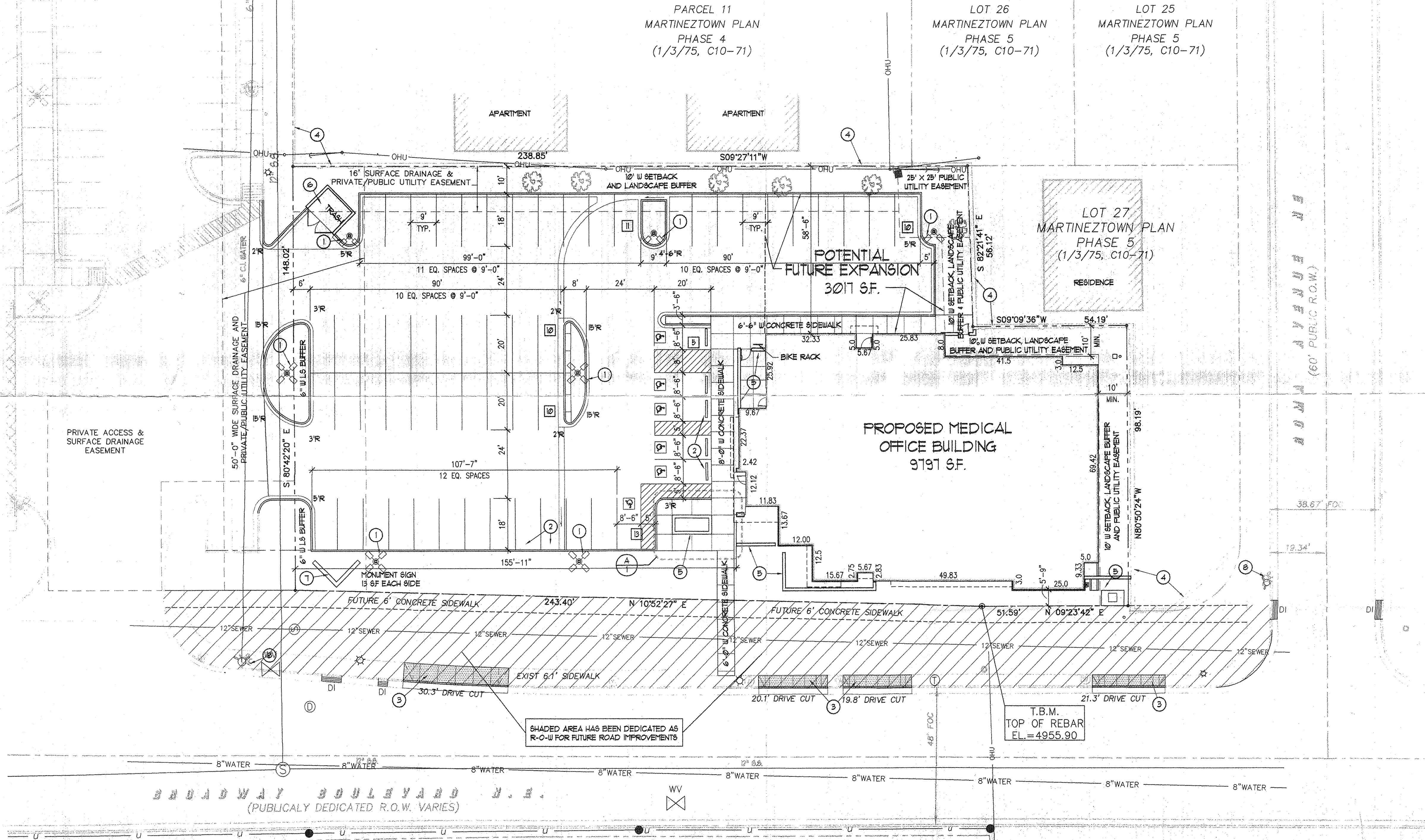


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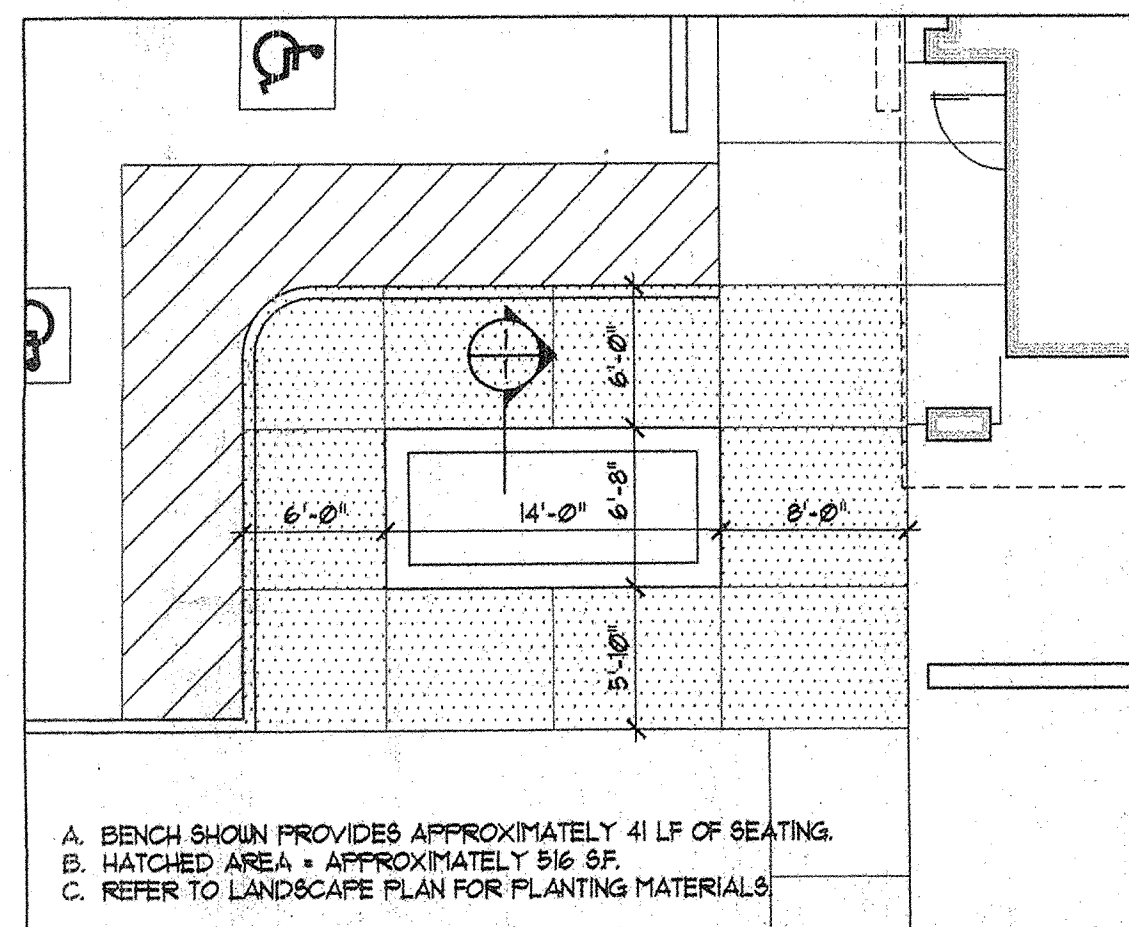


TRACT A-1
RAKESTRAW FAMILY TRUST
(11/28/84, B21-16)

FRANCHINI ADDITION

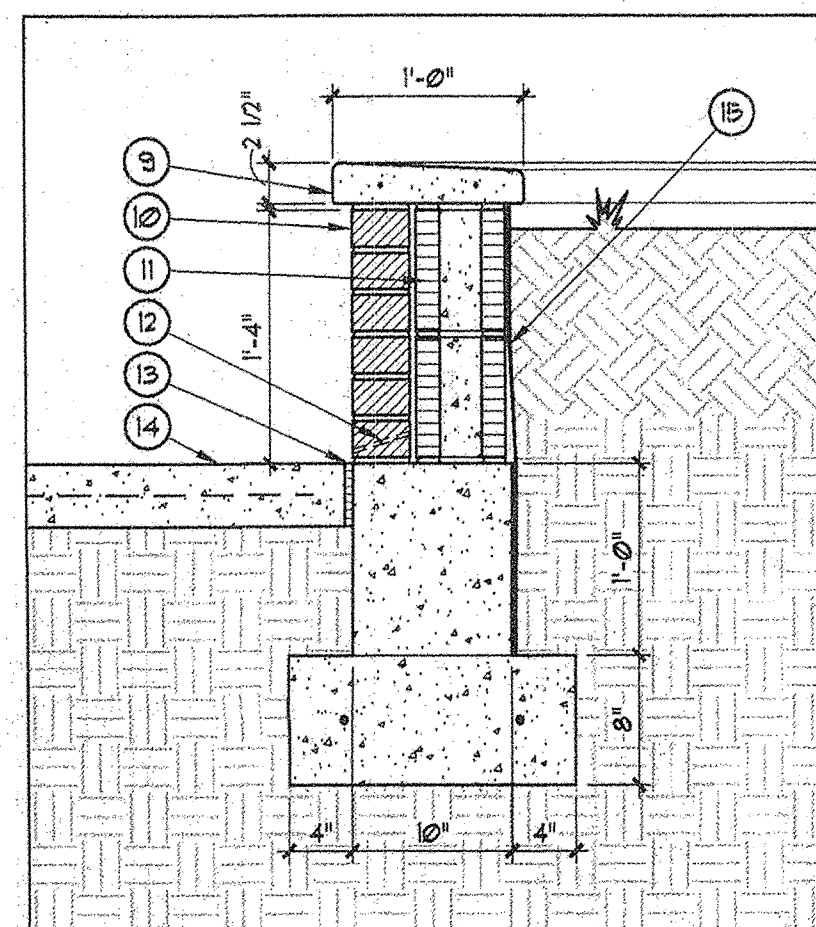
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SCALE: 1" = 20'-0"



A DETAIL AT PLANTER

SCALE: 1/8" = 1'-0"



1 DETAIL
PLANTER SEATING
SCALE: 1" = 1'-0"

LOCATION: SE CORNER OF
LOMAS AND BROADWAY NE
OWNER: UROLOGY NETWORK OF NEW MEXICO
118 ENCINO PLACE NE
ALBUQUERQUE, NM 87102
(505) 242-3991
ARCHITECTS: GTH & ASSOC., P.C.
110 SECOND STREET SW SITE 204
ALBUQUERQUE, NM 87102
(505) 243-1492
LEGAL DESCRIPTION: TRACTS A-1-B/A-1-C
LOMAS CENTER
ZONING: 91-80-1 FOR PERMISSIVE USES
WITH EXCLUSIONS AS PER Z-99-108
PROPOSED ZONING: 91-1 FOR C-1
ZONE ATLAS PAGE: J-14-Z
CONSTRUCTION TYPE: II-N SPRINKLED
PREVIOUS CASE NUMBER: 9P-93-192

DESIGN DATA

LOT AREA: 41,891 SF.
BUILDING AREA: 9,191 SF.
BROADWAY EXPANSION AREA: 11,432 SF.
NET LOT AREA: 31,866 SF.
LANDSCAPE AREA: 10,500 SF.
LANDSCAPE / NET LOT AREA: 58%
34% FOLLOWING
BROADWAY
EXPANSION

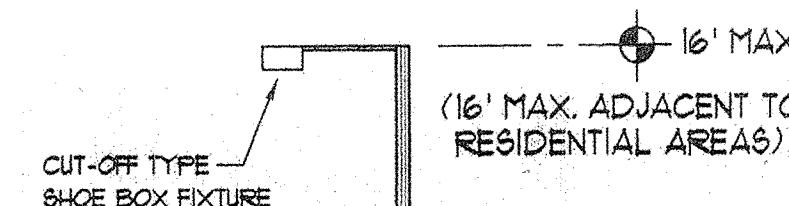
PARKING REQUIRED: 30
5/DOCTOR X 6 = 30
10% REQ'D H/C - 6 MIN.
PARKING PROVIDED: 59 SPACES TOTAL
H.C. PARKING: 10% OR 6 SPACES
BICYCLE PARKING: 3 SPACES

GENERAL NOTES

- R-O-W FOR LOMAS & BROADWAY TO BE DEDICATED AS NOTED ON THIS SITE PLAN AND IMPROVEMENTS TO BE CONSTRUCTED AS AGREED TO BY THE CITY PUBLIC WORKS DEPARTMENT AND THE APPLICANT.
- 6" SIDEWALKS TO FRONT LOMAS & BROADWAY AND BE CONSTRUCTED AS REQUIRED.
- SITE ACCESS, CIRCULATION PATTERNS, STRUCTURE ORIENTATION / CONFIGURATIONS TO BE CONSTRUCTED TO THE SATISFACTION OF THE TRAFFIC ENGINEER AND APPLICANT.
- LOCATION OF WALLS, FENCES & SIGNS MUST MEET CLEAR SIGHT DISTANCE REQUIREMENTS.
- ADEQUATE H.C. ACCESSIBLE PEDESTRIAN CIRCULATION TO BE PROVIDED WITHIN THE SITE AND WITH CONNECTIONS TO THE ADJACENT STREETS W/ UNI-DIRECTIONAL RAMPS USED AT ALL ENTRANCES.
- LANDSCAPING SHALL COMPLY WITH COA PROJECT NO. 589191 - BROADWAY MEDIANS LOMAS TO MARTIN LUTHER KING JR.

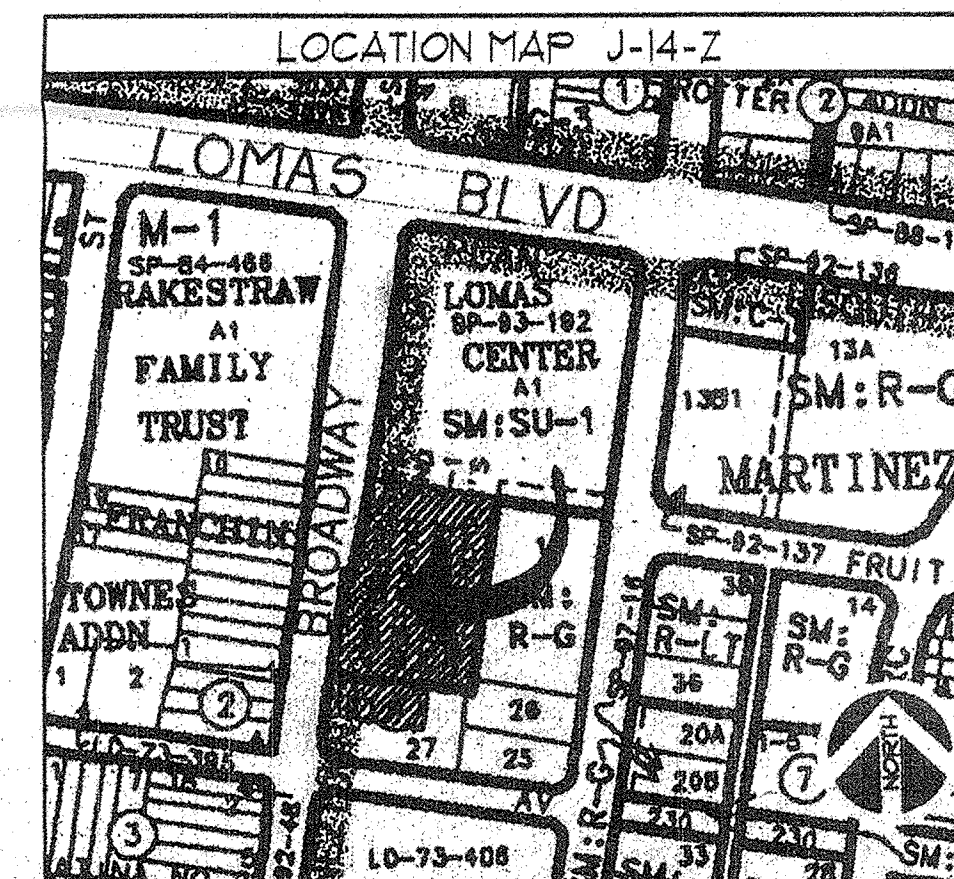
KEYED NOTES

- "CUT-OFF" TYPE SHOE BOX FIXTURE TO MATCH EXISTING ON ADJACENT PROPERTY.
- 6" x 24" LONG CONCRETE PARKING BUMPERS.
- EXISTING CURBS CUT TO BE REMOVED. INFILL SIDEWALK, CURB AND GUTTER PER COA STANDARD DETAIL DRAWINGS 2430 AND 2415 (STANDARD CURB & GUTTER).
- EXISTING RETAINING WALL TO REMAIN.
- NEW PATIO OR PLANTER WALL. SEE ELEVATIONS SHEET 4 FOR HEIGHTS.
- NEW REUSE ENCLOSURE. SEE ELEVATIONS SHEET 4.
- NEW MONUMENT SIGN. SEE ELEVATIONS SHEET 4.
- EXISTING FIRE HYDRANT TO REMAIN.
- PRECAST CONCRETE BENCH SEAT WITH INTEGRAL COLOR.
- BRICK VENEER TECHNICALLY FASTENED TO CMU. COLOR TO MATCH BUILDING.
- 6" CMU SUBSTRATE. GROUT ALL CELLS SOLID.
- 12" EXPANSION JOINT MATERIAL.
- 4" TC CONCRETE SIDEWALK.
- WATERPROOFING AS SPECIFIED.



NOTE:
LIGHTING PROVIDED ON THE SITE AND BUILDING FACADES SHALL BE ADJUSTABLE AND ANGLED TO BE NON-INTRUSIVE INTO ADJACENT AREAS.
PHOTOMETRIC SITE PLAN TO BE PROVIDED AND APPROVED PRIOR TO ISSUE OF BUILDING PERMIT.

LIGHTING DETAIL



PROJECT NUMBER: 1000399
APPLICATION NUMBER: 04DRB-01192

Is an Infrastructure List required? () Yes ☒ No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic/Engineering/Transportation Division
Utilities Department
Parks and Recreation Department
City Engineer
N/A
Environmental Health Department (conditional)
Solid Waste Department
DRB Chairperson, Planning Department

9-13-04
8-11-04
8/11/04
8/11/04
9-20-04
9/27/04

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ARCHITECTS • PLANNERS
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(505) 243-7492 fax (505) 243-1106
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UROLOGY NETWORK OF NEW MEXICO
LOMAS AT BROADWAY NE
Albuquerque, New Mexico

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HYDROLOGY SECTION