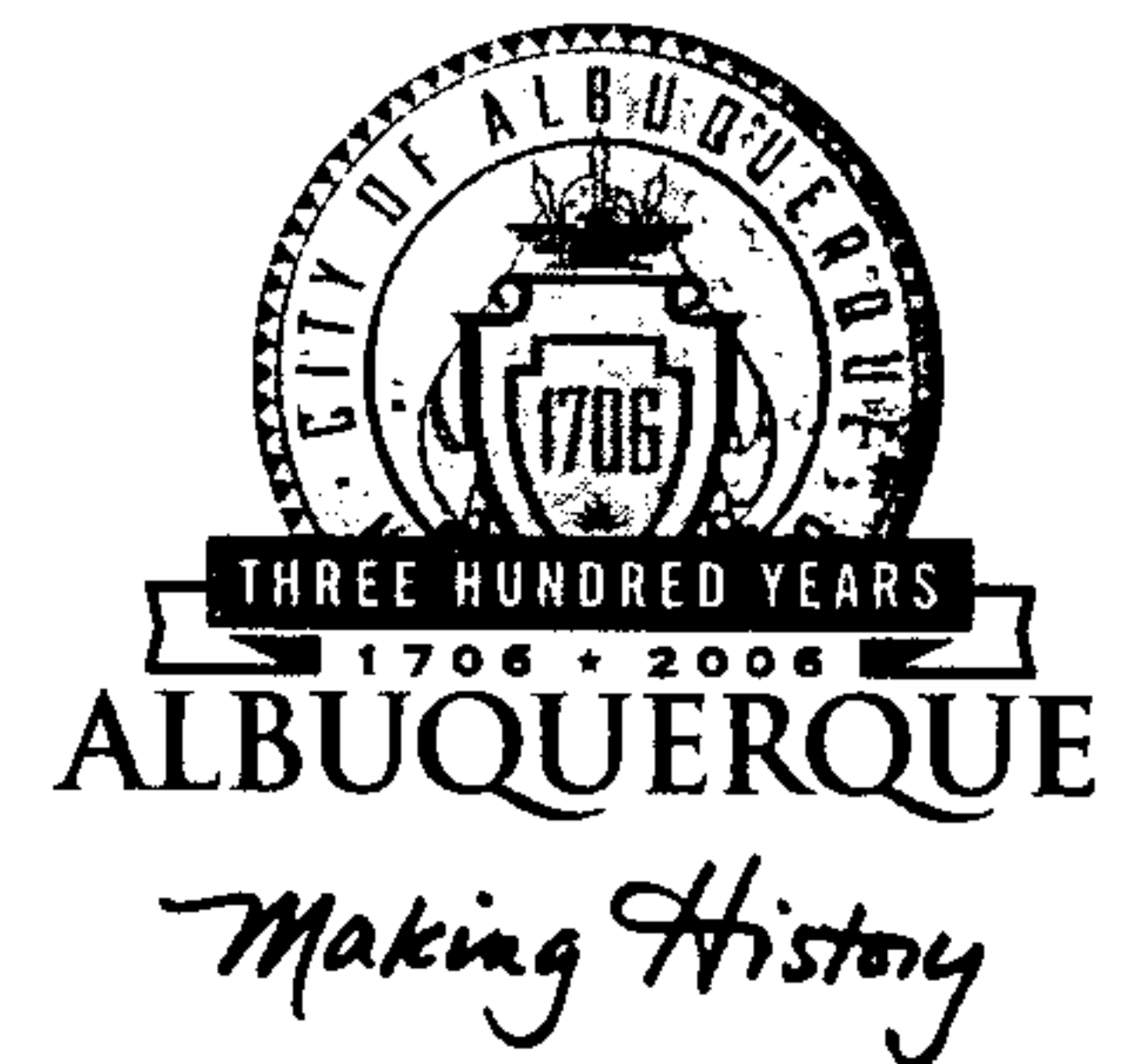


CITY OF ALBUQUERQUE



March 23, 2006

Mr. Marvin Kortum, P.E.
1605 Speakman Dr. SE
Albuquerque, NM 87123

Re: WAREHOUSE ON ASPEN
300 Aspen Avenue NW
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 04/04/2003 (J-14/D145)
Certification dated 03/20/2006

Dear Marvin:

Based upon the information provided in your submittal received 03/21/2006, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

C: CO Clerk
{File_}

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE: WALL HOUSE AND SITE IMPROVEMENTS
300 ASPEN AVE NW **ZONE MAP/DRG. FILE #:** J-14 - D-145
DRB #: _____ **EPC#:** _____ **WORK ORDER#:** _____

LEGAL DESCRIPTION: TRACT A-2 PLAT OF TRACTS A-1, A-2 & A-3, LANDS OF HINDI
CITY ADDRESS: 300 ASPEN AVENUE NW

ENGINEERING FIRM: Marvin R. Kortum **CONTACT:** FAX 299-9405
1605 Speakman Drive, SE **PHONE:** (505) 299-0774
Albuquerque, New Mexico **ZIP CODE:** 87123

OWNER: LOS ANGELES LTD **CONTACT:** Steve Montgomery
1167 E. ALAMEDA **PHONE:** (505) 844-7599 933-6562
SANTA FE NEW MEXICO 87501 **ZIP CODE:** 87501

ARCHITECT: _____ **CONTACT:** _____
ADDRESS: _____ **PHONE:** _____
CITY, STATE: _____ **ZIP CODE:** _____

SURVEYOR: _____ **CONTACT:** _____
ADDRESS: _____ **PHONE:** _____
CITY, STATE: _____ **ZIP CODE:** _____

CONTRACTOR: _____ **CONTACT:** _____
ADDRESS: _____ **PHONE:** _____
CITY, STATE: _____ **ZIP CODE:** _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, REQUIRES TCL or equal
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

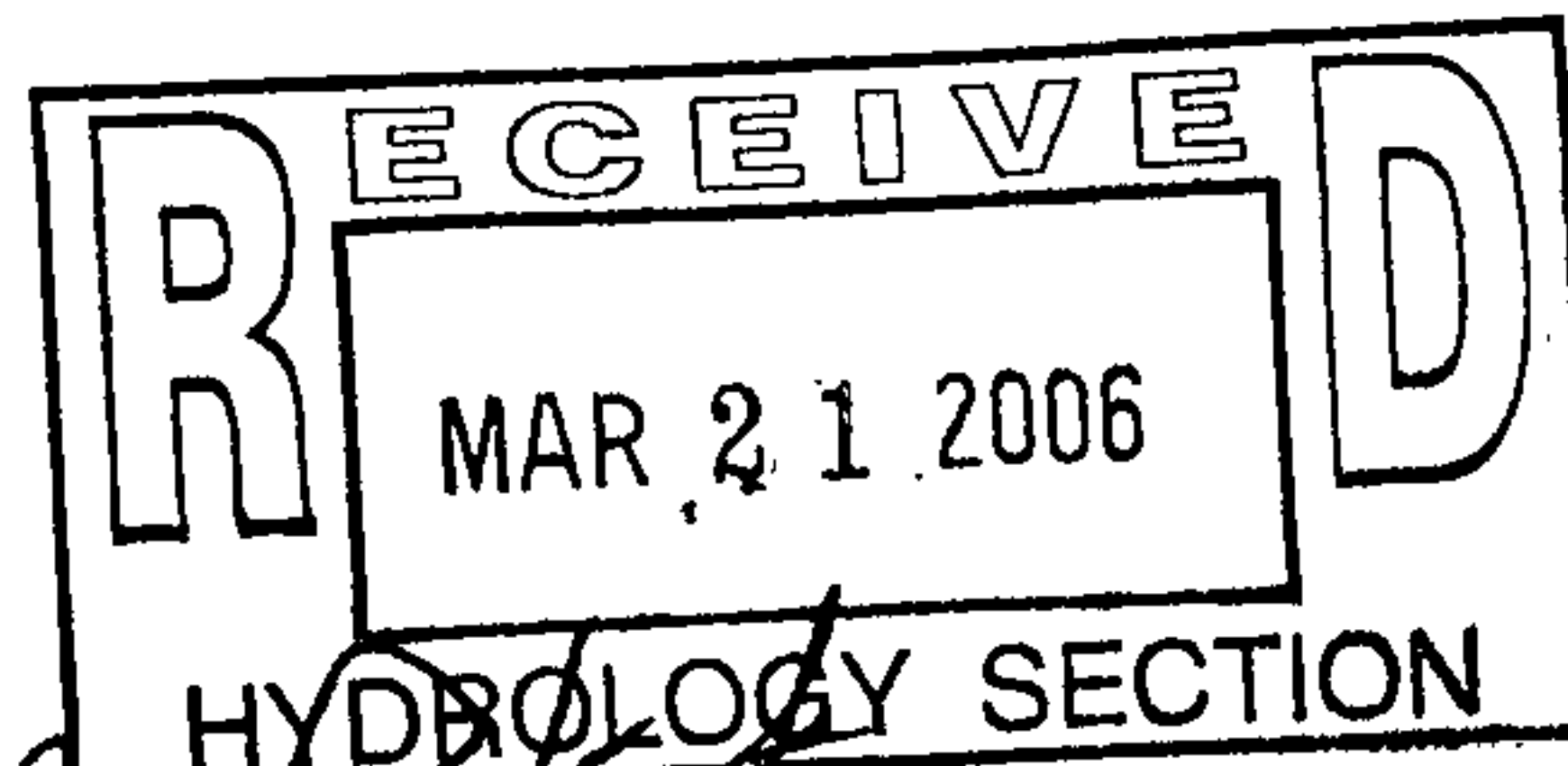
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUBD. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: MARCH 20, 2006 **BY:** [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

Marvin R. Kortum
1605 Speakman Drive, SE
Albuquerque, New Mexico 87123
(505) 299-0774; FAX 299-9405; M 934-5786
N. M. P. E. 6519

March 20, 2006

City of Albuquerque
Planning Department, Development and Building Services Division
Hydrology Development Section
ATTN: Brad Bingham, Section Head (924-3986)
P. O. Box 1293
Albuquerque, New Mexico 87103

REFERENCE: Grading and Drainage Plan for Tract A-2, located at 300 Aspen Avenue NW, (J14-D145)

Dear Brad:

I have been asked by Steve Montgomery, Los Pinones LTD, to certify the Grading and Drainage for the referenced property. Below is my certification.

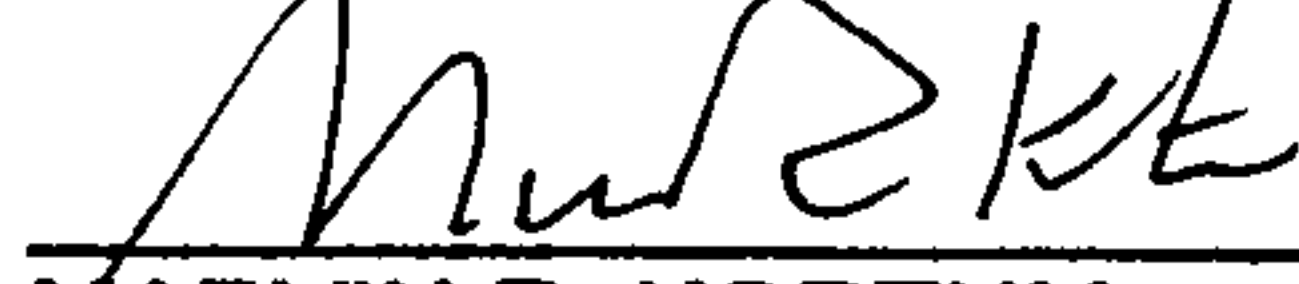
I, MARVIN R. KORTUM, NMPE 6519, CERTIFY THAT I HAVE INSPECTED THE CONSTRUCTED WAREHOUSE BUILDINGS AND SITE IMPROVEMENTS ON TRACT A-2, AT ADDRESS 300 ASPEN AVENUE NW, ALBUQUERQUE, NEW MEXICO 87102. THE CONSTRUCTION AND IMPROVEMENTS ARE IN SUBSTANTIAL COMPLIANCE WITH THE GRADING AND DRAINAGE PLAN (J-14/D 45) FOR THE PLAN STAMPED APRIL 4, 2003 BY THE ENGINEER, CELIA TOMLINSON.

THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

REVISIONS TO THE ORIGINAL PLAN, REVIEWED AND APPROVED BY THE HYDROLOGY SECTION ON OCTOBER 6, 2005, HAVE BEEN CONSTRUCTED, AS DESCRIBED BELOW:

- A. THE RUNOFF FROM IMPERVIOUS SURFACES THAT FLOWS TO THE SOUTH PART OF THE PROPERTY FROM THE SOUTH HALF OF THE PITCHED ROOF ON THE TWO BUILDINGS IS NOW DIRECTED TO A GUTTER AND DOWN SPOUT INSTALLED ON THE BUILDINGS, WITH THE DOWN SPOUT DIRECTING THE ROOF RUNOFF TO THE ASPHALT DRIVEWAY BETWEEN THE TWO BUILDINGS.
- B. A TREATED TIMBER CURB IS SUBSTITUTED FOR THE CONCRETE HEADER WALL THAT WAS APPROVED ALONG THE SOUTH AND WEST PROPERTY LINES.
- C. THE ASPHALT SURFACED DRIVEWAY HAS BEEN RE-SURFACED TO DIRECT RUNOFF TSO THE RIVEWAY AND INTO THE GUTTER ALONG ASPEN AVENUE NW.
- D. THE SIDEWALK CULVERTS AT THE SOUTHWEST CORNER, ON ASPPEN AVENUE NW, AND AT THE NORTHEAST CORNER, ON 3RD STREET HAVE BEEN DELETED AS A REQUIREMENT BECAUSE ALL RUNOFF FROM IMPERVIOUS SURFACES IS DIRECTED TO THE DRIVEWAY ON ASPEN AVENUE NW.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND IS INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF SITE CONDITIONS FOR ANY OTHER PURPOSE.


MARVIN R. KORTUM

NMPE 6519

Elevations of the as-built structures are noted as


DATE



Thank you for your assistance on this matter.

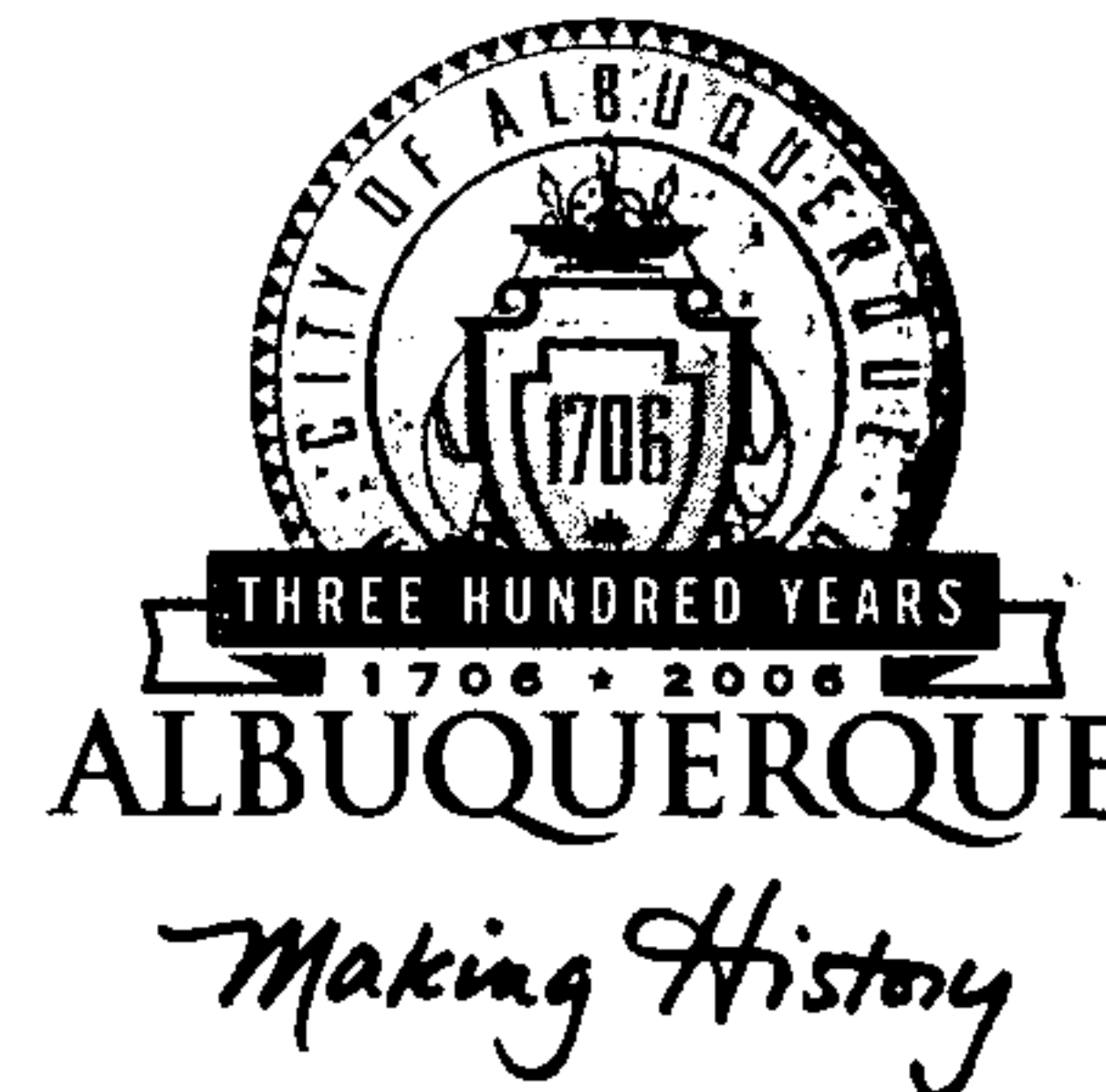
Sincerely,



Marvin R Kortum

Cc: Los Pinones LTD
1167 E Alameda
Santa Fe, NM 87501
(505) ~~804-7599~~
933-6562

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

March 23, 2006

Marvin R. Kortum, P.E.
1605 Speakerman Drive SE
Albuquerque, NM 87123

Re: Certification Submittal for Final Building Certificate of Occupancy for
Warehouse on Aspen & site improvement, [J-14 / D145]
300 Aspen Avenue NW
Engineer's Stamp Dated 03/20/06

Dear Mr. Kortum:

P.O. Box 1293

The TCL / Letter of Certification submitted on March 21, 2006 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE: WALL HOUSE AND SITE IMPROVEMENTS
300 ASPEN AVE NW ZONE MAP/DRG. FILE #: J-14 - D-145
DRB #: _____ EPC#: _____ WORK ORDER#: _____
LEGAL DESCRIPTION: TRACT A-2 PLAT OF TRACTS A-1, A-2 & A-3, LANDS OF HINDI
CITY ADDRESS: 300 ASPEN AVENUE NW
ENGINEERING FIRM: Marvin R. Kortum CONTACT: FAX 299-9405
ADDRESS: 1605 Speakman Drive, SE PHONE: (505) 299-0774
CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87123
OWNER: LOS ANGELES LTD CONTACT: Steve Montgomery
ADDRESS: 1167 E. ALAMOGA PHONE: (505) 844-7599 933-6562
CITY, STATE: SANITA FE N 640 N 640 87501 ZIP CODE: 87501
ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____
SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

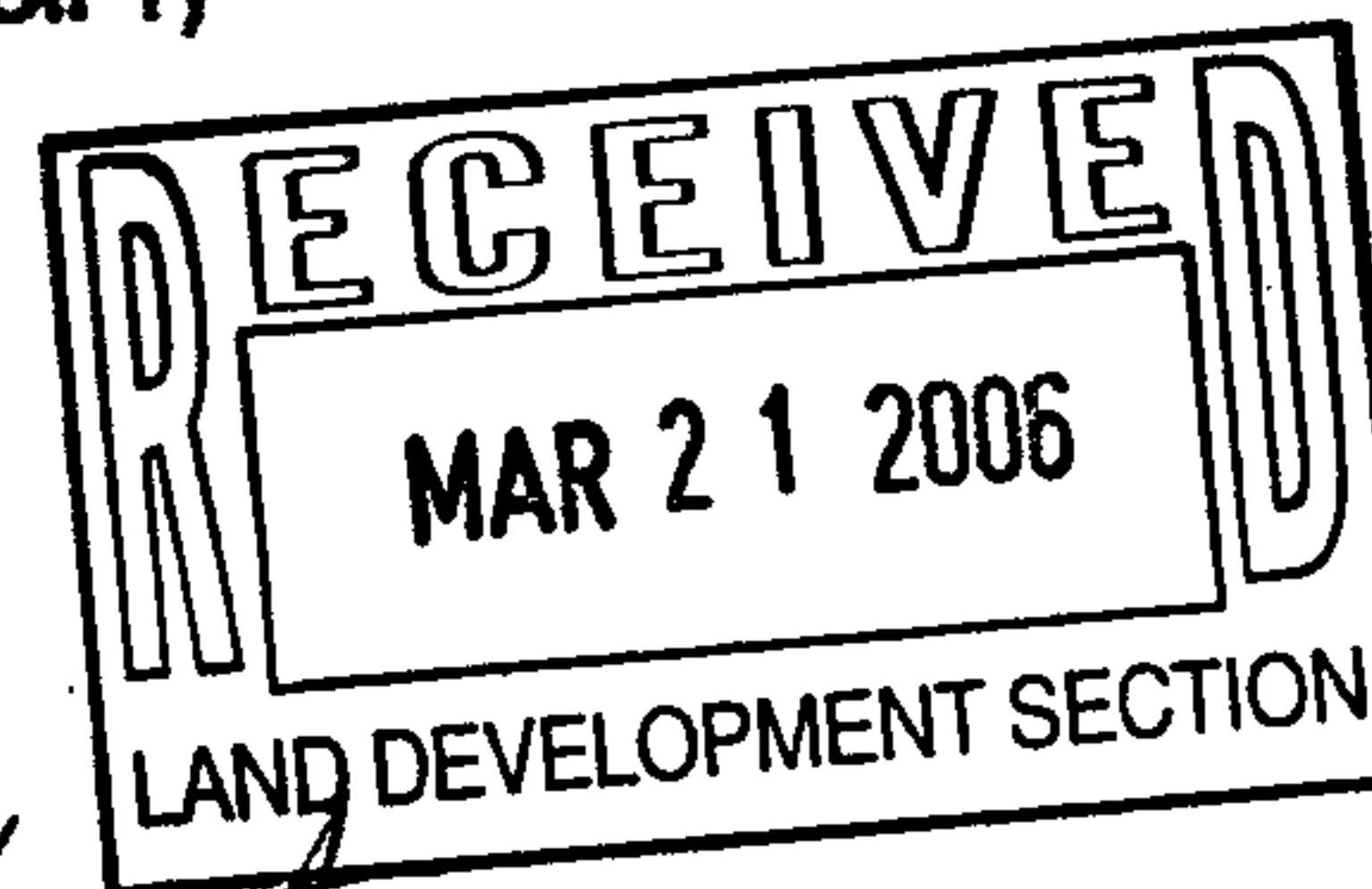
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, REQUIRES TCL or equal
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMP/LOMP
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUBD. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: MARCH 20 2006 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

Marvin R. Kortum
1605 Speakman Drive, SE
Albuquerque, New Mexico 87123
(505) 299-0774; FAX 299-9405; M 934-5786
N. M. P. E. 6519

March 20, 2006

City of Albuquerque
Planning Department, Development and Building Services Division
Transportation Development Section
ATTN: Wilfred Gallegos and Nilo E. Salgado-Fernandez
P. O. Box 1293
Albuquerque, New Mexico 87103

REFERENCE: Traffic Circulation Layout Plan for Tract A-2, at 300 Aspen Avenue NW, (J14-D145)

Dear Wilfred and Nilo:

I have been asked by Steve Montgomery, Los Pinones LTD, to certify the Traffic Circulation Layout Plan for the referenced property.

By your previous letters (September 27, 2005 from Nilo and November 28, 2005 from Wilfred, copies attached) you stated that the certification for the Final Certificate of Occupancy (C. O.) must be an exact copy of the approved TCL, or signed off D. R. B. Site Plan, that is in the contractor's field set and the City's plan set in the basement of the Plaza Del Sol building. I have obtained the information as follows on this subject:

1. The drawing that I submitted on September 26, 2005 (Engineer's stamp dated September 23, 2005) is the only copy of a Site Plan that I have found that has a signature from an official at the D. R. B. level, that signature being Richard Dourte, signed February 18, 2003 on the TRAFFIC CIRCULATION LAYOUT-APPROVED stamp.. That Site Plan is stamped received by PWD/DESIGN REVIEW on February 11, 2003. A copy of this Site Plan is within a set of drawings I received from the contractor shows a red line mark indicating the distance from an existing fire hydrant is 304', and a red mark indicating that a fire hydrant is to be installed at the corner of 3rd Street and Aspen Avenue NW. Also marked is a paste-on of Section 311, Requirements for Group 5 Occupancies. This drawing is sealed and signed by architect David Weatherman, #1486, February 11, 2003. The City of Albuquerque Plan Check-list Sheet attached to this plan set has two specific comments on the Transportation Development section signed by Teresa A Martin, specifically (1) Pending approval of TCL submittal, dated January 14, 2003, and (2) Corrections needed on submittal (include TCL in plan set), dated February 5, 2003. The Plan Set was marked approved on March 6, 2003. Please note that this Plan Set was not approved overall because of a number of the sheets being marked "VOID". The date stamp by Building and Safety on the Check-list is not readable, but separate sheets within the set contain Building and Safety stamps dated February 21 and 28, 2003.
2. A second plan set from the contractor has a Building and Safety Stamp of February 26, 2004. This set from the contractor appears to be identical with the set in the City' files, in the basement of the Plaza Del Sol building (I have not checked all markings and stamps on sheets other than the Hydrology and Transportation). There are no red marks on the plan (now titled, "Site Architectural Plan"), other than a Building and Safety stamp, March 11, 2004. The Transportation Development section of the check-list is initialed approved, March 8, 2004

(copy attached). Please note that this drawing, with architect seal Alexander Finale, #3588, is essentially identical to the site layout as approved by Richard Dourte on February 18, 2003.

The other issues raised in your letters are discussed below:

1. The deep hole at the west end of the sidewalk on Aspen Avenue NW has been filled. This hole was dug by the telephone installer.
2. The cracked sidewalk at the south end of the sidewalk along 3rd Street has been removed and new sidewalk correctly placed.
3. The sidewalk culverts shown on the original plans have been deleted as a requirement with the approval of the Hydrology Section (the runoff is directed to the driveway on Aspen Avenue NW).
4. The widths of the sidewalks is now noted on the certified drawing (4' actual vs. 4' required along Aspen Avenue NW, and 7.5 feet actual vs. 6" required along 3rd Street).

I have certified both copies of the Site Plan, copies attached. A minor change to the asphalt pavement area is that pavement does not extend to the south edges of the buildings (note 7 of the keyed notes). The building entrances (doors) indicated on the approved drawing have been deleted from the building design. The actual location of the edge of the asphalt is marked on the drawing. Below is my certification by letter:

I, MARVIN R. KORTUM, NMPE 6519, CERTIFY THAT I HAVE INSPECTED THE CONSTRUCTED WAREHOUSE BUILDINGS AND SITE IMPROVEMENTS ON TRACT A-2, AT ADDRESS 300 ASPEN AVENUE NW, ALBUQUERQUE, NEW MEXICO 87102. THE CONSTRUCTION AND IMPROVEMENTS ARE IN SUBSTANTIAL COMPLIANCE WITH THE TRAFFIC CIRCULATION LAYOUT PLAN APPROVED ON FEBRUARY 18, 2003 (J-14/D 45) FOR THE PLAN DATE STAMPED FEBRUARY 11, 2003 (ARCHITECT STAMP #1468, SEALED FEBRUARY 11, 2003) AND SITE ARCHITURAL PLAN DATED MAY 20, 2003 (ARCHITECT STAMP #3588, SEALED FEBRUARY 24, 2004).

THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND IS INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF SITE CONDITIONS FOR ANY OTHER PURPOSE.

MARVIN R. KORTUM
NMPE 6519

DATE

Thank you for your assistance on this matter.

Sincerely,

Marvin R Kortum



Cc: Los Pinones LTD
1167 E Alameda
Santa Fe, NM 87501
(505) 804-7599

TRANSPORTATION DEVELOPMENT

(505) 924-3620

PLANS DISAPPROVED
PLANS APPROVED

DATE
DATE

3/8/04

PLANS CORRECTIONS REQUIRED:
(INDICATE ORDINANCE SECTION REFERENCE)

S

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refus

• Ar

• Ea

• Co

• Prc
42-19

PLANS
PLANS

h

FIRE MARSHAL

(505) 924-3611

Items listed below shall be installed in accordance with applicable fire codes prior to a building (or portion of a building) being occupied.

required fire hydrants shall be installed and operable before any building (or portion of the building) is occupied.

approved and adequate water supply shall be provided before any combustible materials are delivered to the building site.

OF BUSINESS
PANCY GROUP

300 ASPEN Ave NW
R-5

STORE OR SPACE NO

UN

(505) 92

• Premise
the Uniform

DESCRIPT
SIZE OF BI
CONSTRU

TRANSPORTATION DEVELOPMENT

(505) 924-3620

PLANS DISAPPROVED
PLANS APPROVED

② Tamm A. Mante

① Tamm A. Mante

Tamm A. Mante

2-5-03

DATE *1-14-03*

DATE *3-6-03*

PLANS CORRECTIONS REQUIRED:
(INDICATE ORDINANCE SECTION REFERENCE)

① PENDING APPROVAL OF T.C.C. SUBMITTAL

② CORRECTIONS NEEDED ON SUBMITTAL.

INCLUDE T.C.C. IN THE PLANS.

SOLID

(505) 761-8100

- A final inspection by refuse container(s) sha
- An inspection by the
- Each customer shall
- Contact the SWMD a
- Proposed constructio 42-1980, as amended).

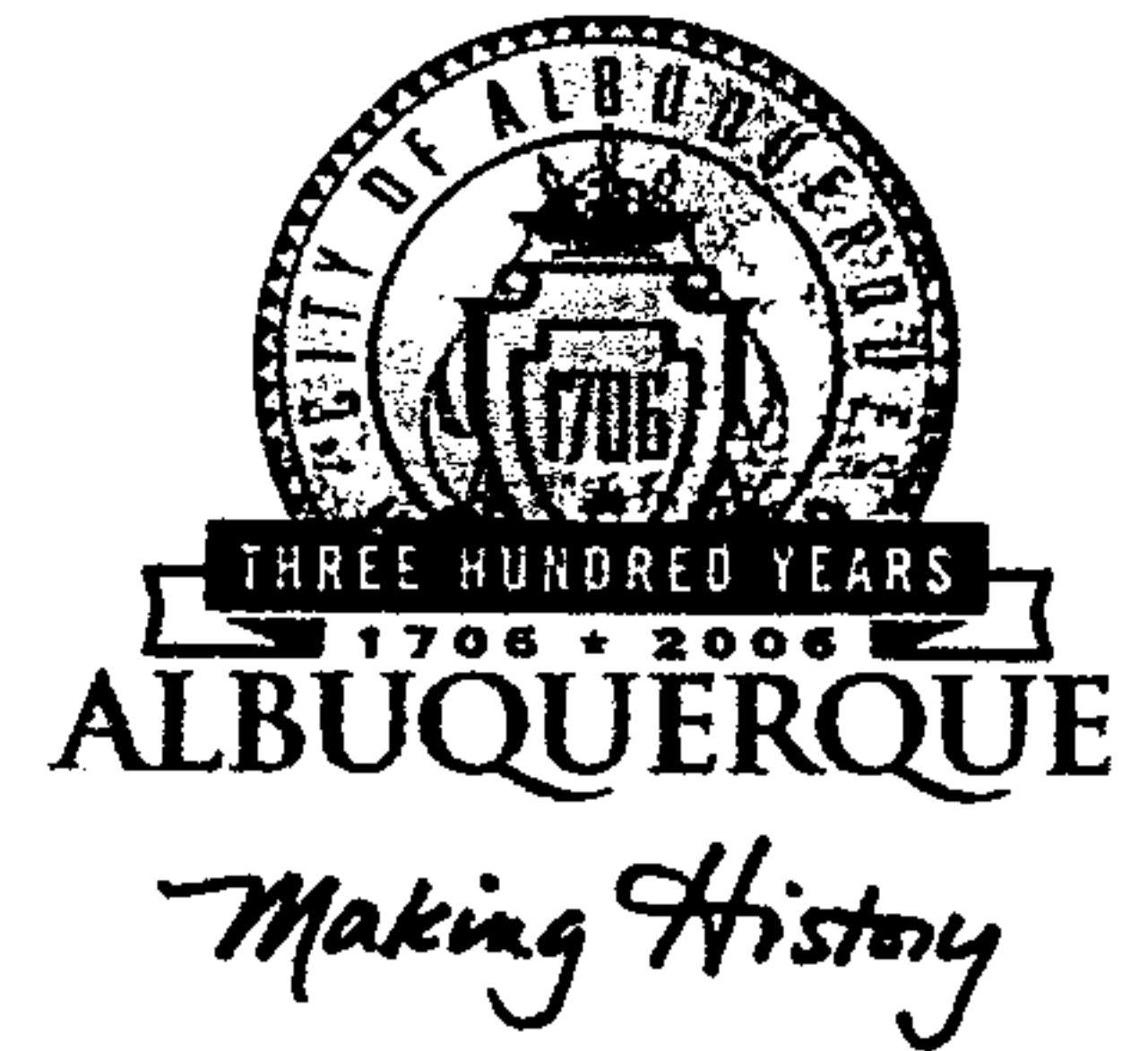
PLANS DISAPPROVED
PLANS APPROVED

*may require
Approved pe*

FIRE MARSHAL

UNIFORM

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

September 27, 2005

Marvin R. Kortum, P.E.,
1605 Speakman Drive SE
Albuquerque, NM 87123

Re: Certification Submittal for Final Building Certificate of Occupancy for
Warehouse on Aspen, [J-14 / D145]
300 Aspen Avenue NW
Engineer's Stamp Dated 09/23/05

Dear Mr. Kortum:

P.O. Box 1293

Albuquerque

New Mexico 87103

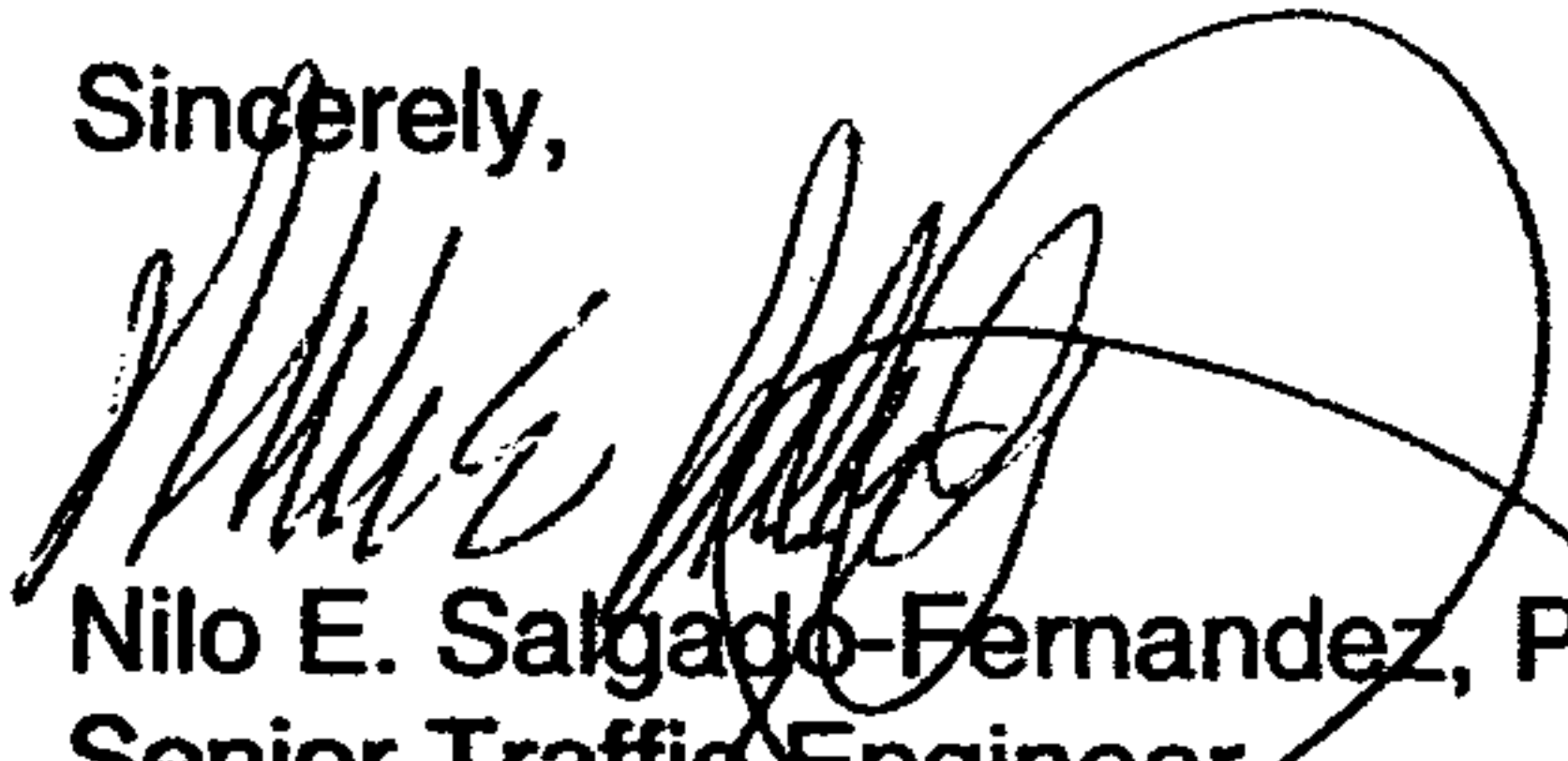
www.cabq.gov

The TCL / Letter of Certification submitted on September 26, 2005 is not sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). The following reasons for rejection: Safety hazard at proposed sidewalk culverts (On Aspen you have a deep hole which needs to be barricaded, and on 3rd Street adjacent to driveway the sidewalk is cracked and has resettled causing a tripping hazard at this location); the true sidewalk widths needs to be reflected on plans; both sidewalk culverts are not in place and will need to be reflected on plans that are being certified for final C.O.

The TCL (or DRB Site Plan) submitted for Final C.O. needs to be the exact copy of the approved TCL in the plan set approved for building permit. This will be the latest edition, which may have redlined comments, initialed and dated by the designer-of-record.

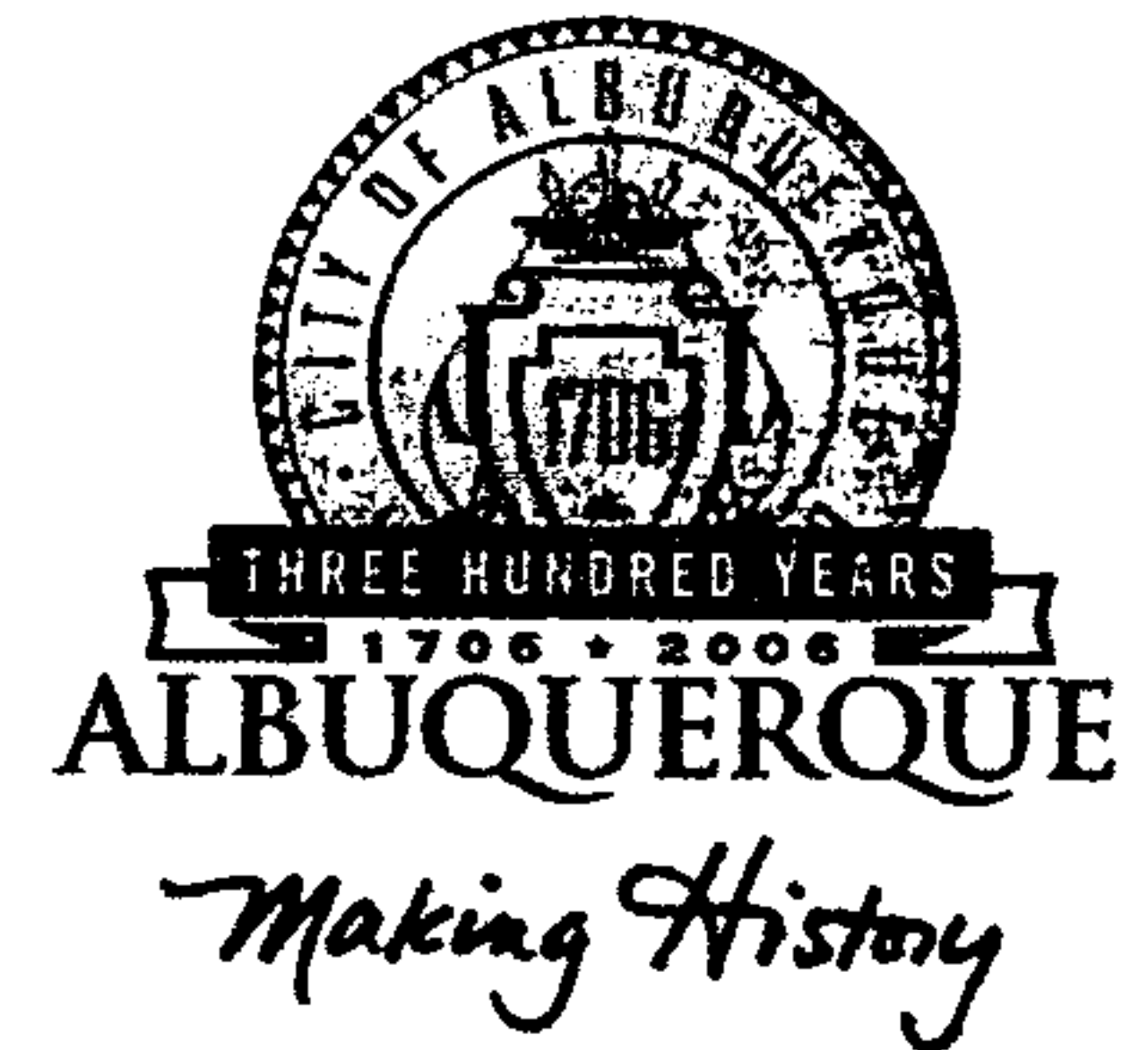
Resubmit acceptable package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

November 28, 2005

Marvin Kortum, P.E.
1605 Speakman Drive SE
Albuquerque, NM 87123

Re: Approval of Temporary Extension of Certificate of Occupancy (C.O.) for
WAREHOUSE ON ASPEN, [J-14 / D145]
300 Aspen Avenue NW
Engineer's Stamp Dated 09/23/05

Dear Mr. Kortum:

Based on the information provided on your submittal dated November 28, 2005, the above referenced project is approved for a 30-day Temporary Extension of the C.O.

A Temporary Extension C.O. has been issued allowing the outstanding sidewalk, within City of Albuquerque ROW, issues (issues stated on letter dated 11/23/2005) to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

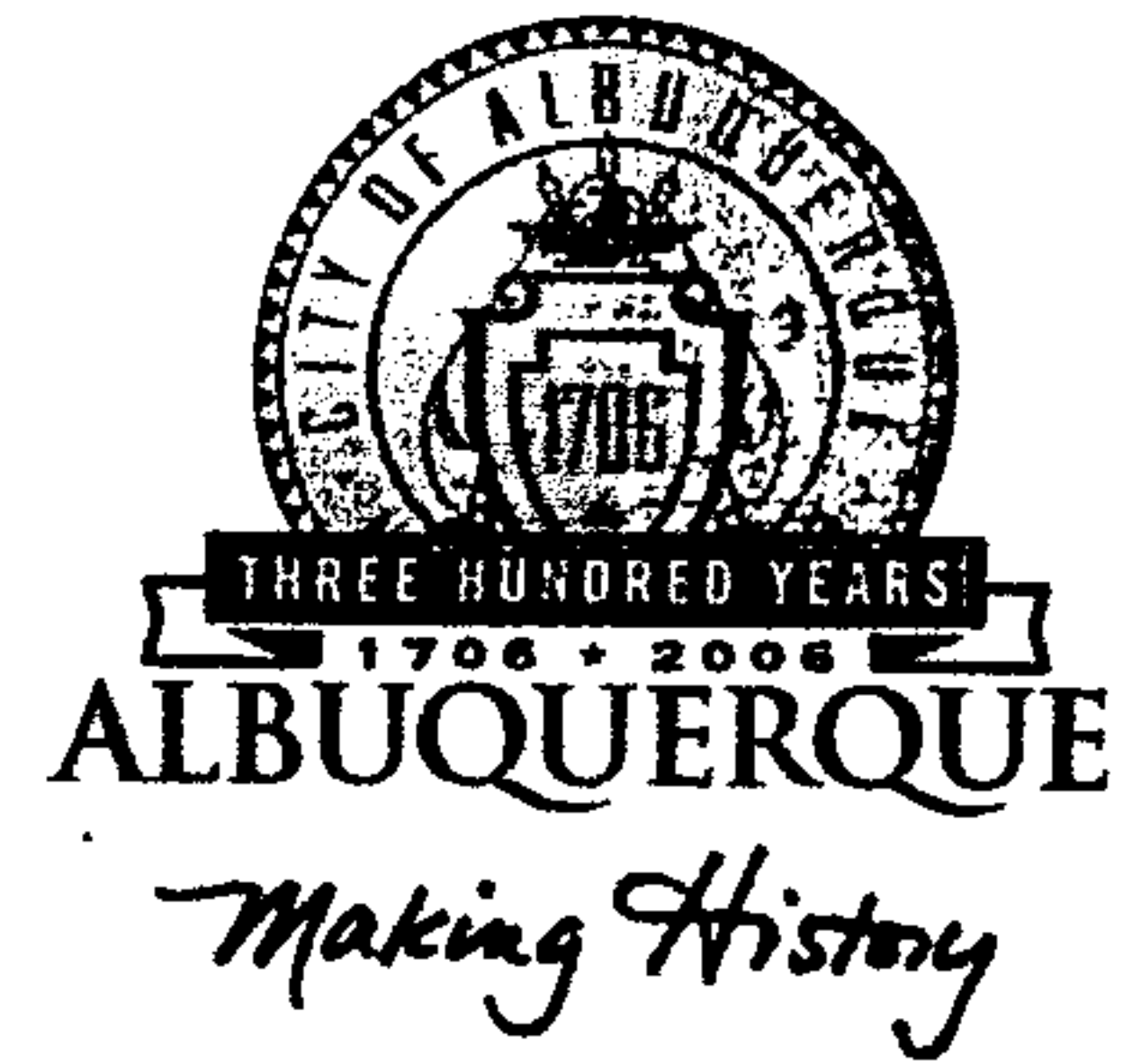
If you have any questions, please call me at 924-3630.

Sincerely,

Wilfred Gallegos, P.E.
Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

CITY OF ALBUQUERQUE



October 7, 2005

Marvin R. Kortum, P.E.
Marvin R. Kortum
1605 Speakman Dr. SE
Albuquerque, NM 87123

**Re: Warehouse on Aspen, 300 Aspen Ave. NW, Certificate of Occupancy
Certification (not dated) (J14-D145)**

Dear Mr. Kortum,

Based upon the information provided in your submittal received 9-30-05, the above referenced certification cannot be approved until the following comments are addressed:

- The following improvements are required to be substantially complete:
 1. Install roof gutters on south side of both building to direct roof runoff to asphalt area on north side of buildings.
 2. Install treated timber curbing along the south property line of site and between refuse pad and sidewalk.
 3. Re-grade asphalt area to direct runoff from buildings and parking area to drive-pad at Aspen.
 4. Sidewalk culverts are not required if the majority of the site runoff can be directed to the drive-pad at Aspen.
- Show proposed improvements and as-built elevations on the approved grading and drainage plan.
- Provide stamped and signed drainage certification language on approved grading and drainage plan.

P.O. Box 1293

Albuquerque

New Mexico 87103

If you have any questions, you can contact me at 924-3990.

www.cabq.gov

Sincerely,

Phillip J. Lovato, E.I., C.F.M.
Engineering Associate, Hydrology,
Development and Building Services,
Planning Department

cc: file

Marvin R. Kortum
1605 Speakman Drive, SE
Albuquerque, New Mexico 87123
(505) 299-0774; FAX 299-9405; M 934-5786
N. M. P. E. 6519

October 7, 2005

City of Albuquerque
Planning Department, Development and Building Services Division
Transportation Development Section
ATTN: Nilo E. Salgado-Fernandez, P. E., Senior Traffic Engineer (924-3630)
Hydrology Development Section
ATTN: Brad Bingham, Section Head, (924-3986)
P. O. Box 1293
Albuquerque, New Mexico 87103

REFERENCE: Traffic Circulation Layout Plan and Grading and Drainage Plan for Tract A-2, at 300 Aspen Avenue NW, (J14-D145)

Dear Nilo and Brad:

This letter is in response to the Transportation Section letter of September 27, 2005, and the Hydrology Section letter of September 26, 2005, both letters referring to my letters of September 23, 2005 on the certification of the of the referenced plans.

On October 6, 2005 the Los Pinos representative, Steve Montgomery and myself met with Nilo E. Salgado-Fernandez and Phillip Lovato, representing the Hydrology Section. The purpose of the meeting on-site at 300 Aspen NW was to determine existing construction deficiencies and recommend corrections.

Deficiencies and omissions are noted below. Because some deficiencies relate to both the Transportation and Hydrology areas of responsibility, all deficiencies are listed together:

1. The sidewalk culvert on the southeast corner of the property (3rd Street) and the sidewalk culvert on the northwest corner (Aspen Avenue) are not constructed.
2. The hole at the west end of the sidewalk on Aspen Avenue has been filled, but has settled due to the rain. This hole and trench were the result of Quest installing underground communications lines.
3. There are some sections of sidewalk near the southeast corner of the property that are cracked and settling, resulting in jutting edge of the adjacent drivepad.
4. The asphalt pavement along the east side drains to the landscaped area in the northeast corner of the property (this is generally according to the approved G & D plan). The landscaped area has settled along the property line on Aspen, which is causing an undercutting of the sidewalk
5. The asphalt surface of the parking area on the northern part of the property (along Aspen Avenue) is settling or was placed at too low of an elevation to drain over the drivepad onto Aspen Avenue.
6. The concrete curb along the south and west side of the property has not been constructed.

Recommended corrections are summarized below. When accepted or modified by the Transportation and Hydrology Sections, these corrections will be made on-site and shown on the certified drawings for each section:

1. The sidewalk culverts will be deleted as a requirement when the remedial actions stated in the following paragraphs are completed.
2. The hole and trench along the northwest corner will be filled and compacted.
3. The broken sidewalk sections will be removed, the subgrade compacted according to the City of Albuquerque Standard Specifications for Public Works (95% for 12 inches below the sidewalk), and sidewalk sections constructed with a surface level with adjacent sidewalk and drivepad surfaces.
4. The landscaped area along Aspen Avenue in the northeast corner of the property will be raised to a surface elevation level about 1 inch below the sidewalk top surface, then sloping into the landscaped area to have runoff enter the landscaped area. The width of this part of the landscaped area that is higher than the rest of the landscaped area will be about 5 feet to prevent water standing against the sidewalk and undermining the sidewalk. It is noted that the approved plan was for this landscaped area to drain toward the sidewalk culvert in 3rd Street, near the southeast corner of the property. The overall shallow slope of the landscaped area and the street gutter along 3rd Street result in a surface that has a slope of less than 1 %, a slope too shallow for good runoff flow.
5. The depressed asphalt surface along the north part of the parking area will be paved with additional asphalt to insure that surface runoff from the asphalt surface will flow over the driveway and into the gutter along Aspen Avenue. There is sufficient drop from the building floor elevation to the top of drivepad to obtain an adequate slope for runoff with no deep depressions (bird baths).
6. The curb along the south and west side (and as necessary along the east side) will be constructed with treated timbers, 6" x 6" cross section, and to the height specified on the drawing, which is about the height of the finished concrete floors. The area between the building and the curb will be covered with landscape gravel to a depth of about 6 inches to absorb and hold the direct precipitation. The roof runoff to the south sides of the building will be caught in roof gutters, and downspouts to direct the roof runoff to the asphalt surface north of the buildings. At the time of the meeting on-site the roof gutters were being installed.

The certified drawings will show the as-constructed sidewalk widths, as well as the recommended corrections stated above.

I request that a 30 day temporary occupancy permit be released by the Transportation Section, and that the 30 day temporary occupancy permit granted by the Hydrology Section be extended to 30 days from the date your reply to this letter. The owner's representative, Steve Montgomery, has expressed a willingness to start on the corrections as soon as the city reply is received.

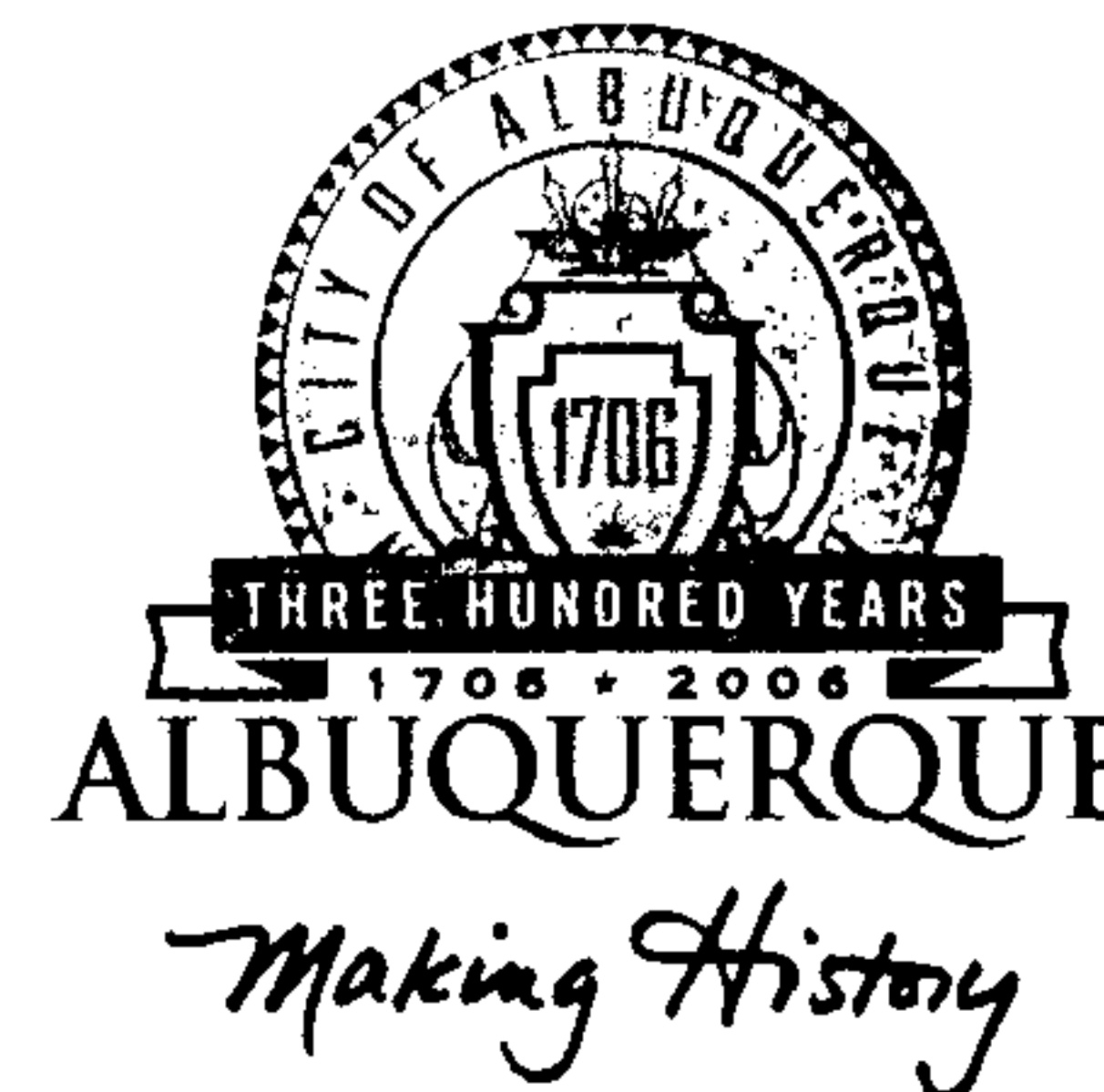
Thank you for your assistance on this matter.

Sincerely,

Marvin R Kortum

Cc: Los Pinones LTD
1167 E Alameda
Santa Fe, NM 87501
(505) 933-6562

CITY OF ALBUQUERQUE



October 7, 2005

Marvin R. Kortum, P.E.
Marvin R. Kortum
1605 Speakman Dr. SE
Albuquerque, NM 87123

**Re: Warehouse on Aspen, 300 Aspen Ave. NW, Certificate of Occupancy
Certification (not dated) (J14-D145)**

Dear Mr. Kortum,

Based upon the information provided in your submittal received 9-30-05, the above referenced certification cannot be approved until the following comments are addressed:

- The following improvements are required to be substantially complete:
 1. Install roof gutters on south side of both building to direct roof runoff to asphalt area on north side of buildings.
 2. Install treated timber curbing along the south property line of site and between refuse pad and sidewalk.
 3. Re-grade asphalt area to direct runoff from buildings and parking area to drive-pad at Aspen.
 4. Sidewalk culverts are not required if the majority of the site runoff can be directed to the drive-pad at Aspen.
- Show proposed improvements and as-built elevations on the approved grading and drainage plan.
- Provide stamped and signed drainage certification language on approved grading and drainage plan.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3990.

Sincerely,

Phillip J. Lovato, E.I., C.F.M.
Engineering Associate, Hydrology,
Development and Building Services,
Planning Department

cc: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: WALL HOUSE AND SITE IMPROVEMENTS
300 ASPEN AVE NW ZONE MAP/DRG. FILE #: J-14 - D-145
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT A-2 PLAT OF TRACTS A-1, A-2 & A-3, LANDS OF HINDI
 CITY ADDRESS: 300 ASPEN AVENUE NW

ENGINEERING FIRM: Marvin R. Kortum
 ADDRESS: 1605 Speakman Drive, SE
 CITY, STATE: Albuquerque, New Mexico

CONTACT: FAX 299-9405
 PHONE: (505) 299-0774
 ZIP CODE: 87123

OWNER: LOS PINONES LTD
 ADDRESS: 1167 E. ALAMEDA
 CITY, STATE: SANTA FE NEW MEXICO 87501

CONTACT: STEVE MONTGOMERY
 PHONE: (505) 864 7599
 ZIP CODE: 87501

ARCHITECT: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

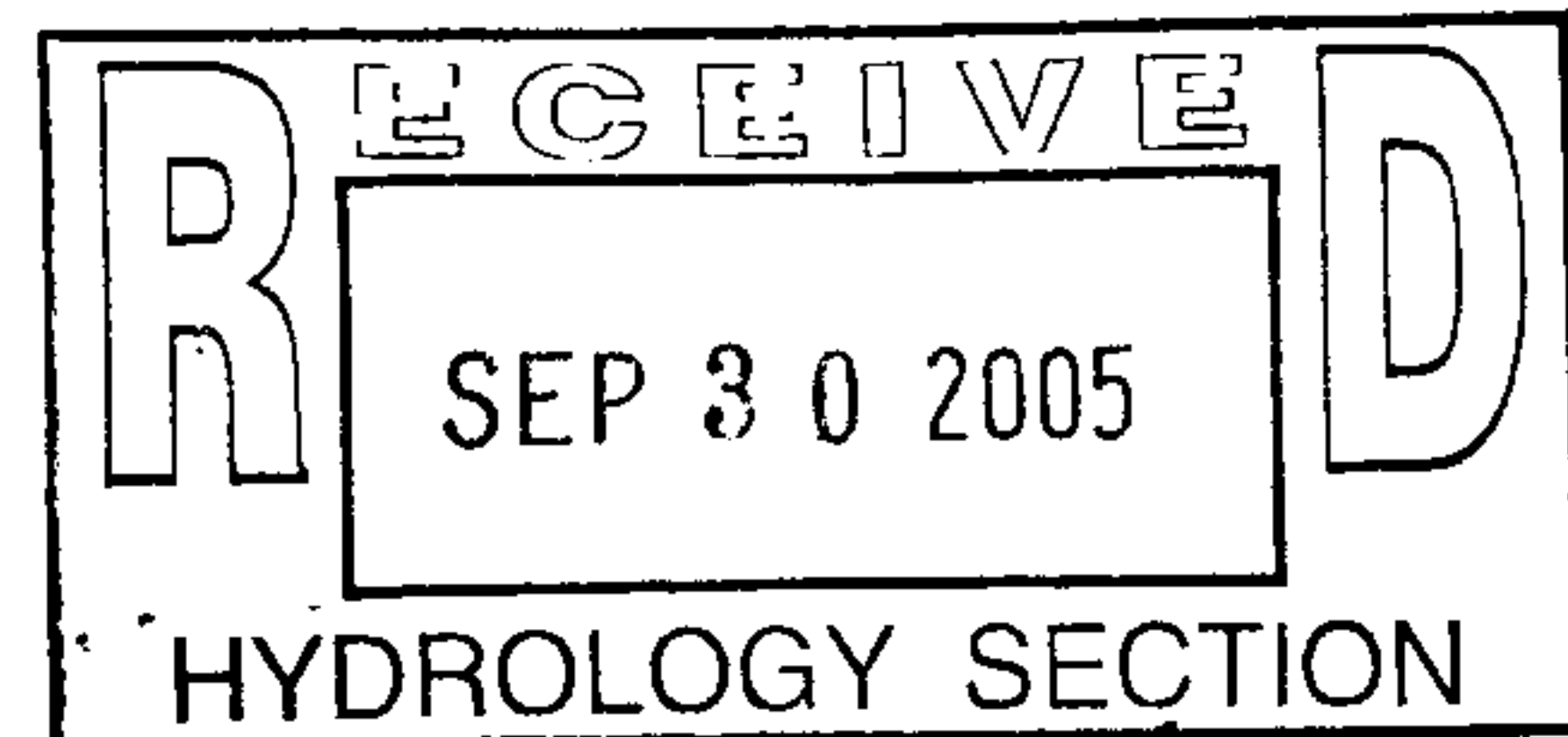
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☒ OTHER JUSTIFICATION FOR CERTIFICATION CHANGES

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: SEP 30, 2005 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

WRITE DIS-
APPROVAL
LETTER

Marvin R. Kortum
1605 Speakman Drive, SE
Albuquerque, New Mexico 87123
(505) 299-0774; FAX 299-9405; M 934-5786
N. M. P. E. 6519

September 30, 2005

City of Albuquerque
Planning Department, Development and Building Services Division
Hydrology Development Section
ATTN: Brad Bingham, Section Head (924-3986)
P. O. Box 1293
Albuquerque, New Mexico 87103

REFERENCE: Grading and Drainage Plan for Tract A-2, located at 300 Aspen Avenue NW, (J14-D145)

Dear Brad:

This letter is a follow up to my letter of September 23, 2005 on the same subject. Arlene Portillo answered the September 23, 2005 letter by approving a 30 day temporary occupancy.

Arlene did not address the recommendations I made concerning changes to the grading and drainage plan. The specific changes are marked on the attached drawing, and summarized below:

1. Install roof gutters on the south side of the two warehouse buildings, with a down spout to direct the runoff to the north onto the asphalt surfaced driveway.
2. Place treated timber curbs along the perimeter of the property, against the newly installed chain link fence.
3. Delete the two sidewalk culverts with steel plates.
4. Shape the landscaped areas to direct flow toward the limited plantings within the landscaped area in order to use water harvesting to reduce the water requirements from the city water system.

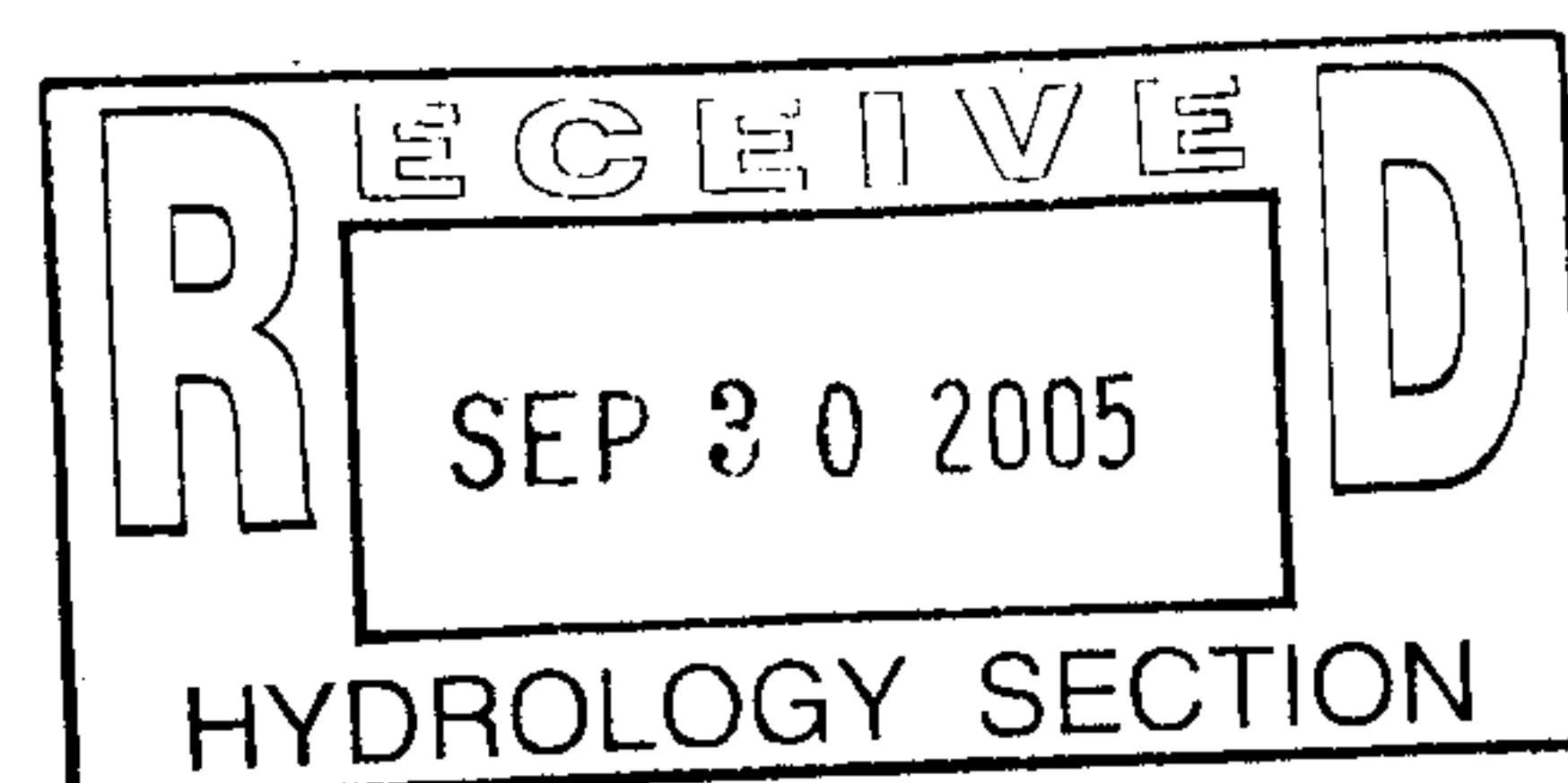
Arlene said that you would need a separate letter on this subject.

Thank you for your assistance on this matter. A timely reply is requested in order to make the corrections on site prior to the expiration date of the 30 days temporary occupancy permit.

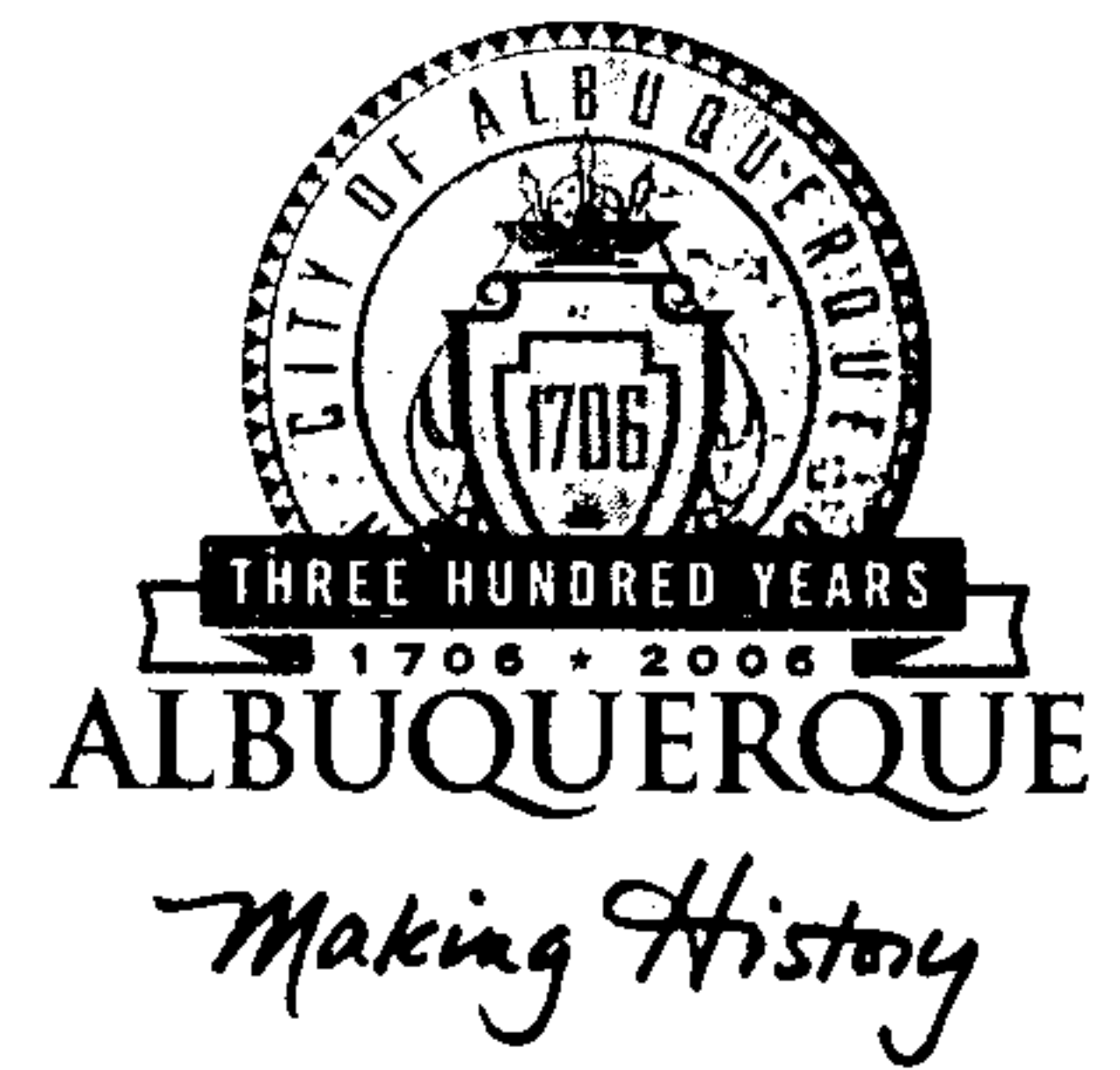
Sincerely,


Marvin R. Kortum

Cc: Los Pinones LTD
1167 E Alameda
Santa Fe, NM 87501
(505) 804-7599



CITY OF ALBUQUERQUE



October 7, 2005

Mr. Marvin R. Kortum, P.E.
1605 Speakman Drive SE
Albuquerque, NM 87123

Re: WAREHOUSE ON ASPEN
300 Aspen Avenue NW
Approval of Temporary Certificate of Occupancy (C.O.)
Engineer's Stamp dated 04/04/2003 (J-14/D145)
Certification dated 09/23/2005

Dear Marvin:

Your request for an Extension to 11/25/2005 to the Temporary Certificate of Occupancy (C.O.) has been granted by Hydrology.

P.O. Box 1293

Upon completion and acceptance of noted construction deficiencies listed in your submittal/correspondence, dated 10/07/2005, please resubmit an updated Certification for Permanent C.O.

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

www.cabq.gov

C: Phyllis Villanueva
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Warehouse on Aspen
WAREHOUSE AND SITE IMPROVEMENTS
 DRB #: 300 ASPEN AVE NW ZONE MAP/DRG. FILE #: ✓ 241 + D2145
 EPC#: _____ WORK ORDER#: _____
 LEGAL DESCRIPTION: TRACT A-2 PLAT OF TRACTS A-1, A-2 & A-3, LANDS OF HINDI
 CITY ADDRESS: 300 ASPEN AVENUE NW

ENGINEERING FIRM: Marvin R. Kortum
 ADDRESS: 1605 Speakman Drive, SE
 CITY, STATE: Albuquerque, New Mexico

CONTACT: FAX 299-9405
 PHONE: (505) 299-0774
 ZIP CODE: 87123

OWNER: LOS PINONES LTD
 ADDRESS: 1167 E. ALAMOGA
 CITY, STATE: SANTA FE NEW MEXICO 87501

CONTACT: Steve Montgomery
 PHONE: (505) 864 7599
 ZIP CODE: 87501

ARCHITECT: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, REQUIRES TCL or equal
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMP/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☒ OTHER
Letter with deficiencies and corrective action

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☒ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: Oct 7, 2005 BY: MWR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be provided based on the following:

Marvin R. Kortum
1605 Speakman Drive, SE
Albuquerque, New Mexico 87123
(505) 299-0774; FAX 299-9405; M 934-5786
N. M. P. E. 6519

October 7, 2005

City of Albuquerque
Planning Department, Development and Building Services Division
Transportation Development Section
ATTN: Nilo E. Salgado-Fernandez, P. E., Senior Traffic Engineer (924-3630)
Hydrology Development Section
ATTN: Brad Bingham, Section Head, (924-3986)
P. O. Box 1293
Albuquerque, New Mexico 87103

REFERENCE: Traffic Circulation Layout Plan and Grading and Drainage Plan for Tract A-2, at 300 Aspen Avenue NW, (J14-D145)

Dear Nilo and Brad:

This letter is in response to the Transportation Section letter of September 27, 2005, and the Hydrology Section letter of September 26, 2005, both letters referring to my letters of September 23, 2005 on the certification of the of the referenced plans.

On October 6, 2005 the Los Pinos representative, Steve Montgomery and myself met with Nilo E. Salgado-Fernandez and Phillip Lovato, representing the Hydrology Section. The purpose of the meeting on-site at 300 Aspen NW was to determine existing construction deficiencies and recommend corrections.

Deficiencies and omissions are noted below. Because some deficiencies relate to both the Transportation and Hydrology areas of responsibility, all deficiencies are listed together:

1. The sidewalk culvert on the southeast corner of the property (3rd Street) and the sidewalk culvert on the northwest corner (Aspen Avenue) are not constructed.
2. The hole at the west end of the sidewalk on Aspen Avenue has been filled, but has settled due to the rain. This hole and trench were the result of Quest installing underground communications lines.
3. There are some sections of sidewalk near the southeast corner of the property that are cracked and settling, resulting in jutting edge of the adjacent driveway.
4. The asphalt pavement along the east side drains to the landscaped area in the northeast corner of the property (this is generally according to the approved G & D plan). The landscaped area has settled along the property line on Aspen, which is causing an undercutting of the sidewalk
5. The asphalt surface of the parking area on the northern part of the property (along Aspen Avenue) is settling or was placed at too low of an elevation to drain over the driveway onto Aspen Avenue.
6. The concrete curb along the south and west side of the property has not been constructed.

Recommended corrections are summarized below. When accepted or modified by the Transportation and Hydrology Sections, these corrections will be made on-site and shown on the certified drawings for each section:

1. The sidewalk culverts will be deleted as a requirement when the remedial actions stated in the following paragraphs are completed.
2. The hole and trench along the northwest corner will be filled and compacted.
3. The broken sidewalk sections will be removed, the subgrade compacted according to the City of Albuquerque Standard Specifications for Public Works (95% for 12 inches below the sidewalk), and sidewalk sections constructed with a surface level with adjacent sidewalk and drivepad surfaces.
4. The landscaped area along Aspen Avenue in the northeast corner of the property will be raised to a surface elevation level about 1 inch below the sidewalk top surface, then sloping into the landscaped area to have runoff enter the landscaped area. The width of this part of the landscaped area that is higher than the rest of the landscaped area will be about 5 feet to prevent water standing against the sidewalk and undermining the sidewalk. It is noted that the approved plan was for this landscaped area to drain toward the sidewalk culvert in 3rd Street, near the southeast corner of the property. The overall shallow slope of the landscaped area and the street gutter along 3rd Street result in a surface that has a slope of less than 1 %, a slope too shallow for good runoff flow.
5. The depressed asphalt surface along the north part of the parking area will be paved with additional asphalt to insure that surface runoff from the asphalt surface will flow over the driveway and into the gutter along Aspen Avenue. There is sufficient drop from the building floor elevation to the top of drivepad to obtain an adequate slope for runoff with no deep depressions (bird baths).
6. The curb along the south and west side (and as necessary along the east side) will be constructed with treated timbers, 6" x 6" cross section, and to the height specified on the drawing, which is about the height of the finished concrete floors. The area between the building and the curb will be covered with landscape gravel to a depth of about 6 inches to absorb and hold the direct precipitation. The roof runoff to the south sides of the building will be caught in roof gutters, and downspouts to direct the roof runoff to the asphalt surface north of the buildings. At the time of the meeting on-site the roof gutters were being installed.

The certified drawings will show the as-constructed sidewalk widths, as well as the recommended corrections stated above.

I request that a 30 day temporary occupancy permit be released by the Transportation Section, and that the 30 day temporary occupancy permit granted by the Hydrology Section be extended to 30 days from the date your reply to this letter. The owner's representative, Steve Montgomery, has expressed a willingness to start on the corrections as soon as the city reply is received.

Thank you for your assistance on this matter.

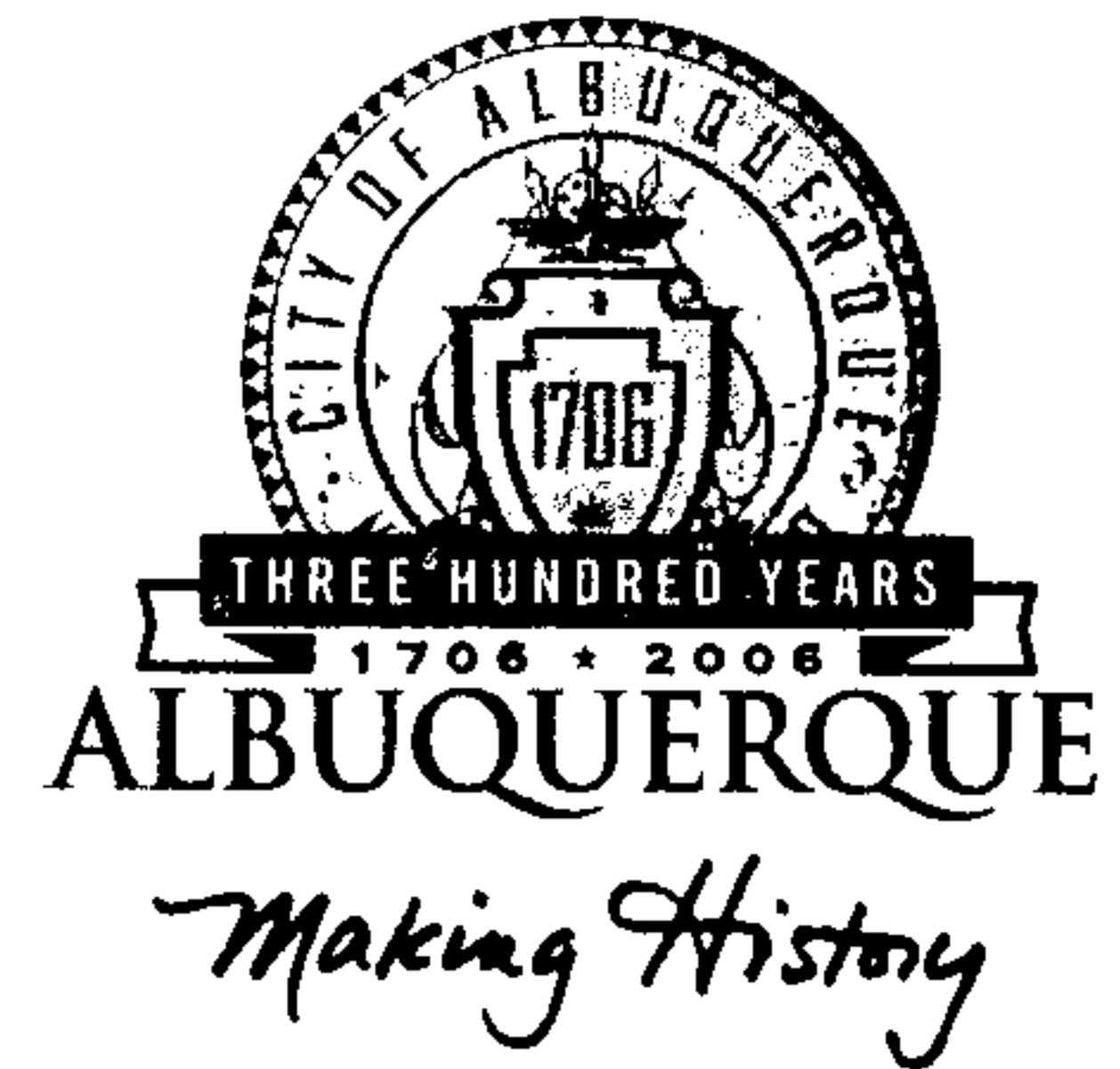
Sincerely,



Marvin R Kortum

Cc: Los Pinones LTD
1167 E Alameda
Santa Fe, NM 87501
(505) 933-6562

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

November 28, 2005

Marvin Kortum, P.E.
1605 Speakman Drive SE
Albuquerque, NM 87123

Re: Approval of Temporary Extension of Certificate of Occupancy (C.O.) for
WAREHOUSE ON ASPEN, [J-14 / D145]
300 Aspen Avenue NW
Engineer's Stamp Dated 09/23/05

Dear Mr. Kortum:

Based on the information provided on your submittal dated November 28, 2005, the above referenced project is approved for a 30-day Temporary Extension of the C.O.

P.O. Box 1293

Albuquerque

A Temporary Extension C.O. has been issued allowing the outstanding sidewalk, within City of Albuquerque ROW, issues (issues stated on letter dated 11/23/2005) to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

New Mexico 87103

www.cabq.gov

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Wilfred Gallegos, P.E.
Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

TRANS PORTATION

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

Warehouse on Aspen
~~WAREHOUSE AND SITE IMPROVEMENTS~~

PROJECT TITLE: 300 ASPEN AVE NW ZONE MAP/DRG. FILE #: J-14 - D-145
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT A-2 PLAT OF TRACTS A-1, A-2 & A-3, LANDS OF HINDI
CITY ADDRESS: 300 ASPEN AVENUE NW

ENGINEERING FIRM: Marvin R. Kortum
ADDRESS: 1605 Speakman Drive, SE
CITY, STATE: Albuquerque, New Mexico

CONTACT: FAX 299-9405
PHONE: (505) 299-0774
ZIP CODE: 87123

OWNER: LOS ANGELES LTD
ADDRESS: 1167 E. ALAMEDA
CITY, STATE: SANTA FE NEW MEXICO 87501

CONTACT: Steve Montgomery
PHONE: (505) 844-7599
ZIP CODE: 87501

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, REQUIRES TCL or equal
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

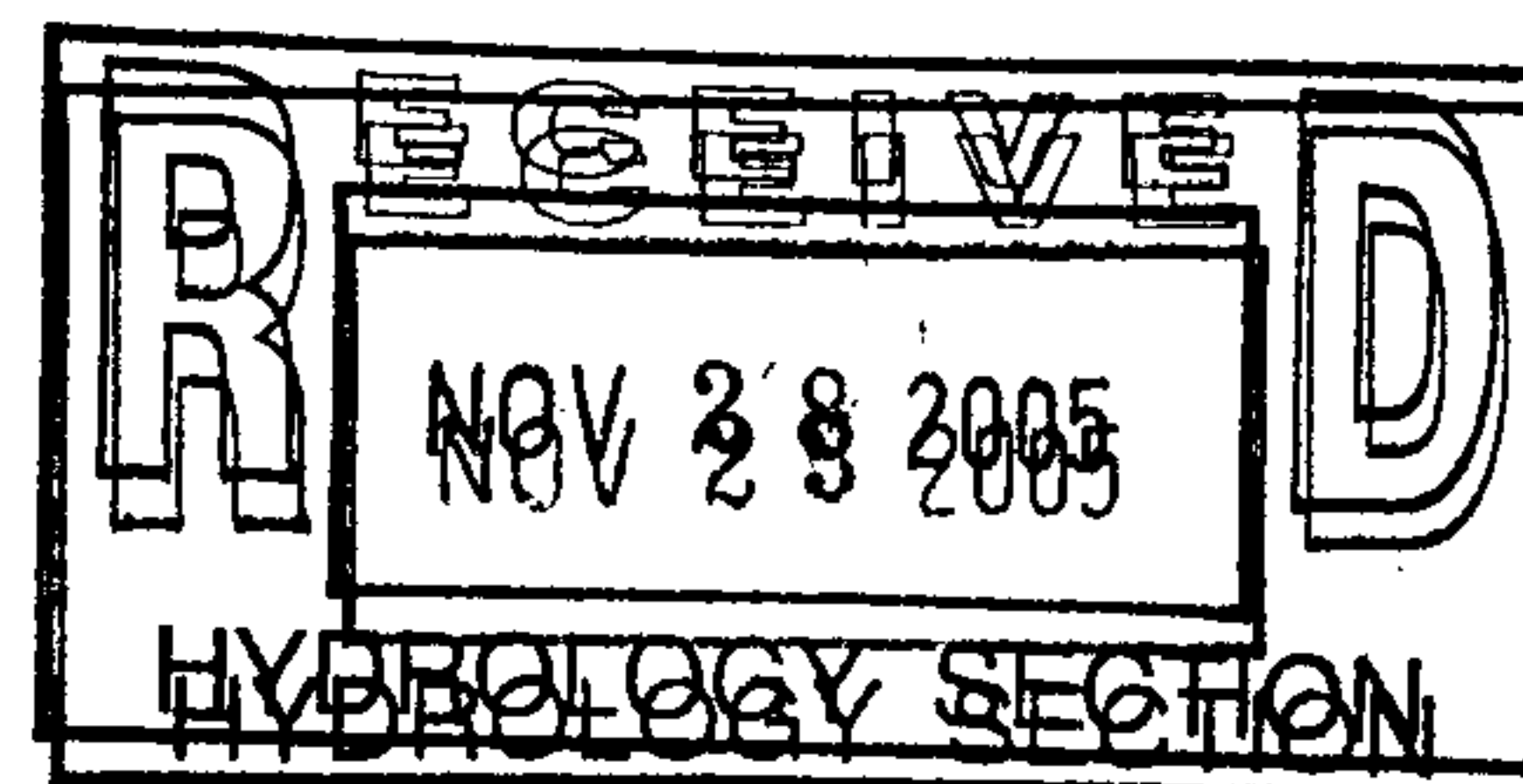
REQUEST FOR OBTAINING OF TEMPORARY
OCCUPANCY PERMIT

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUBD. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☒ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

HAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED



DATE SUBMITTED: Nov 23, 2005 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

Marvin R. Kortum
1605 Speakman Drive, SE
Albuquerque, New Mexico 87123
(505) 299-0774; FAX 299-9405; M 934-5786
N. M. P. E. 6519

November 23, 2005

City of Albuquerque
Planning Department, Development and Building Services Division
Transportation Development Section
✓ ATTN: Nilo E. Salgado-Fernandez, P. E., Senior Traffic Engineer (924-3630)
Hydrology Development Section
ATTN: Brad Bingham, Section Head, (924-3986)
P. O. Box 1293
Albuquerque, New Mexico 87103

REFERENCE: Traffic Circulation Layout Plan and Grading and Drainage Plan for Tract A-2, at 300 Aspen Avenue NW, (J14-D145)

Dear Nilo and Brad:

This letter is in response to the Transportation Section and the Hydrology Section letters of October 7, 2005, both of which granted a Temporary occupancy Permit until November 25, 2005.

I have checked with the builder, work is well under way, with only the concrete and asphalt work on the sidewalk and driveway still to do. That work is scheduled to be completed within a few days.

I will be out of the area until early December, 2005, so will be unable to complete the final certification until about December 12, 2005.

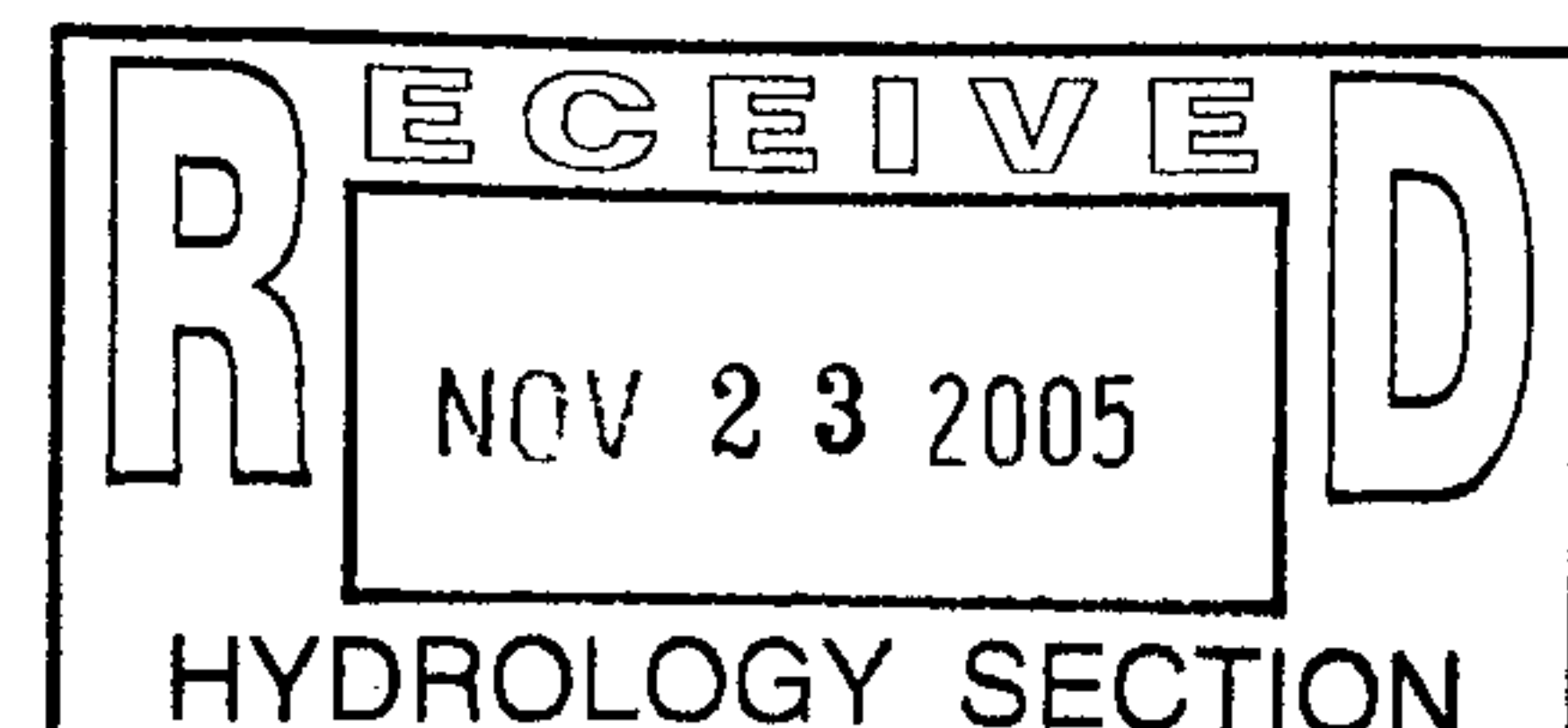
I request that the temporary occupancy permit be extended until such time that I can complete the certification.

Thank you for your assistance on this matter.

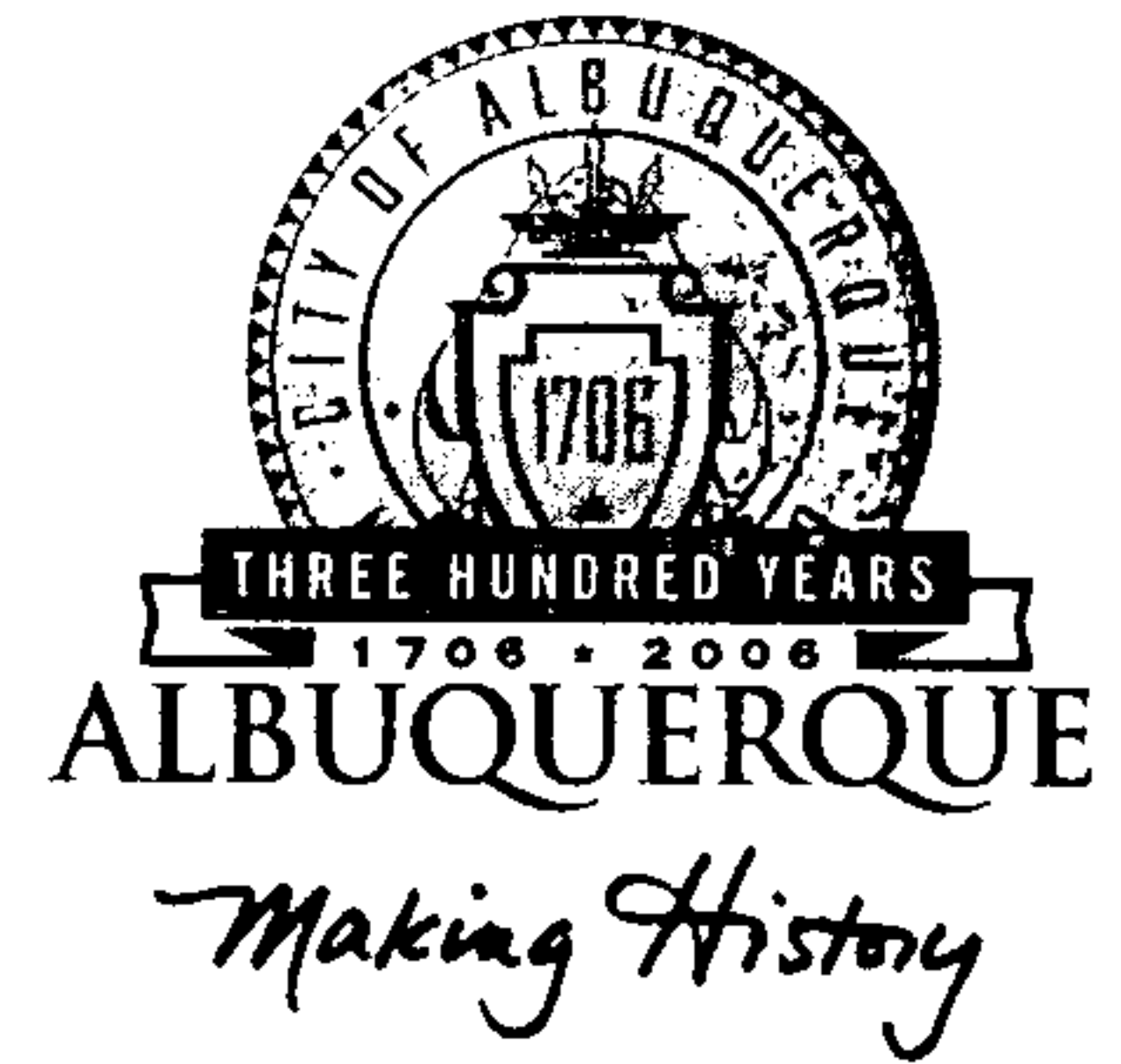
Sincerely,


Marvin R. Kortum

Cc: Los Pinones LTD
1167 E Alameda
Santa Fe, NM 87501
(505) 933-6562



CITY OF ALBUQUERQUE



November 28, 2005

Mr. Marvin R. Kortum, P.E.
1605 Speakman Drive SE
Albuquerque, NM 87123

Re: WAREHOUSE ON ASPEN
300 Aspen Avenue NW
Approval of Temporary Certificate of Occupancy (C.O.)
Engineer's Stamp dated 04/04/2003 (J-14/D145)
Certification dated 09/23/2005

Dear Marvin:

P.O. Box 1293

Your request for 30-day Extension to 12/23/2005 to the Temporary Certificate of Occupancy (C.O.) has been granted by Hydrology.

Albuquerque

Upon completion and acceptance of noted construction deficiencies listed in your submittal/correspondence, dated 11/23/2005, please resubmit an updated Certification for Permanent C.O.

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

www.cabq.gov

C: Phyllis Villanueva
File

HYDROLOGY

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE: Warehouse on Open
WAREHOUSE AND SITE IMPROVEMENTS
300 ASPEN AVE NW ZONE MAP/DRG. FILE #: J-14 - D-145
DRB #: _____ EPC#: _____ WORK ORDER#: _____
LEGAL DESCRIPTION: TRACT A-2 PLAT OF TRACTS A-1, A-2 & A-3, LANDS OF HINDI
CITY ADDRESS: 300 ASPEN AVENUE NW
ENGINEERING FIRM: Marvin R. Kortum CONTACT: FAX 299-9405
ADDRESS: 1605 Speakman Drive, SE PHONE: (505) 299-0774
CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87123
OWNER: LOS PINONES LTD CONTACT: Steve Montenegro
ADDRESS: 1167 E. ALAMEDA PHONE: (505) 844-7599 933-6562
CITY, STATE: SANTA FE NEW MEXICO 87501 ZIP CODE: 87501
ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____
SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

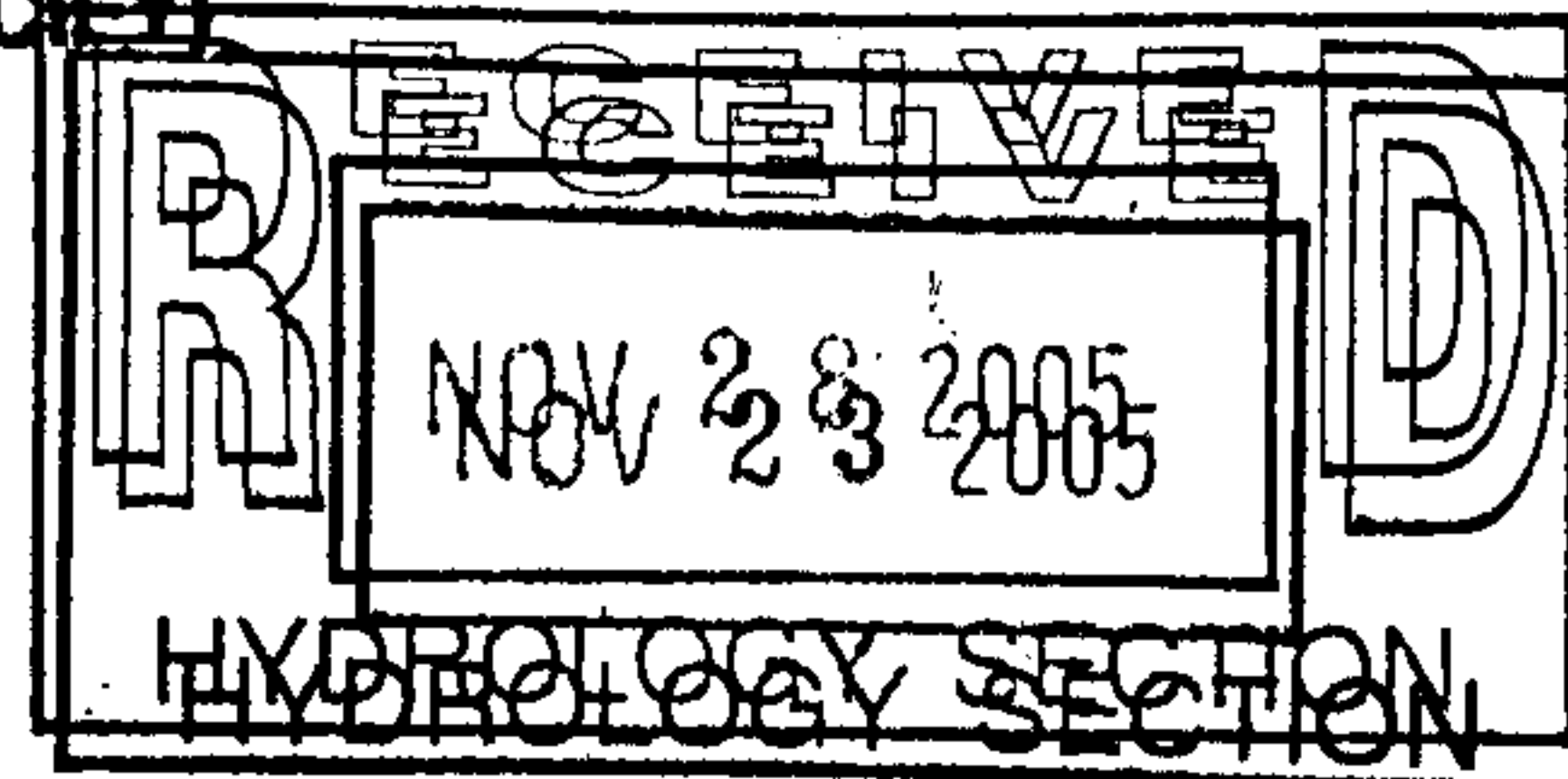
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMP/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPL SITE PLAN)
☒ OTHER
REQUEST FOR EXTENSION OF TEMPORARY
OCCUPANCY PERMIT

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUBD. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☒ CERTIFICATE OF OCCUPANCY (TEMP.) EXT
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)



DATE SUBMITTED: Nov 23, 2005 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

Marvin R. Kortum
1605 Speakman Drive, SE
Albuquerque, New Mexico 87123
(505) 299-0774; FAX 299-9405; M 934-5786
N. M. P. E. 6519

November 23, 2005

City of Albuquerque
Planning Department, Development and Building Services Division
Transportation Development Section
ATTN: Nilo E. Salgado-Fernandez, P. E., Senior Traffic Engineer (924-3630)
Hydrology Development Section
ATTN: Brad Bingham, Section Head, (924-3986)
P. O. Box 1293
Albuquerque, New Mexico 87103

REFERENCE: Traffic Circulation Layout Plan and Grading and Drainage Plan for Tract A-2, at 300 Aspen Avenue NW, (J14-D145)

Dear Nilo and Brad:

This letter is in response to the Transportation Section and the Hydrology Section letters of October 7, 2005, both of which granted a Temporary occupancy Permit until November 25, 2005.

I have checked with the builder, work is well under way, with only the concrete and asphalt work on the sidewalk and driveway still to do. That work is scheduled to be completed within a few days.

I will be out of the area until early December, 2005, so will be unable to complete the final certification until about December 12, 2005.

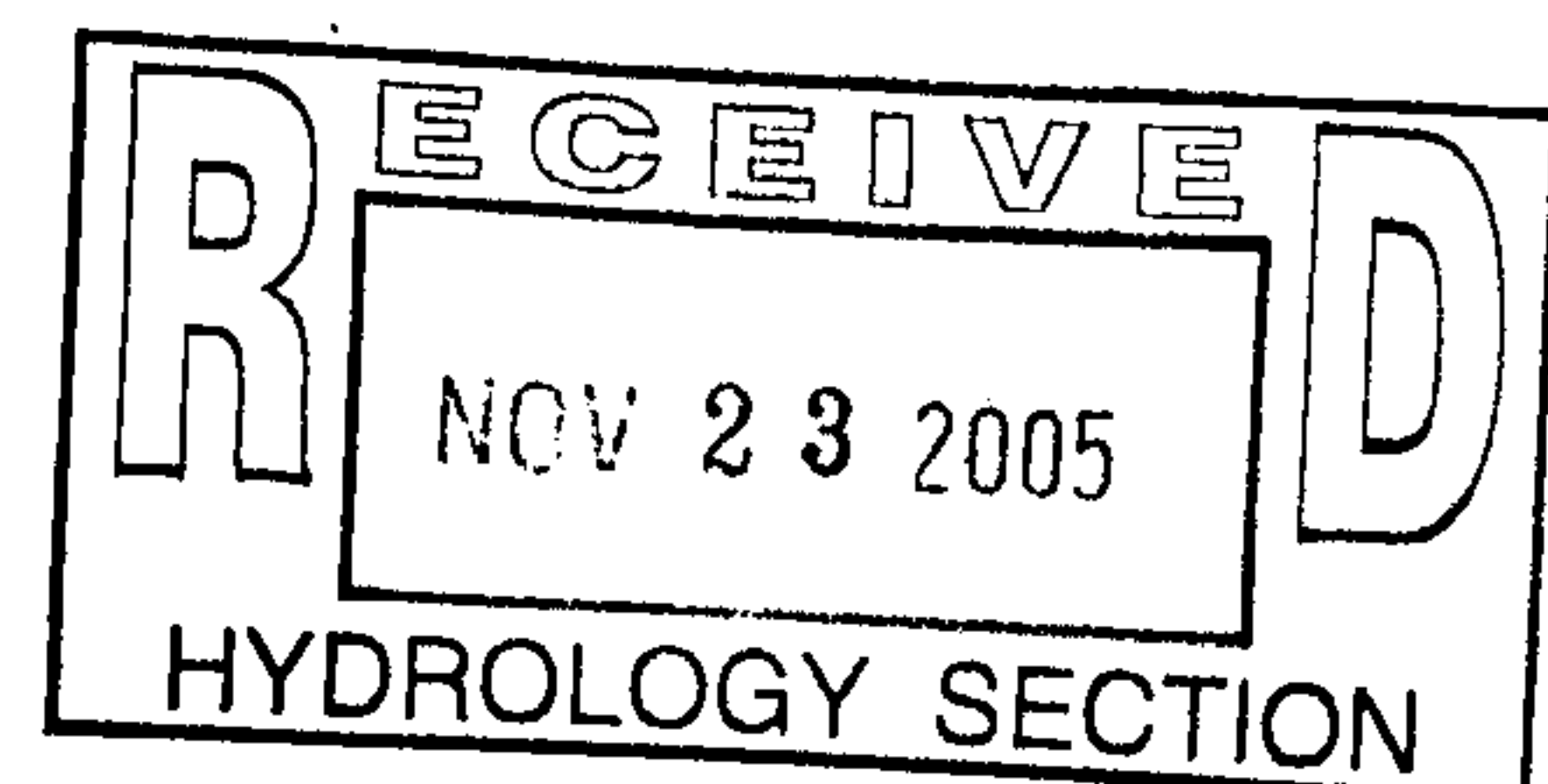
I request that the temporary occupancy permit be extended until such time that I can complete the certification.

Thank you for your assistance on this matter.

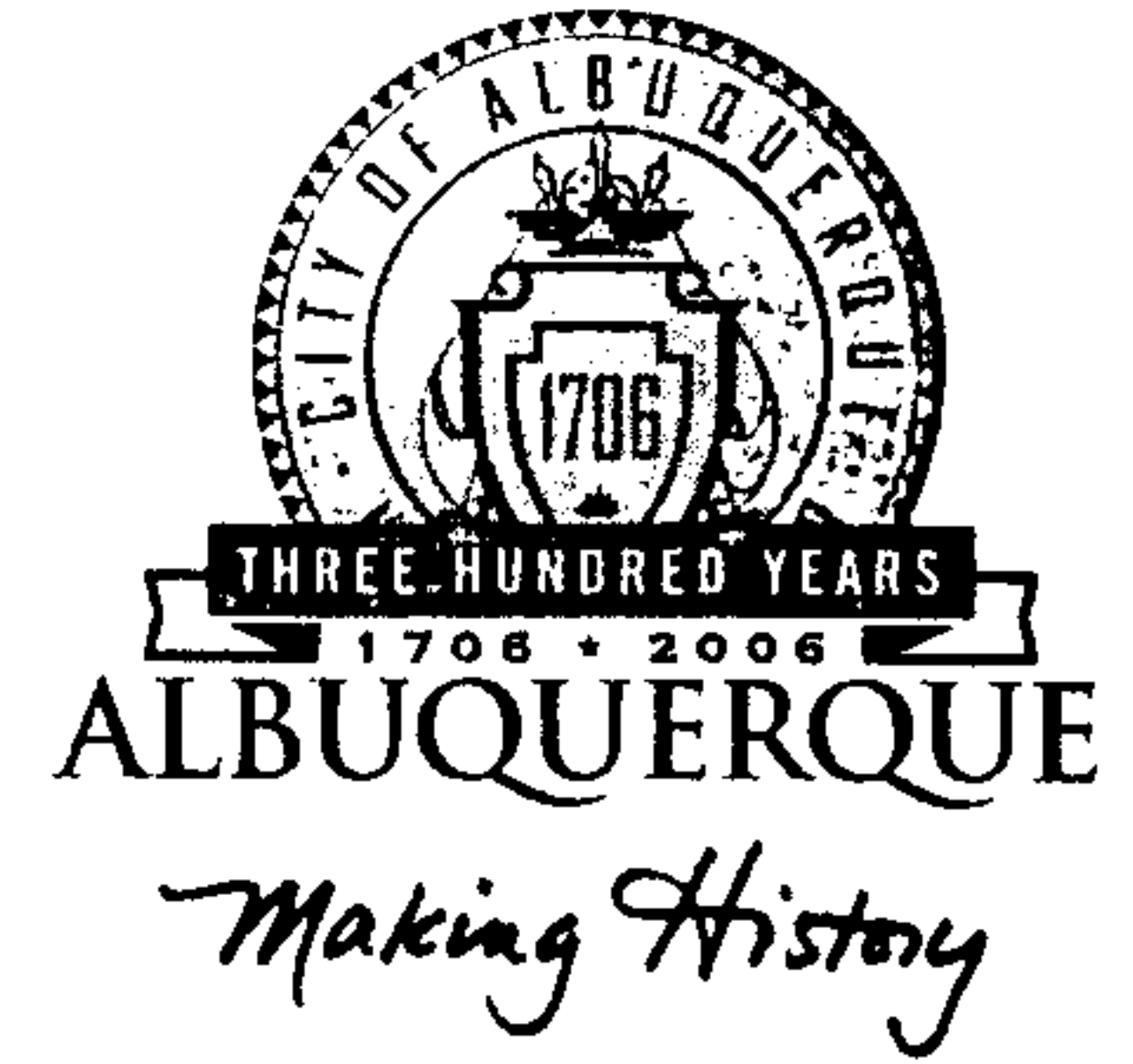
Sincerely,


Marvin R. Kortum

Cc: Los Pinones LTD
1167 E Alameda
Santa Fe, NM 87501
(505) 933-6562



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

October 7, 2005

Marvin Kortum, P.E.
1605 Speakman Drive SE
Albuquerque, NM 87123

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
WAREHOUSE ON ASPEN, [J-14 / D145]
300 Aspen Avenue NW
Engineer's Stamp Dated 09/23/05

Dear Mr. Kortum:

Based on the information provided on your submittal dated October 6, 2005, the above referenced project is approved for a 60-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding sidewalk, within City of Albuquerque ROW, issues (issues stated on letter dated 9/27/05) to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an **exact** copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

P.O. Box 1293

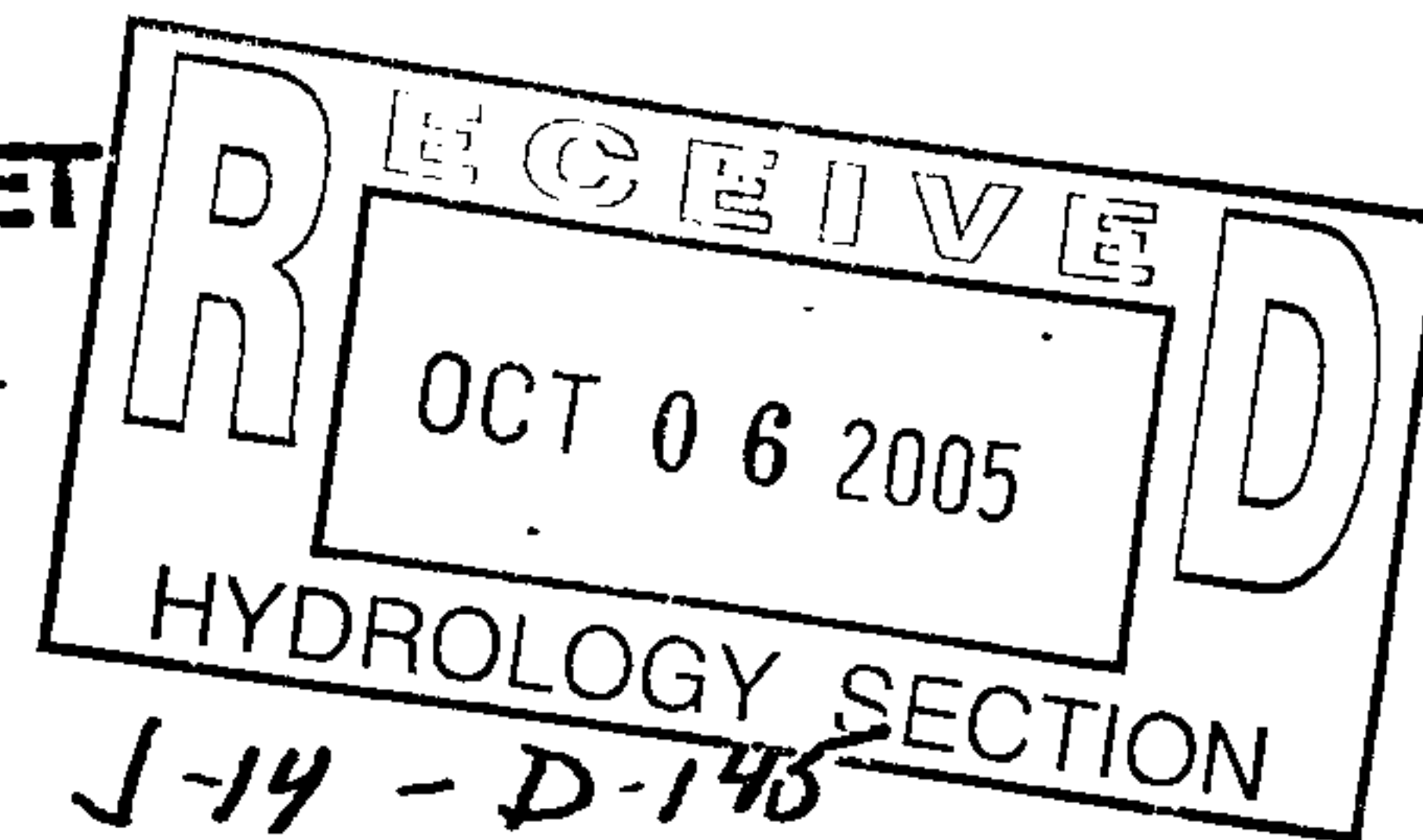
Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)



PROJECT TITLE: Warehouse on Aspen
WAREHOUSE AND SITE IMPROVEMENTS
 DRB #: _____ EPC#: _____ ZONE MAP/DRG. FILE #: J-14-D-145
 WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT A-2 PLAT OF TRACTS A-1, A-2 & A-3, LANDS OF HINDI
 CITY ADDRESS: 300 ASPEN AVENUE NW

ENGINEERING FIRM: Marvin R. Kortum
 ADDRESS: 1605 Speakman Drive, SE
 CITY, STATE: Albuquerque, New Mexico

CONTACT: FAX 299-9405
 PHONE: (505) 299-0774
 ZIP CODE: 87123

OWNER: LOS PINONIS LTD
 ADDRESS: 1167 E. ALAMEDA
 CITY, STATE: SANTA FE NEW MEXICO 87501

CONTACT: Steve Montgomery
 PHONE: (505) 864-7599
 ZIP CODE: 87501

ARCHITECT: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
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 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPL. SITE PLAN)
- ☒ OTHER
LETTER WITH DEFICIENCIES AND CORRECTIVE ACTION

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUBD. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: October 7, 2005 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

Marvin R. Kortum
1605 Speakman Drive, SE
Albuquerque, New Mexico 87123
(505) 299-0774; FAX 299-9405; M 934-5786
N. M. P. E. 6519

October 7, 2005

City of Albuquerque
Planning Department, Development and Building Services Division
Transportation Development Section
ATTN: Nilo E. Salgado-Fernandez, P. E., Senior Traffic Engineer (924-3630)
Hydrology Development Section
ATTN: Brad Bingham, Section Head, (924-3986)
P. O. Box 1293
Albuquerque, New Mexico 87103

REFERENCE: Traffic Circulation Layout Plan and Grading and Drainage Plan for Tract A-2, at 300 Aspen Avenue NW, (J14-D145)

Dear Nilo and Brad:

This letter is in response to the Transportation Section letter of September 27, 2005, and the Hydrology Section letter of September 26, 2005, both letters referring to my letters of September 23, 2005 on the certification of the of the referenced plans.

On October 6, 2005 the Los Pinos representative, Steve Montgomery and myself met with Nilo E. Salgado-Fernandez and Phillip Lovato, representing the Hydrology Section. The purpose of the meeting on-site at 300 Aspen NW was to determine existing construction deficiencies and recommend corrections.

Deficiencies and omissions are noted below. Because some deficiencies relate to both the Transportation and Hydrology areas of responsibility, all deficiencies are listed together:

1. The sidewalk culvert on the southeast corner of the property (3rd Street) and the sidewalk culvert on the northwest corner (Aspen Avenue) are not constructed.
2. The hole at the west end of the sidewalk on Aspen Avenue has been filled, but has settled due to the rain. This hole and trench were the result of Quest installing underground communications lines.
3. There are some sections of sidewalk near the southeast corner of the property that are cracked and settling, resulting in jutting edge of the adjacent drivepad.
4. The asphalt pavement along the east side drains to the landscaped area in the northeast corner of the property (this is generally according to the approved G & D plan). The landscaped area has settled along the property line on Aspen, which is causing an undercutting of the sidewalk
5. The asphalt surface of the parking area on the northern part of the property (along Aspen Avenue) is settling or was placed at too low of an elevation to drain over the drivepad onto Aspen Avenue.
6. The concrete curb along the south and west side of the property has not been constructed.

Recommended corrections are summarized below. When accepted or modified by the Transportation and Hydrology Sections, these corrections will be made on-site and shown on the certified drawings for each section:

1. The sidewalk culverts will be deleted as a requirement when the remedial actions stated in the following paragraphs are completed.
2. The hole and trench along the northwest corner will be filled and compacted.
3. The broken sidewalk sections will be removed, the subgrade compacted according to the City of Albuquerque Standard Specifications for Public Works (95% for 12 inches below the sidewalk), and sidewalk sections constructed with a surface level with adjacent sidewalk and drivepad surfaces.
4. The landscaped area along Aspen Avenue in the northeast corner of the property will be raised to a surface elevation level about 1 inch below the sidewalk top surface, then sloping into the landscaped area to have runoff enter the landscaped area. The width of this part of the landscaped area that is higher than the rest of the landscaped area will be about 5 feet to prevent water standing against the sidewalk and undermining the sidewalk. It is noted that the approved plan was for this landscaped area to drain toward the sidewalk culvert in 3rd Street, near the southeast corner of the property. The overall shallow slope of the landscaped area and the street gutter along 3rd Street result in a surface that has a slope of less than 1 %, a slope too shallow for good runoff flow.
5. The depressed asphalt surface along the north part of the parking area will be paved with additional asphalt to insure that surface runoff from the asphalt surface will flow over the driveway and into the gutter along Aspen Avenue. There is sufficient drop from the building floor elevation to the top of drivepad to obtain an adequate slope for runoff with no deep depressions (bird baths).
6. The curb along the south and west side (and as necessary along the east side) will be constructed with treated timbers, 6" x 6" cross section, and to the height specified on the drawing, which is about the height of the finished concrete floors. The area between the building and the curb will be covered with landscape gravel to a depth of about 6 inches to absorb and hold the direct precipitation. The roof runoff to the south sides of the building will be caught in roof gutters, and downspouts to direct the roof runoff to the asphalt surface north of the buildings. At the time of the meeting on-site the roof gutters were being installed.

The certified drawings will show the as-constructed sidewalk widths, as well as the recommended corrections stated above.

I request that a 30 day temporary occupancy permit be released by the Transportation Section, and that the 30 day temporary occupancy permit granted by the Hydrology Section be extended to 30 days from the date your reply to this letter. The owner's representative, Steve Montgomery, has expressed a willingness to start on the corrections as soon as the city reply is received.

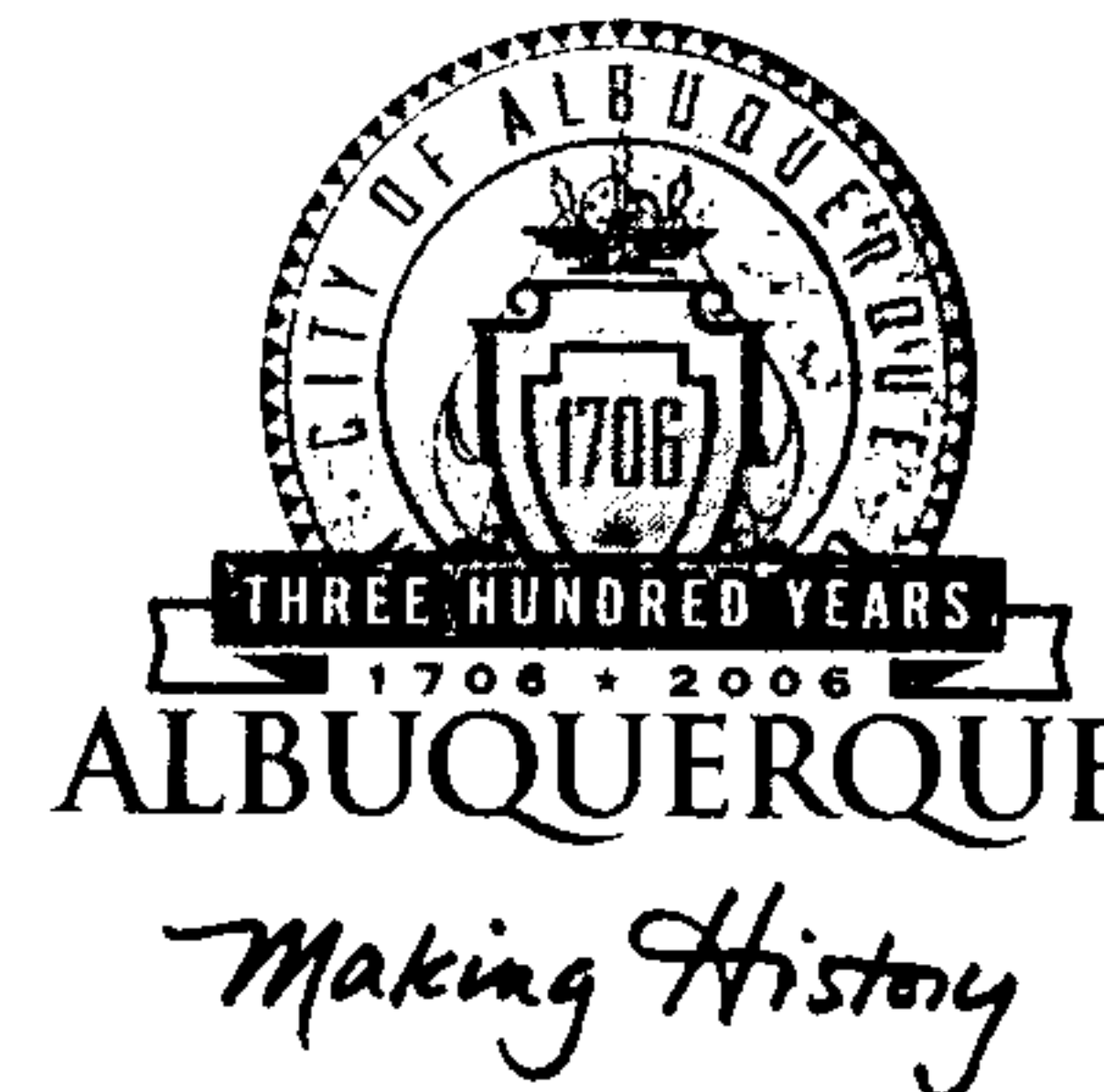
Thank you for your assistance on this matter.

Sincerely,

Marvin R Kortum

Cc: Los Pinones LTD
1167 E Alameda
Santa Fe, NM 87501
(505) 933-6562

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

September 27, 2005

Marvin R. Kortum, P.E.,
1605 Speakman Drive SE
Albuquerque, NM 87123

Re: Certification Submittal for Final Building Certificate of Occupancy for
Warehouse on Aspen, [J-14 / D145]
300 Aspen Avenue NW
Engineer's Stamp Dated 09/23/05

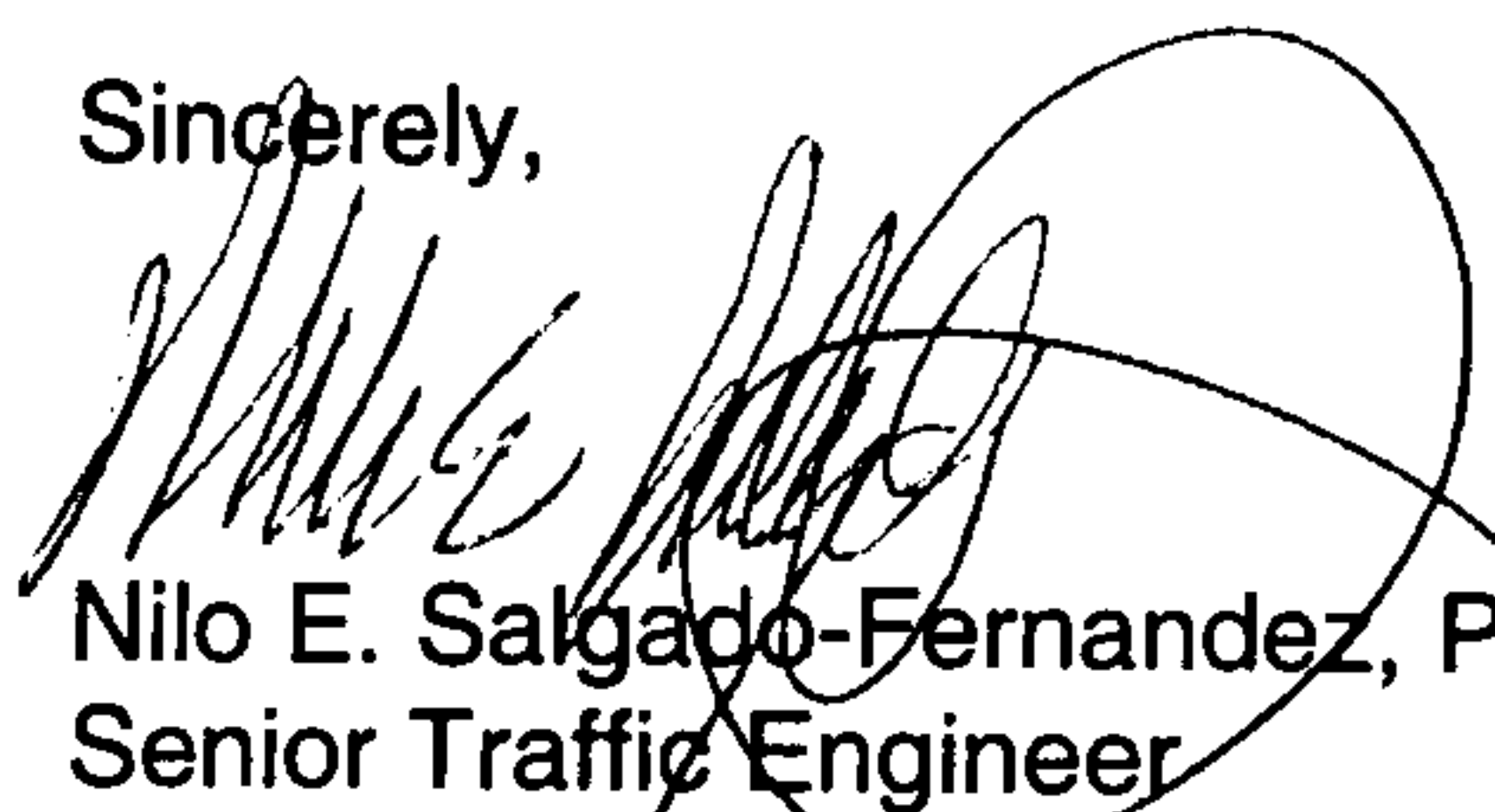
Dear Mr. Kortum:

The TCL / Letter of Certification submitted on September 26, 2005 is not sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). The following reasons for rejection: Safety hazard at proposed sidewalk culverts (On Aspen you have a deep hole which needs to be barricaded, and on 3rd Street adjacent to drivepad the sidewalk is cracked and has resettled causing a tripping hazard at this location); the true sidewalk widths needs to be reflected on plans; both sidewalk culverts are not in place and will need to be reflected on plans that are being certified for final C.O.

The TCL (or DRB Site Plan) submitted for Final C.O. needs to be the **exact** copy of the approved TCL in the plan set approved for building permit. This will be the latest edition, which may have redlined comments, initialed and dated by the designer-of-record.

Resubmit acceptable package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: 300 ASPEN AVE NW ZONE MAP/DRG. FILE #: J-14 - D-145
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT A-2 PLAT OF TRACTS A-1, A-2 & A-3 LANDS OF HINDI
 CITY ADDRESS: 300 ASPEN AVENUE NW

ENGINEERING FIRM: Marvin R. Kortum
 ADDRESS: 1605 Speakman Drive, SE
 CITY, STATE: Albuquerque, New Mexico

CONTACT: FAX 299-9405
 PHONE: (505) 299-0774
 ZIP CODE: 87123

OWNER: LOS PINONES LTD
 ADDRESS: 1167 E. ALAMEDA
 CITY, STATE: SANTA FE NEW MEXICO 87501

CONTACT: STEVE MONTGOMERY
 PHONE: (505) 864 7599
 ZIP CODE: 87501

ARCHITECT: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMP/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☒ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

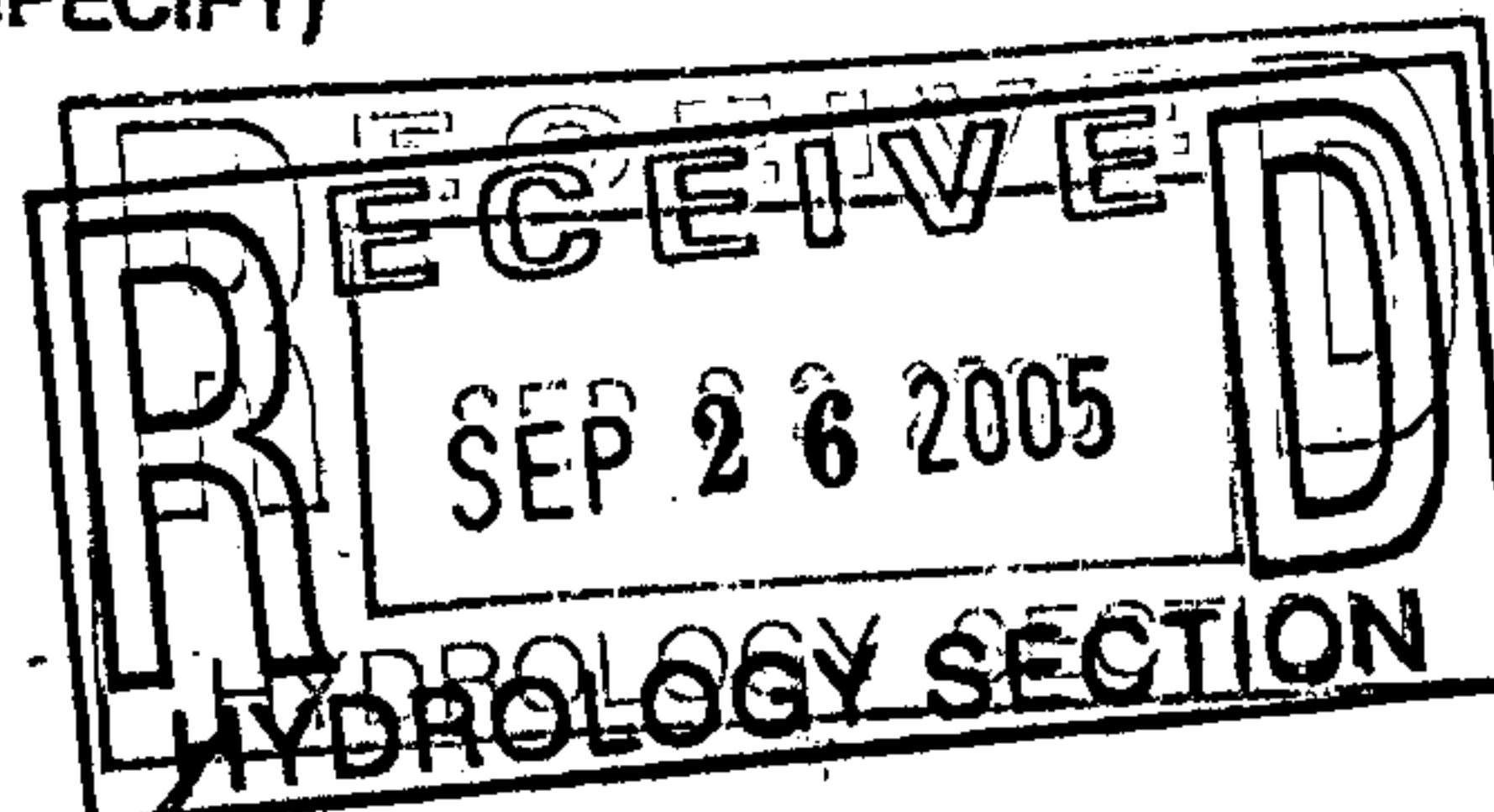
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☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: SEPTEMBER 23, 2005 BY: Marvin R. Kortum



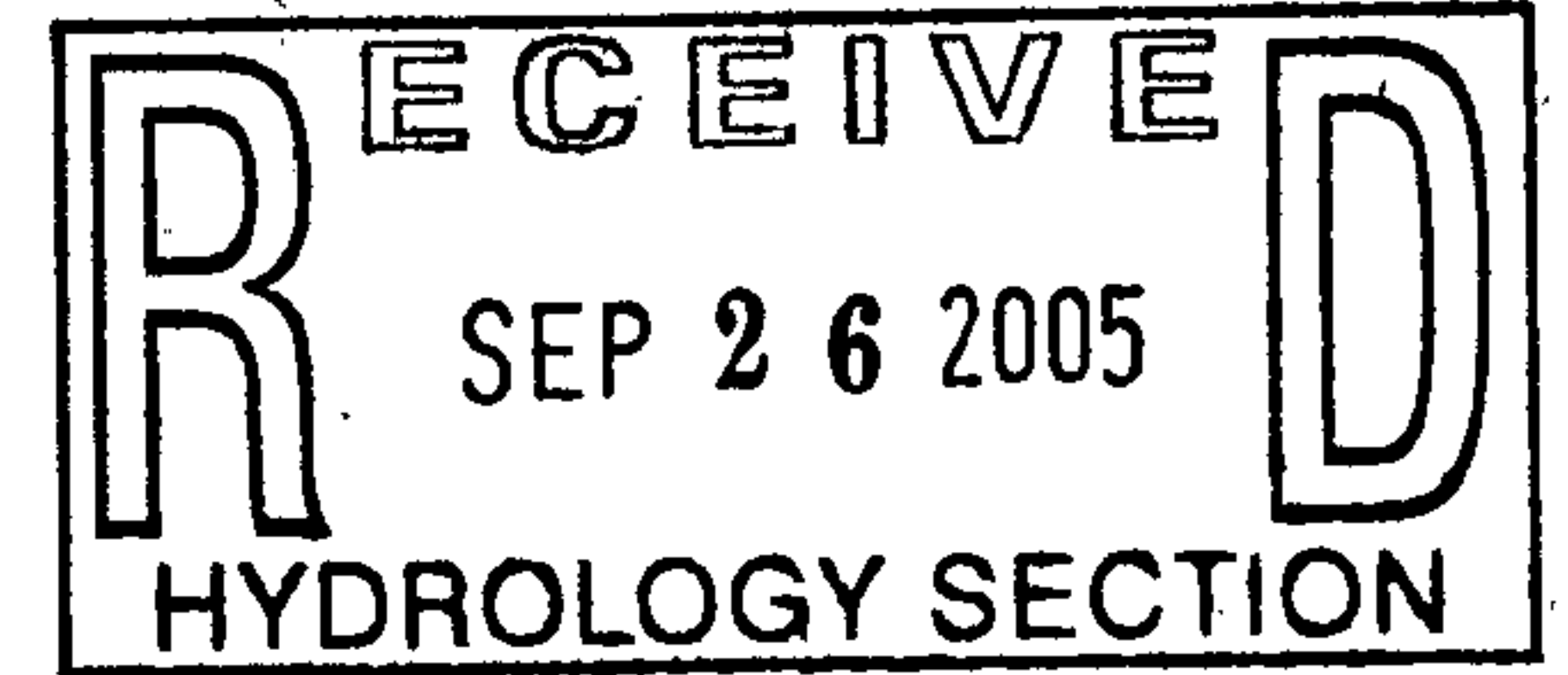
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Marvin R. Kortum
1605 Speakman Drive, SE
Albuquerque, New Mexico 87123
(505) 299-0774; FAX 299-9405; M 934-5786
N. M. P. E. 6519

September 23, 2005

City of Albuquerque
Planning Department, Development and Building Services Division
Transportation Development Section
ATTN: Traffic Circulation Layout Review and Approval Authority
P. O. Box 1293
Albuquerque, New Mexico 87103



REFERENCE: Traffic Circulation Layout Plan for Tract A-2, at 300 Aspen Avenue NW, (J14-D145)

Dear Sir:

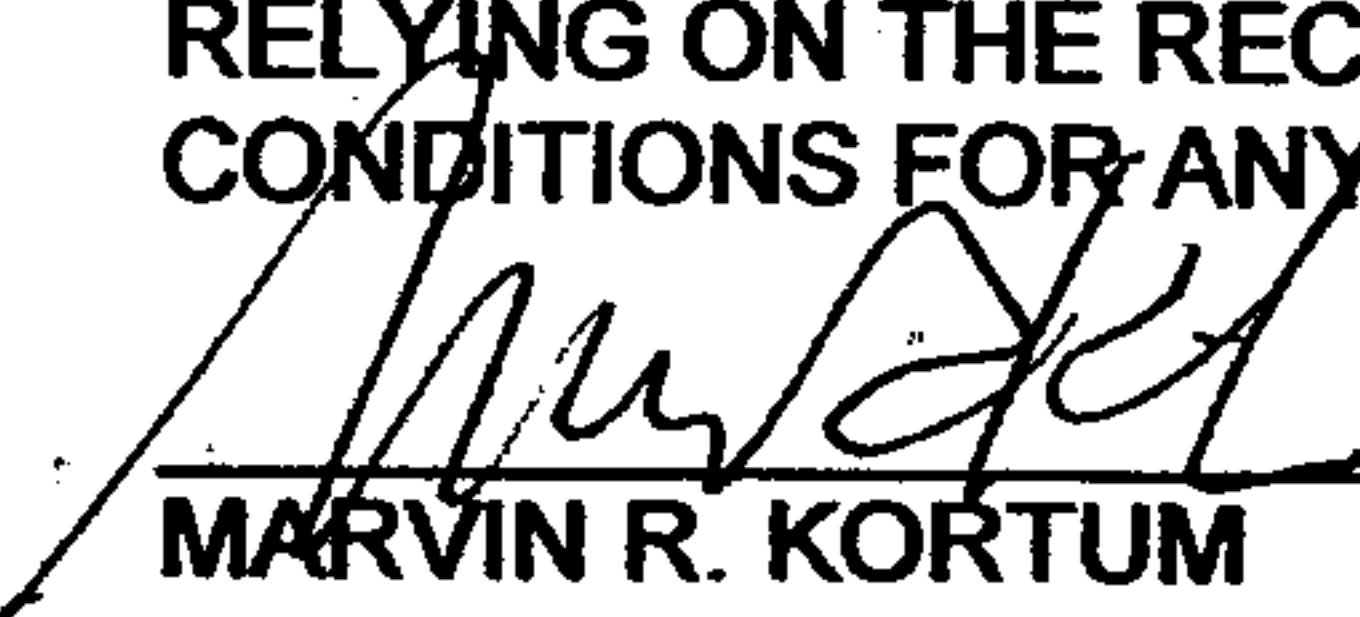
I have been asked by Steve Montgomery, Los Pinones LTD, to certify the Traffic Circulation Layout Plan for the referenced property.

Attached is a copy of the Traffic Circulation Layout Plan, stamped approved on February 18, 2003, as signed by Richard Dourte. A minor to the asphalt pavement area is that pavement does not extend to the south edges of the buildings (note 7 of the keyed notes). The building entrances (doors) indicated on the approved drawing have been deleted from the building design. The actual location of the edge of the asphalt is marked on the drawing. Below is my certification.

I, MARVIN R. KORTUM, NMPE 6519, CERTIFY THAT I HAVE INSPECTED THE CONSTRUCTED WAREHOUSE BUILDINGS AND SITE IMPROVEMENTS ON TRACT A-2, AT ADDRESS 300 ASPEN AVENUE NW, ALBUQUERQUE, NEW MEXICO 87102. THE CONSTRUCTION AND IMPROVEMENTS ARE IN SUBSTANTIAL COMPLIANCE WITH THE TRAFFIC CIRCULATION LAYOUT PLAN APPROVED ON FEBRUARY 18, 2003 (J-14/D'45) FOR THE PLAN DATE STAMPED FEBRUARY 11, 2003.

THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND IS INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF SITE CONDITIONS FOR ANY OTHER PURPOSE.


MARVIN R. KORTUM
NMPE 6519

SEP 23 2005
DATE

Thank you for your assistance on this matter.

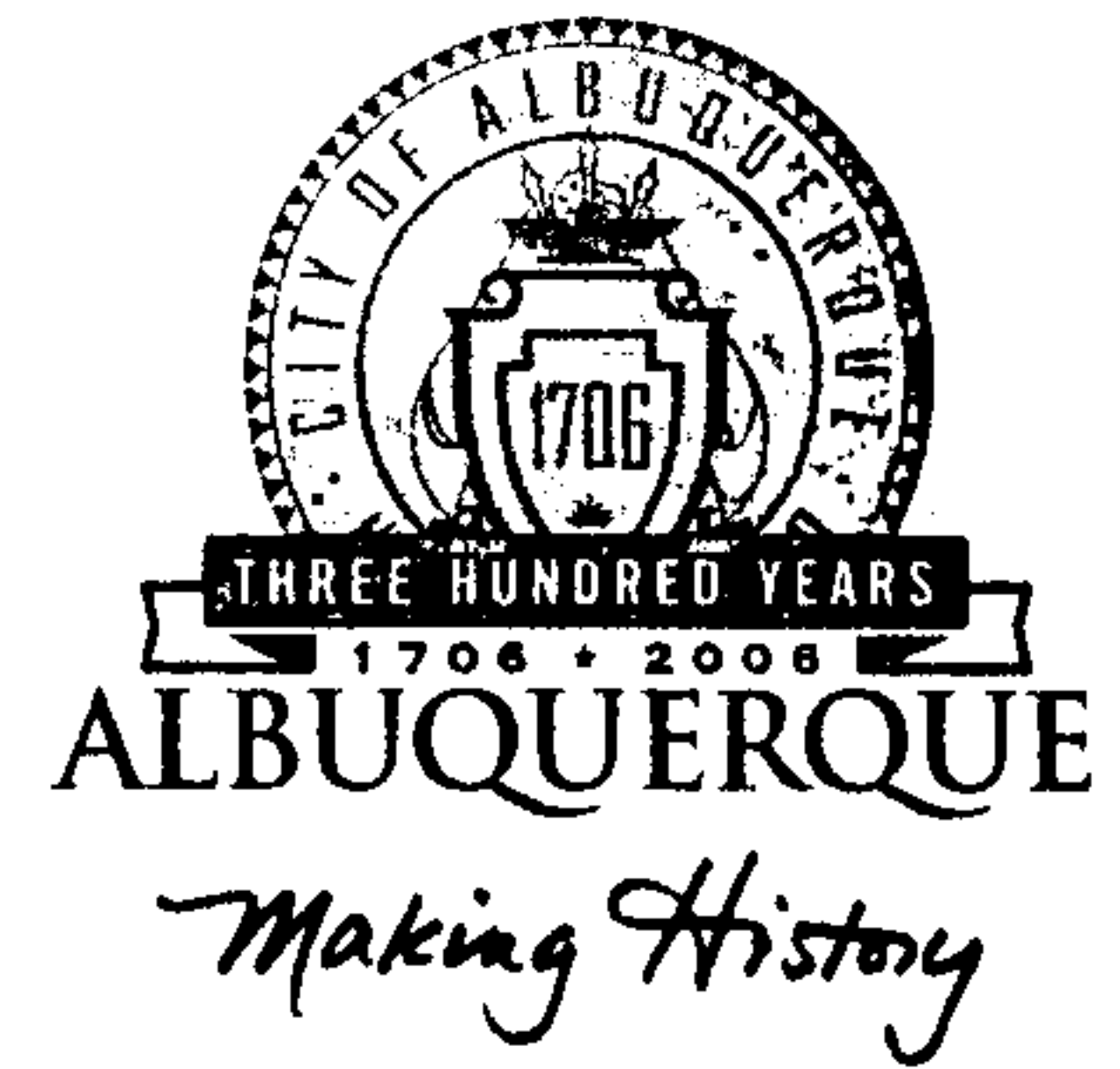
Sincerely,


Marvin R Kortum



Cc: Los Pinones LTD
1167 E Alameda
Santa Fe, NM 87501
(505) 804-7599

CITY OF ALBUQUERQUE



September 26, 2005

Mr. Marvin R. Kortum, P.E.
1605 Speakman Drive SE
Albuquerque, NM 87123

Re: WAREHOUSE ON ASPEN
300 Aspen Avenue NW
Approval of Temporary Certificate of Occupancy (C.O.)
Engineer's Stamp dated 04/04/2003 (J-14/D145)
Certification dated 09/23/2005

Dear Marvin:

Based upon the information provided in your submittal received 09/26/2005, the above referenced certification is approved for release of 30-day Temporary Certificate of Occupancy by Hydrology.

Upon acceptance of the required SO-19 and noted exception(s) listed in your Drainage Certification, please resubmit an updated Certification for Permanent C.O.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

C: Phyllis Villanueva
File

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE: WALL HOUSE ^{on Aspen} ~~AND SITE IMPROVEMENTS~~ 300 ASPEN AVE NW ZONE MAP/DRG. FILE #: J-14 - D-145
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT A-2 PLAT OF TRACTS A-1, A-2 & A-3, LANDS OF HINDI
CITY ADDRESS: 300 ASPEN AVENUE NW

ENGINEERING FIRM: Marvin R. Kortum
ADDRESS: 1605 Speakman Drive, SE
CITY, STATE: Albuquerque, New Mexico

CONTACT: FAX 299-9405
PHONE: (505) 299-0774
ZIP CODE: 87123

OWNER: LOS ANGELES LTD
ADDRESS: 1167 E. ALAMEDA
CITY, STATE: SANTA FE NEW MEXICO 87501

CONTACT: STEVE MONTGOMERY
PHONE: (505) 804 7599
ZIP CODE: 87501

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

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- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

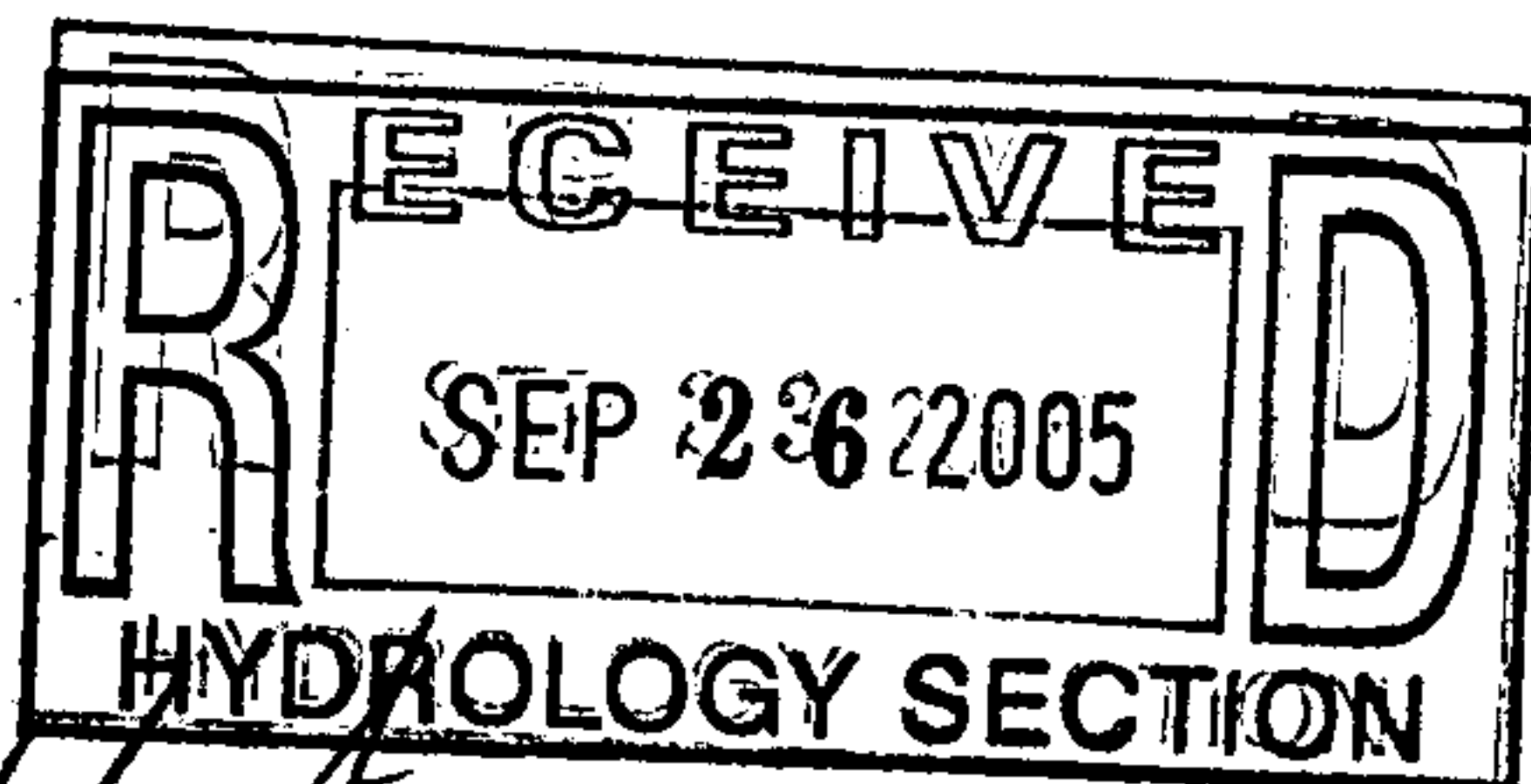
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- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

HAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: SEPTEMBER 23, 2005 BY: Marvin R. Kortum



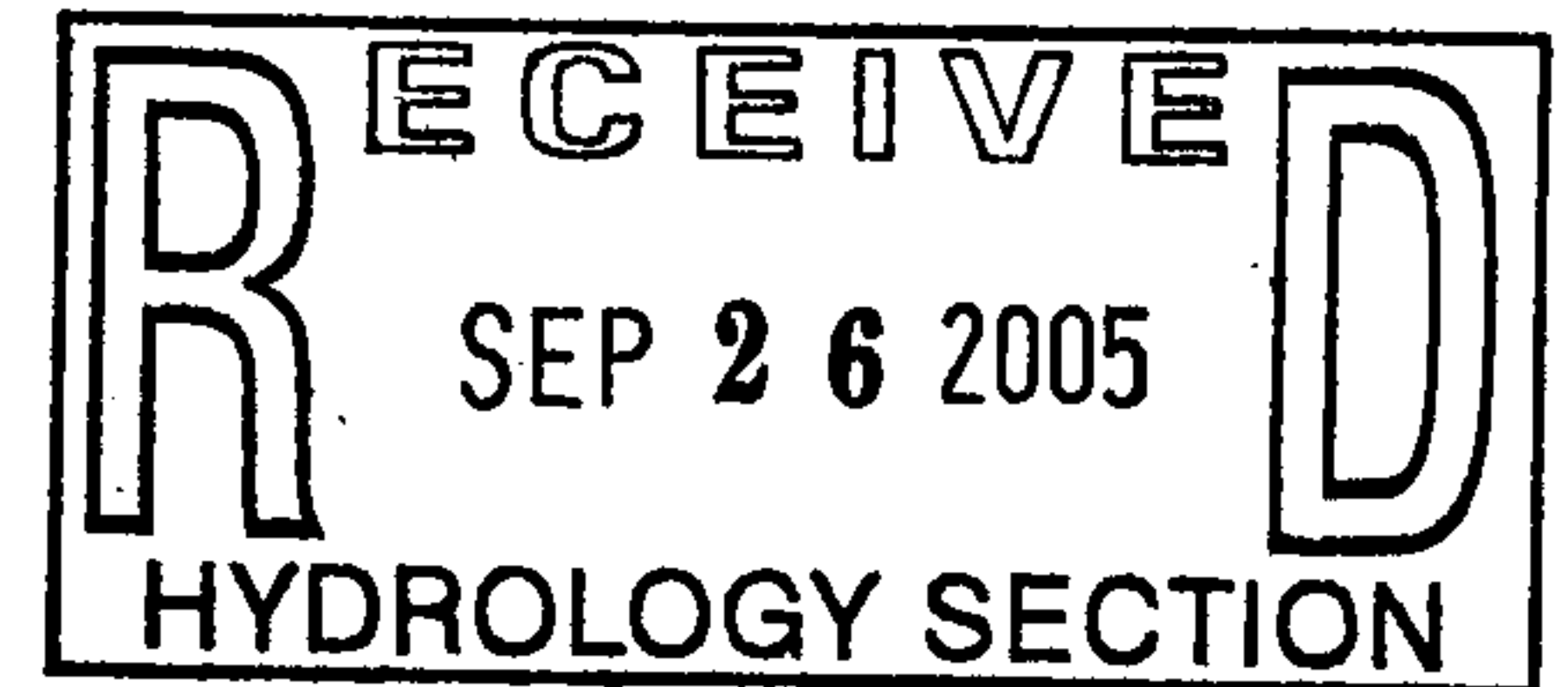
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Marvin R. Kortum
1605 Speakman Drive, SE
Albuquerque, New Mexico 87123
(505) 299-0774; FAX 299-9405; M 934-5786
N. M. P. E. 6519

September 23, 2005

City of Albuquerque
Planning Department, Development and Building Services Division
Hydrology Development Section
ATTN: Brad Bingham, Section Head (924-3986)
P. O. Box 1293
Albuquerque, New Mexico 87103



REFERENCE: Grading and Drainage Plan for Tract A-2, located at 300 Aspen Avenue NW, (J14-D145)

Dear Brad:

I have been asked by Steve Montgomery, Los Pinones LTD, to certify the Grading and Drainage for the referenced property. Below is my partial certification.

I, MARVIN R. KORTUM, NMPE 6519, CERTIFY THAT I HAVE INSPECTED THE CONSTRUCTED WAREHOUSE BUILDINGS AND SITE IMPROVEMENTS ON TRACT A-2, AT ADDRESS 300 ASPEN AVENUE NW, ALBUQUERQUE, NEW MEXICO 87102. THE CONSTRUCTION AND IMPROVEMENTS ARE IN SUBSTANTIAL COMPLIANCE WITH THE GRADING AND DRAINAGE PLAN APPROVED ON APRIL 4, 2003 (J-14/D'45) FOR THE PLAN STAMPED APRIL 4, 2003.

THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY, 30 DAYS.

MINOR DEFICIENCIES ARE THAT THE CURB ALONG THE SOUTH LOT LINE AND THE SIDEWALK CULVERTS AT THE SOUTHEAST CORNER AND THE NORTHWEST CORNER HAVE NOT BEEN CONSTRUCTED. LISTED BELOW ARE CHANGES TO THE PLAN WHICH WILL CORRECT THE DEFICIENCIES:

- A. THE ONLY RUNOFF FROM IMPERVIOUS SURFACES THAT FLOWS TO THE SOUTH PART OF THE PROPERTY IS FROM THE SOUTH HALF OF THE PITCHED ROOF ON THE TWO BUILDINGS. I RECOMMEND THAT A GUTTER AND DOWN SPOUT BE INSTALLED ON THE BUILDINGS, WITH THE DOWN SPOUT DIRECTING THE ROOF RUNOFF TO THE ASPHALT DRIVEWAY.
- B. A TREATED TIMBER CURB SHOULD BE SUBSTITUTED FOR THE CONCRETE HEADER WALL THAT WAS APPROVED ALONG THE SOUTH PROPERTY LINE. THE TREATED TIMBER (RAILROAD TIES ARE SATISFACTORY) SHOULD BE 6" BY 6", OR LARGER, TWO OR MORE COURSES, WITH AN OVERLAP STACKING OF THE COURSES. THE TOP OF THE CURB SHOULD BE TO THE ELEVATION SPECIFIED ON THE APPROVED PLAN. THE REASON FOR USING TIMBER IS THAT CONCRETE IS PRESENTLY IN SHORT SUPPLY, AND THE TIMBER CURB WILL DO THE SAME FUNCTION, WHICH IS TO PREVENT DIRECT RUNOFF ONTO THE ADJACENT PROPERTY. THE NEW CHAIN LINK FENCE ALONG THE PROPERTY LINE WILL PROVIDE A STABLE BACKING FOR THE TIMBERS.
- C. THERE WILL BE NO NEED FOR EITHER OF THE SIDEWALK CULVERTS IF THE ROOF RUNOFF IS DIRECTED TO THE NORTH OVER THE ASPHALT SURFACED DRIVEWAY. THE ONLY RUNOFF TO THE CULVERTS THEN WOULD BE THE DIRECT PRECIPITATION THAT FALLS ONTO THE LANDSCAPED PART OF THE PROPERTY. THIS RUNOFF CAN BE RETAINED AND PERCOLATED INTO THE GROUND. THE LANDSCAPED PORTIONS SHOULD BE COARSE GRAVEL OVER A PERVIOUS WEED BARRIER, OR RUNOFF CAN BE DIRECTED TO THE TREE AND BUSH PLANTINGS.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND IS INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF SITE CONDITIONS FOR ANY OTHER PURPOSE.


MARVIN R. KORTUM
NMPE 6519

SEP 23, 2005
DATE

Elevations of the as-built structures are noted as 72.11.

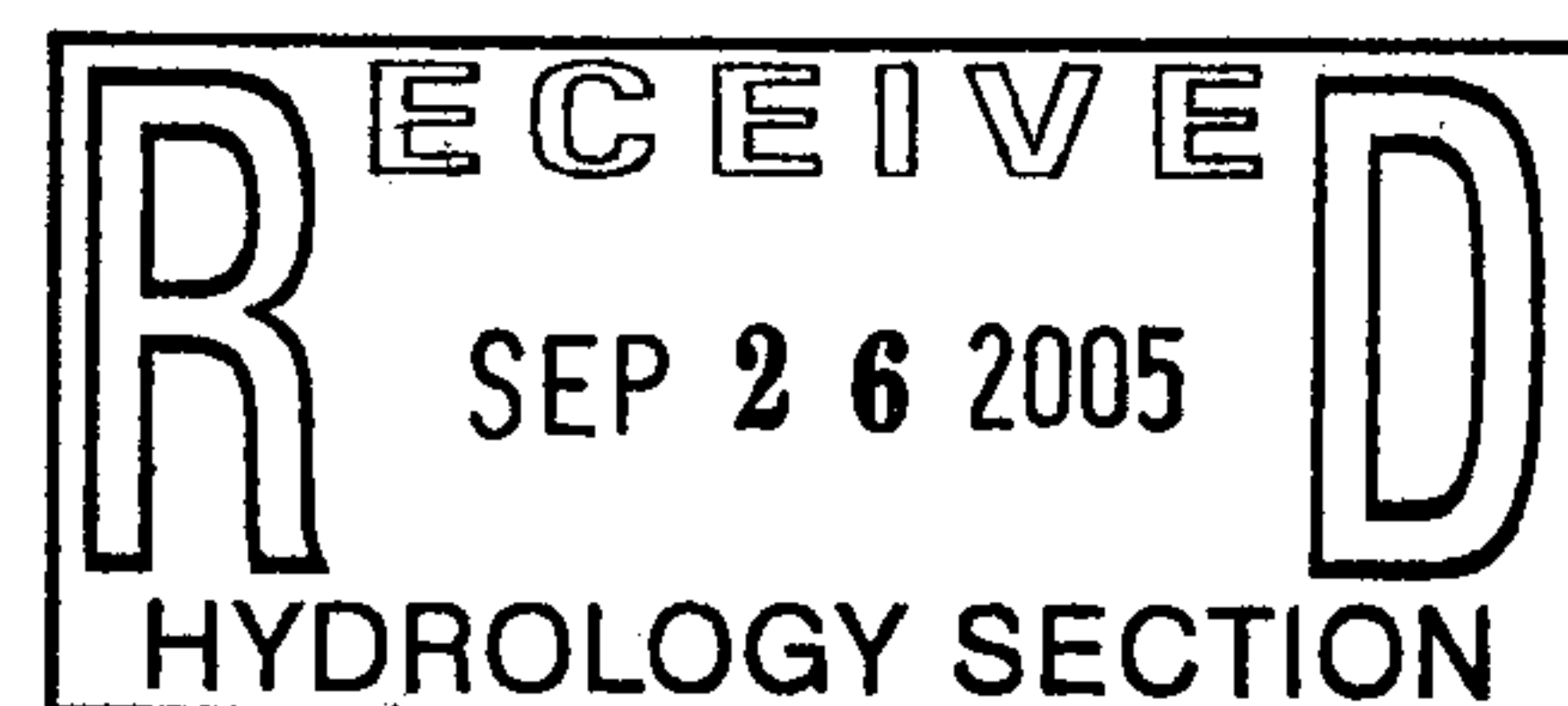
Thank you for your assistance on this matter.

Sincerely,


Marvin R Kortum



Cc: Los Pinones LTD
1167 E Alameda
Santa Fe, NM 87501
(505) 804-7599





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Planning Department

Transportation Development Services Section

February 18, 2003

David Weatherman, Registered Architect
5961 Guadalupe Trail NW
Albuquerque, NM

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for Aspen Warehouse, [J-14 /D145] located at 300 Aspen Avenue NW, Stamp Dated 2-11-03

Dear Mr. :

The TCL submittal received February 11, 2003 is approved, stamped and signed as such. Attached are three copies which are stamped as approved. One copy needs to be attached to each of the two building permit plans and one to be kept by you to be used for certification of the site for final C.O. for Hydrology/Transportation.

An copy of the approved TCL, marked up, showing incomplete work remaining, along with a letter of certification is required prior to issuance of Temporary C.O.

When site is complete and a Final C.O. is needed a letter of certification stating that the site was built in substantial compliance needs to be attached to your stamped approved TCL letter or TCL must be stamped with the designer's seal for the certification. Seal must be signed and dated for that submittal. This and all documentation must be submitted with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. to confirm that Final C.O. has been issued to the superintendent, call Building Safety at 924-3306.

Sincerely,

Richard Dourte,
Development and Building Services
Planning Department

c: file
Hydrology file



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 15, 2003

Celia S. Tomlinson
Rhombus PA, Inc.
2620 San Mateo NE Suite B
Albuquerque, New Mexico 87110

**RE: Grading and Drainage Plan for Warehouse on Aspen (J14-D145) Dated
January 14, 2003**

Dear Ms. Tomlinson:

The referenced plan is approved for Building Permit and SO-19 permit for construction within the city right-of-way. Certification by the engineer and sign-off by City's field inspector for SO-19 is required for Hydrology's release of the Certificate of Occupancy.

If you have any questions please contact me at 924-3982.

Sincerely,

Carlos A. Montoya
City/County Floodplain Administrator

C: Pam Lujan, Excavation Permits
Matt Cline, Arroyo Maintenance w/attachments

ALSO SEE

T.C.L.

SUBMITTAL.

(REV. 1/11/2002)

J-14 / D145

LEGAL DESCRIPTION: TRACT A-2 LANDS of SUNWEST BANK
CITY ADDRESS: 300 ASPEN NW

CONTACT: CERUA
PHONE: 881-6690
ZIP CODE: _____

CONTACT: GERTY
PHONE: _____
ZIP CODE: _____

CONTACT: DANIL WEATHERMAN
PHONE: 343-9305
ZIP CODE: 87107

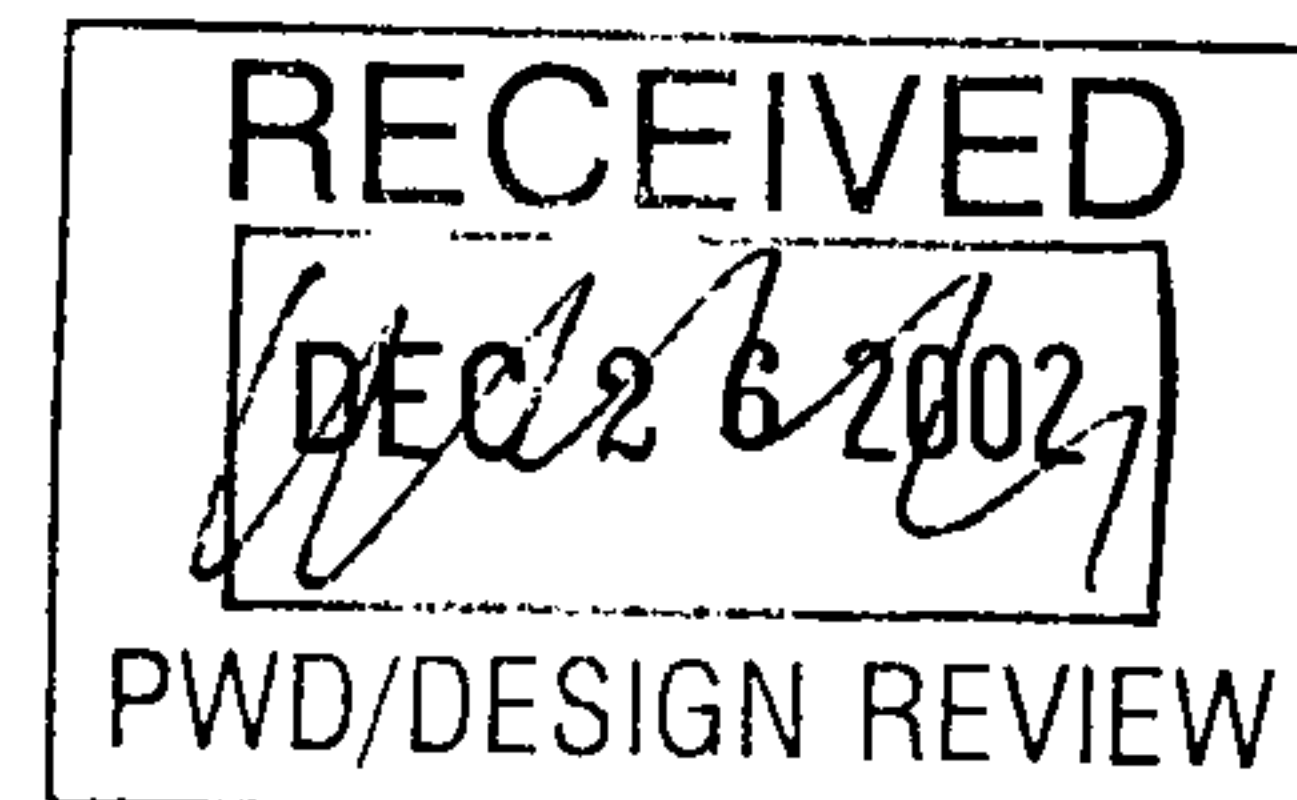
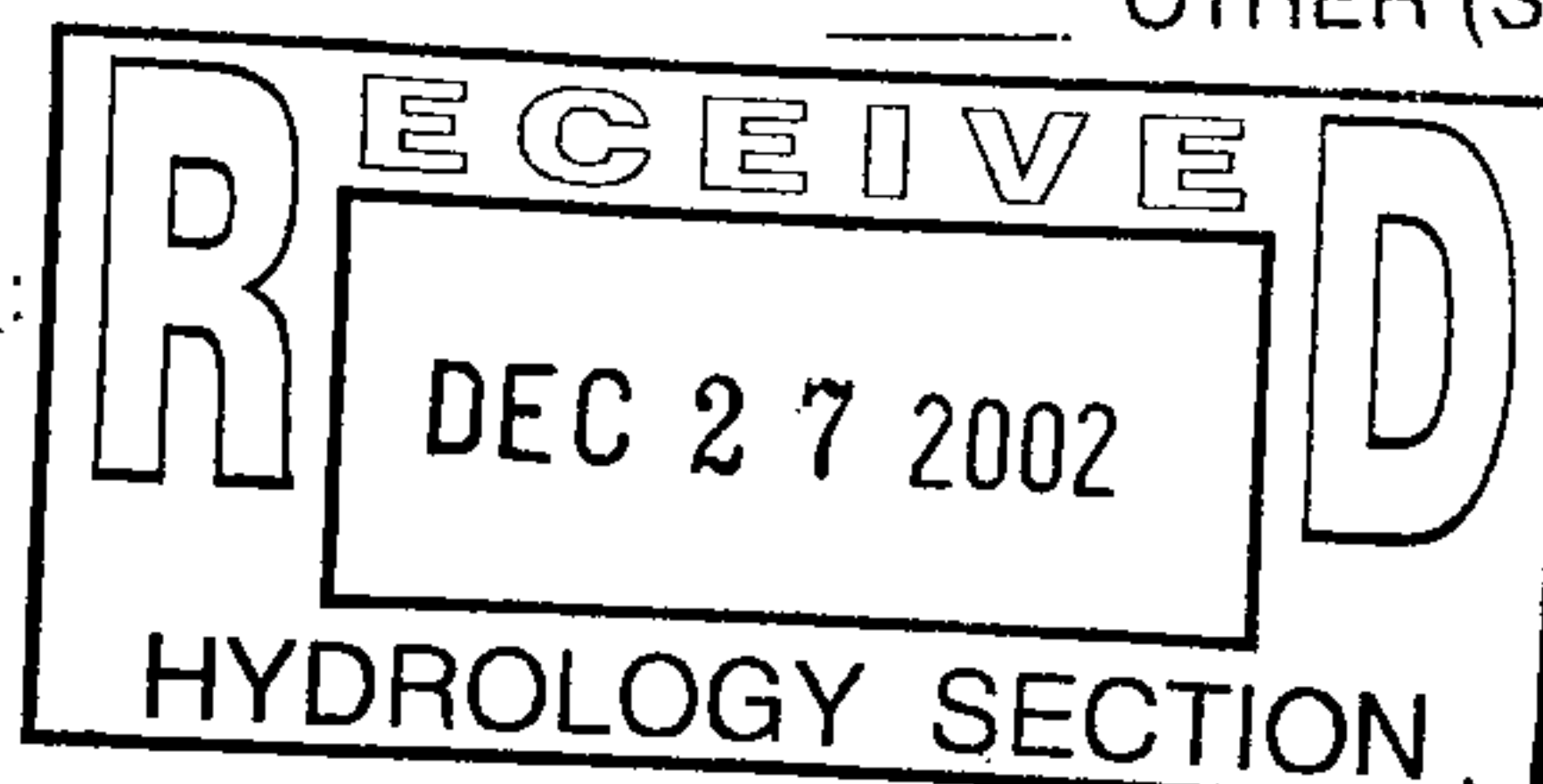
CONTACT: DOUG SMITH
PHONE: 265-5577
ZIP CODE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

_____ YES
_____ NO
_____ COPY PROVIDED



BY:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

ALSO SEE
GRADING + DRAINAGE
SUBMITTAL.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 15, 2003

Celia S. Tomlinson
Rhombus PA, Inc.
2620 San Mateo NE Suite B
Albuquerque, New Mexico 87110

**RE: Grading and Drainage Plan for Warehouse on Aspen (J14-D145) Dated
January 14, 2003**

Dear Ms. Tomlinson:

The referenced plan is approved for Building Permit and SO-19 permit for construction within the city right-of-way. Certification by the engineer and sign-off by City's field inspector for SO-19 is required for Hydrology's release of the Certificate of Occupancy.

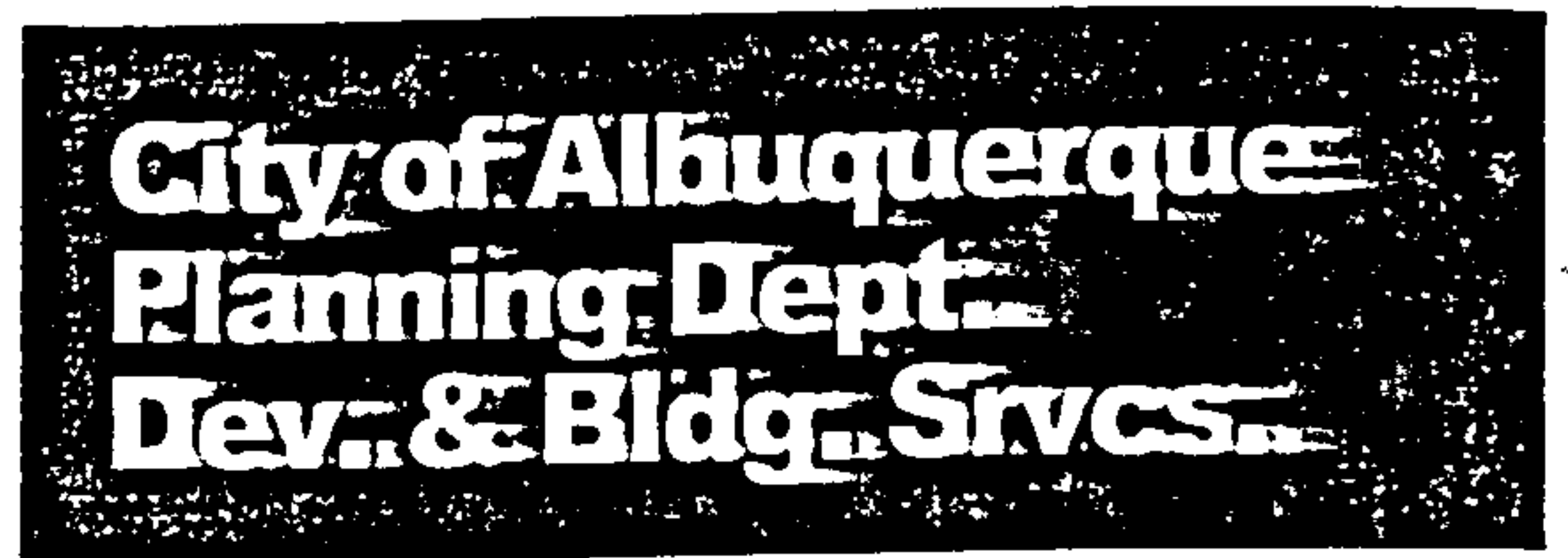
If you have any questions please contact me at 924-3982.

Sincerely,

Carlos A. Montoya
City/County Floodplain Administrator

C: Pam Lujan, Excavation Permits
Matt Cline, Arroyo Maintenance w/attachments

City of Albuquerque
Planning Department
505-924-3900 (main number)
505-924-3864 (fax number)
Development and Building Services (One Stop Shop)
Plaza Del Sol Building, 2nd Floor
600 2nd Street NW
Albuquerque, NM 87102



Fax

To: Rita From: Carlos A Montez

Copies to: _____

Fax: _____ Pages Sent: (including this page) 2

Phone: _____ Date: 1-15-02

Time: _____

☐ Urgent ☒ For Review ☐ Please Comment ☐ Please Reply ☐ Please Recycle

COMMENTS: Hydrology approval letter.

Rita, did you talk to the architect
about my comments?

DRAINAGE INFORMATION SHEET

J-14/D145

PROJECT TITLE: WAREHOUSE ON ASPEN ZONE ATLAS/DRNG. FILE #: J-14-2

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: TRACT A-2, LANDS OFF HINDI, S 17, T10N, R3E, NMPMCITY ADDRESS: 300 ASPEN AVENUE NWENGINEERING FIRM: RHOMBUS P.A., INC. CONTACT: ZITA GUETSCHOWADDRESS: 2620 SAN MATEO BLVD PHONE: 881-6690OWNER: GERALD OHUSEN CONTACT: GERALD OHUSENADDRESS: 1169 EAST ALAMEDA, SANTA FE, NM PHONE: _____ARCHITECT: GUADALUPE ARCHITECTS CONTACT: DAVID WEATHERMANADDRESS: 5961 GUADALUPE TRAIL NW, ARA PHONE: (505) 343-9305SURVEYOR: RHOMBUS P.A. INC CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

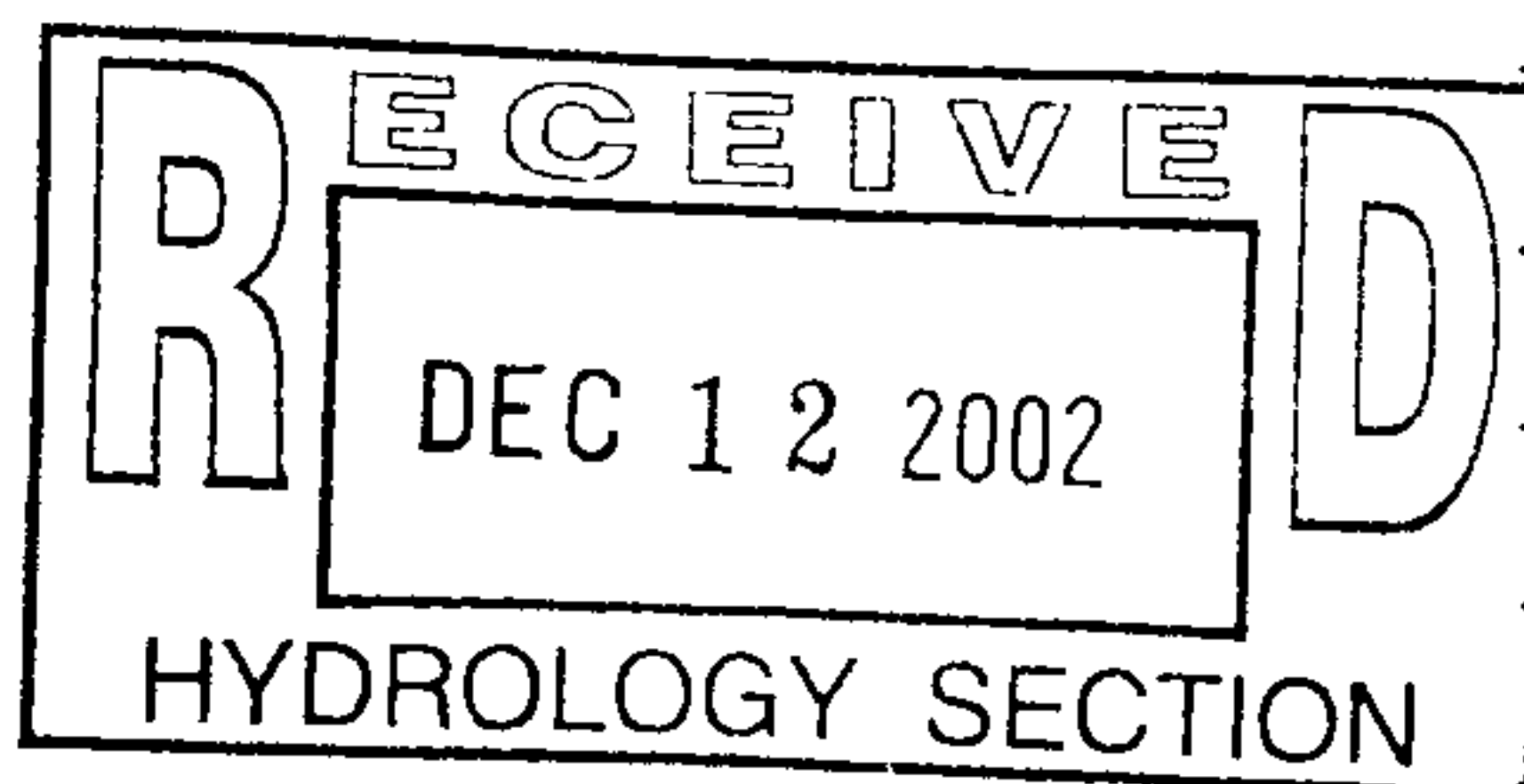
- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☒ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ SUBDIVISION CERTIFICATION
☐ OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 12.12.2002BY: Rita Fuelsen

881 66 90 FAR



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

APRIL

~~March~~ 4, 2003

Celia S. Tomlinson
Rhombus PA, Inc.
2620 San Mateo NE Suite B
Albuquerque, New Mexico 87110

RE: Grading and Drainage Plan for Warehouse on Aspen Phase I (J14-D145) Dated
~~March~~ 4, 2003

APRIL

Dear Ms. Tomlinson:

The referenced plan is approved for Building Permit and SO-19 permit for construction within the city right-of-way. Certification by the engineer and sign-off by City's field inspector for SO-19 is required for Hydrology's release of the Certificate of Occupancy.

If you have any questions please contact me at 924-3982.

Sincerely,

Carlos A. Montoya
City/County Floodplain Administrator

C: Pam Lujan, Excavation Permits
Matt Cline, Arroyo Maintenance w/attachments

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: WAREHOUSE ON ASPEN ZONE MAP/DRG. FILE #: J-14.2
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT A-2, LANDS OF HINDI, SECTION 17, T10N R3E
CITY ADDRESS: 300 ASPEN AVE. NW

ENGINEERING FIRM: RHOMBUS P.A., INC
ADDRESS: 2620 SAN MATEO NE
CITY, STATE: SUBQUERQUE, NM

CONTACT: RITA GUSTSCHOW
PHONE: 881-6690
ZIP CODE: _____

OWNER: GERALD OLSEN
ADDRESS: 1169 EAST ALAMEDA, SANTA FE
CITY, STATE: NM

CONTACT: GERALD OLSEN
PHONE: _____
ZIP CODE: _____

ARCHITECT: GUADALUPE ARCHITECTS
ADDRESS: 5961 GUADALUPE TRAIL NW
CITY, STATE: SUBQUERQUE, NM

CONTACT: DAVID WEATHERMAN
PHONE: 343-9503
ZIP CODE: _____

SURVEYOR: RHOMBUS P.A., INC
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☒ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

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- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
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- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER (SPECIFY) S019

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 4.4.2003 BY: Rita Gustschow

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