

KEYED NOTES

1. CONCRETE SIDEWALK CULVERT WITH STEEL PLATE TOP PER CITY OF ALBUQUERQUE STANDARD DRAWING #236
2. EXISTING CONCRETE CURB AND GUTTER
3. EXISTING CONCRETE SIDEWALK
4. EXISTING CONCRETE MEDIAN CURB AND GUTTER
5. EXISTING CONCRETE DRIVEPAD
6. EXISTING CONCRETE DRIVEPAD TO REMAIN ON ADJACENT PROPERTY
7. EXISTING ASPHALT PAVEMENT
8. EXISTING CONCRETE SIDEWALK AND ENTRY
9. EXISTING CONCRETE HEADER CURB
10. EXISTING CONCRETE CURB TO REMAIN ON ADJACENT PROPERTY
11. EXISTING REFUSE BIN ENCLOSURE
12. EXISTING 2' CONCRETE CURB OPENING
13. EXISTING WHEEL CHAIR CURB ACCESS RAMP
14. NOT USED
15. HANDICAP PARKING SIGN
16. EXISTING CONCRETE TIRE STOP

LANDSCAPE LEGEND

- 5 GAL. BUFFALO JUNIPER
- 15 GAL. BRADFORD PEAR
- 5 GAL. CHERRY SAGE
- 4' PALM YUCCA

LEGEND

- DOWNSPOUT LOCATION AND FLOW DIRECTION
- PROPOSED BUILDING FINISH FLOOR ELEVATION
- EXISTING POWER POLE TO BE REMAIN
- EXISTING TELEPHONE RISER TO REMAIN
- OVERHEAD POWER LINE
- EXISTING MONITORING WELL TO REMAIN
- EXISTING WATER METER TO REMAIN
- EXISTING WATER VALVE TO REMAIN
- EXISTING SANITARY SEWER MANHOLE TO REMAIN
- STREET SIGN
- BUILDING ENTRANCE

PROJECT DATA

OWNER: LOS PINONES LIMITED PARTNERSHIP

ADDRESS: 300 ASPEN AVE. N.W.
ALBUQUERQUE, N.M.

ZONING: M1

SITE AREA: 0.3735 AC.
(16532.2 SF.)

BUILDING AREA: PHASE I 3,000 SF.
PHASE II 1,200 SF.
TOTAL: 4,200 SF.

NET SITE AREA: PHASE I 13,532 SF.
PHASE II 11,732 SF.

LANDSCAPE AREA REQUIRED: 1,580 SF.
(15% OF NET SITE AREA)

LANDSCAPE AREA PROVIDED: 2,420 SF.

TYPE OF CONSTRUCTION: VN

OCCUPANCY GROUP: 92 WITH OFFICE/TOILET

OCCUPANCY LOAD: OFFICE/TOILET
1/100 SF. = 8
WAREHOUSE
1/500 SF. = 5
TOTAL = 10

PARKING REQUIREMENTS: WAREHOUSE
1/2,000 SF. = 2 SPACES
OFFICE/TOILET
1/200 SF. = 2 SPACES
TOTAL: 4 SPACES

NUMBER OF STORIES: ONE

HEIGHT OF BUILDING: 14'-0"

SPRINKLERS: NOT REQUIRED

SCOPE OF WORK

CONSTRUCTION OF PREENGINEERED METAL STRUCTURE ON CONCRETE FOUNDATION AND SLAB; OFFICE AND TOILET ACCESSORY AREA WITH WALL FRAMING, GYPSUM BOARD FINISH AND FLOOR FINISHES PER OWNER. SUSPENDED LIGHTING FIXTURES AND UNIT HEATER SPACE HEATING IN WAREHOUSE AREA.

I, MARVIN R. KORTUM, NMPE 6519, CERTIFY THAT I HAVE INSPECTED THE CONSTRUCTED WAREHOUSE BUILDINGS AND SITE IMPROVEMENTS ON TRACT A-2, AT ADDRESS 300 ASPEN AVENUE NW, ALBUQUERQUE, NEW MEXICO 87102. THE CONSTRUCTION AND IMPROVEMENTS ARE IN SUBSTANTIAL COMPLIANCE WITH THE TRAFFIC CIRCULATION LAYOUT PLAN APPROVED ON FEBRUARY 18, 2003 (J-14/D 45) FOR THE PLAN DATE STAMPED FEBRUARY 11, 2003 (ARCHITECT STAMP #1468, SEALED FEBRUARY 11, 2003) AND SITE ARCHITECTURAL PLAN DATED MAY 20, 2003 (ARCHITECT STAMP #3588, SEALED FEBRUARY 24, 2004).

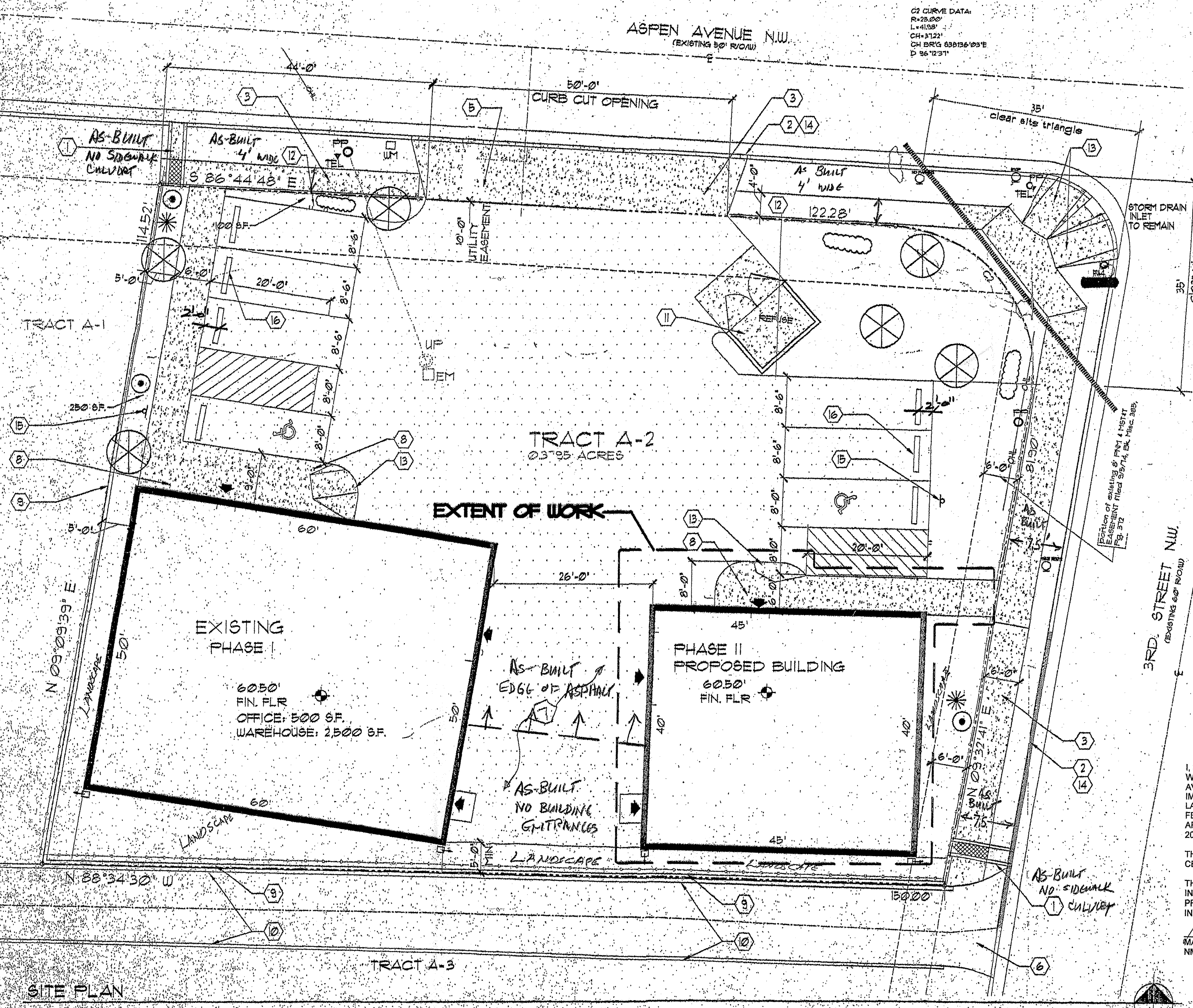
THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND IS INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF SITE CONDITIONS FOR ANY OTHER PURPOSE.

MARVIN R. KORTUM
NMPE 6519
DATE: MARCH 20, 2006



ALBUQUERQUE
BLDG. & SAFETY
MAR 11 2004
U.S.C.
PLAN CHECK
SECTION



SITE PLAN

1"=10'-0"

SITE ARCHITECTURAL PLAN

PHASE II METAL BUILDING 40'x45'
300 ASPEN AVE. N.W.
ALBUQUERQUE, NM

DATE: 05/20/03

SCALE: AS SHOWN

DRAWN: LA

JOB MONT-01-2003

SHEET

AS1