

# KEYED NOTES

1. CONCRETE SIDEWALK CULVERT WITH STEEL PLATE TOP PER CITY OF ALBUQUERQUE STANDARD DRAWING #2236.
2. NEW CONCRETE CURB AND GUTTER MATCH EXISTING ELEVATIONS AND ASSURE SMOOTH TRANSITION.
3. CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD DRAWING #2430.
4. CONCRETE MEDIAN CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD DRAWING #2415 OR CONCRETE HEADER CURB.
5. CONCRETE DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD DRAWING #2425.
6. EXISTING CONCRETE DRIVEPAD TO REMAIN ON ADJACENT PROPERTY.
7. ASPHALT PAVEMENT.
8. CONCRETE SIDEWALK AND ENTRY.
9. CONCRETE HEADER CURB.
10. EXISTING CONCRETE CURB TO REMAIN ON ADJACENT PROPERTY.
11. REFUSE BIN ENCLOSURE.
12. PROVIDE 2' CONCRETE CURB OPENING.
13. WHEEL CHAIR CURB ACCESS RAMP PER CITY OF ALBUQUERQUE STANDARD DRAWING #2441.
14. REMOVE EXISTING CONCRETE DRIVE PAD.
15. HANDICAPP PARKING SIGN.

# LANDSCAPE NOTES

LANDSCAPE AND IRRIGATION SYSTEM MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.

LANDSCAPE SHALL BE WATERED BY A COMPLETE UNDERGROUND IRRIGATION DRIP SYSTEM OPERATED BY AUTOMATIC CONTROLLER.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WASTE WATER PROVISIONS OF THE WASTE WATER AND LANDSCAPE ORDINANCES WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

PLANTINGS SHALL ACHIEVE A MINIMUM 25% LIVE GROUND COVER AT MATURITY.

ALL LANDSCAPE AREAS SHALL BE MULCHED WITH 1 1/2" SANTA ANA TAN GRAVEL OVER FILTER FABRIC.

THE OWNER SHALL BE PROVIDED WITH IRRIGATION AS-BUILT DRAWING SHOWING LOCATIONS OF ALL IRRIGATION COMPONENTS.

# LANDSCAPE LEGEND

- 5 GAL. BUFFALO JUNIPER
- 15 GAL. BRADFORD PEAR
- 5 GAL. CHERRY SAGE
- 4' PALM YUCCA

# LEGEND

- 53.80' FIN. FLR. DOWNSPOUT LOCATION AND FLOW DIRECTION
- OFF. EXISTING POWER POLE TO BE REMAIN
- TEL. EXISTING TELEPHONE RISER TO REMAIN
- OHLE. OVERHEAD POWER LINE
- MON. WELL. EXISTING MONITORING WELL TO REMAIN
- W. EXISTING WATER METER TO REMAIN
- WV. EXISTING WATER VALVE TO REMAIN
- TH. EXISTING SANITARY SEWER MANHOLE TO REMAIN
- Q. STREET SIGN
- BUILDING ENTRANCE
- NEW ASPHALT PAVEMENT
- NEW CONCRETE PAVEMENT

NOTE:  
ALL SURFACES NOT MARKED CONCRETE PAVEMENT, STOODPS AND BUILDINGS SHALL BE RE-GRADED GRAVEL SURFACE OR LANDSCAPING. SEE LANDSCAPING PLAN FOR DETAILS.

- EXISTING SIGN/BILLBOARD TO BE DEMOLISHED
- UP. EXISTING UTILITY POLE TO BE DEMOLISHED
- EM. EXISTING ELECTRIC METER TO BE DEMOLISHED
- OHLE. EXISTING OVERHEAD POWER LINES TO BE DEMOLISHED

# PROJECT DATA

OWNER:

ADDRESS: 300 ASPEN AVE. NW.  
ALBUQUERQUE, N.M.

ZONING: M1

SITE AREA: 0.3795 AC  
(165322 SF.)

BUILDING AREA: PHASE I 3,000 SF.  
PHASE II 3,000 SF.  
TOTAL 6,000 SF.

NET SITE AREA: PHASE I 13,532 SF.  
PHASE II 10,532 SF.

LANDSCAPE AREA REQUIRED: 1,580 SF.  
(15% OF NET SITE AREA)

LANDSCAPE AREA PROVIDED: 2,420 SF.

TYPE OF CONSTRUCTION: VN

OCCUPANCY GROUP: S2 WITH OFFICE/TOILET

OCCUPANCY LOAD: OFFICE/TOILET  
1/100 SF. = 5  
WAREHOUSE  
1/500 SF. = 5  
TOTAL 10

PARKING REQUIREMENTS: WAREHOUSE  
1/2,000 SF. = 2 SPACES  
OFFICE/TOILET  
1/200 SF. = 2 SPACES  
TOTAL 4 SPACES

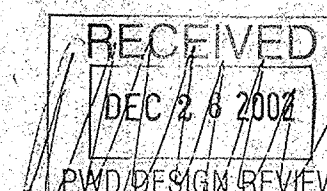
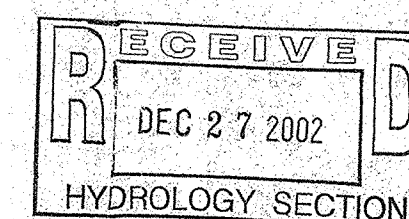
NUMBER OF STORIES: ONE

HEIGHT OF BUILDING: 14'-0"

SPRINKLERS: NOT REQUIRED

SCOPE OF WORK:  
CONSTRUCTION OF PREENGINEERED METAL STRUCTURE ON CONCRETE FOUNDATION AND SLAB, OFFICE AND TOILET ACCESSORY AREA WITH WALL FRAMING, GYPSUM BOARD FINISH AND FLOOR FINISHES PER OWNER. SUSPENDED LIGHTING FIXTURES AND UNIT HEATER. SPACE HEATING IN WAREHOUSE AREA.

AFD PLANS CHECKING OFFICE  
824-3611  
APPROVED/DISAPPROVED  
HYDRANT(S) ONLY  
SIGNATURE & DATE



SHEET

AS-1

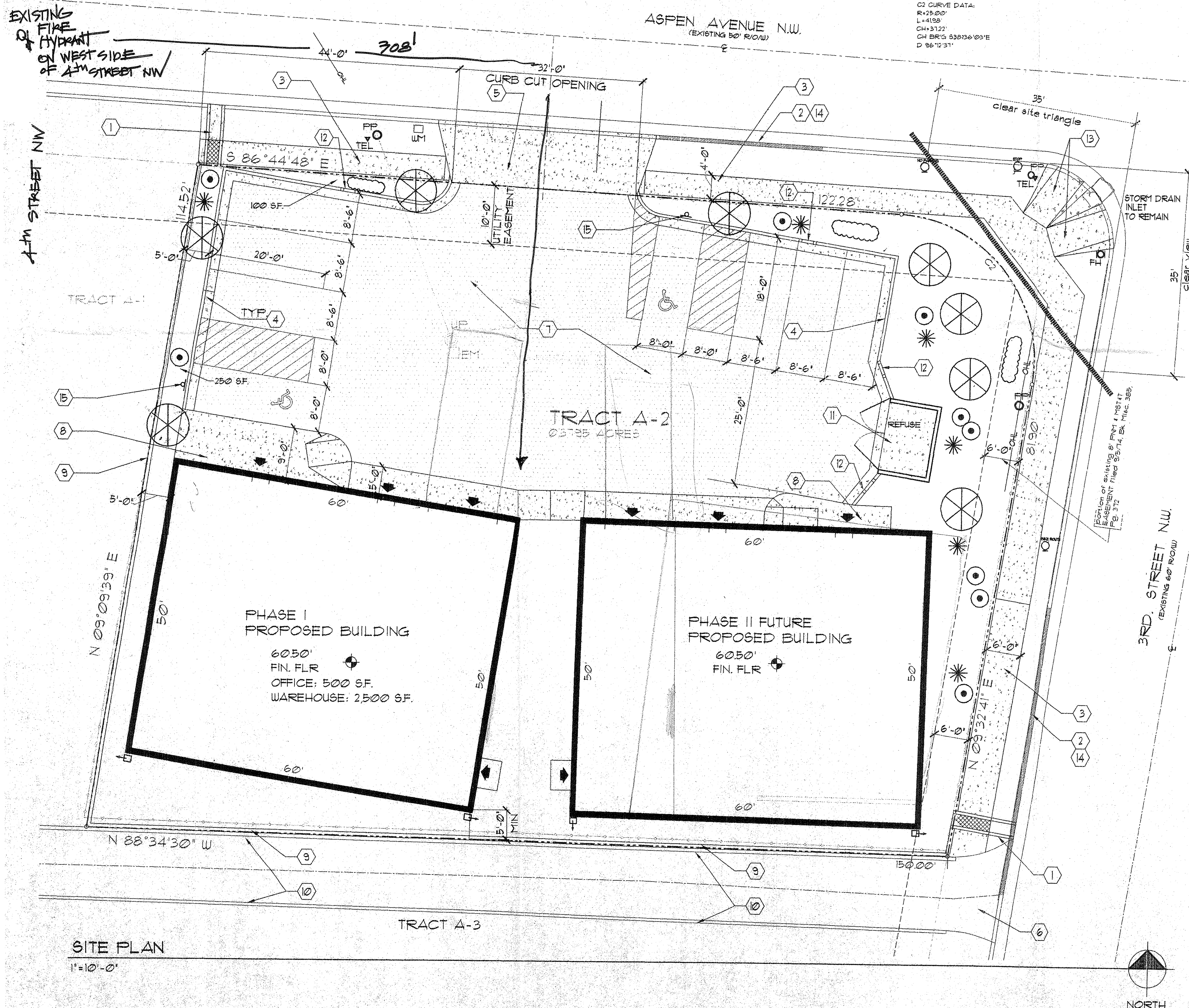
12-25-02

GUADALUPE ARCHITECTS  
DAVID WEATHERMAN ARCHITECT  
5961 GUADALUPE TRAIL, NW  
ALBUQUERQUE, NEW MEXICO  
(505) 343-9305

ASPEN PROJECT  
300 ASPEN AVENUE NW.  
ALBUQUERQUE, NM.

EXISTING FIRE HYDRANT ON WEST SIDE OF 4TH STREET NW

4TH STREET NW



# SITE PLAN

1"=10'-0"

