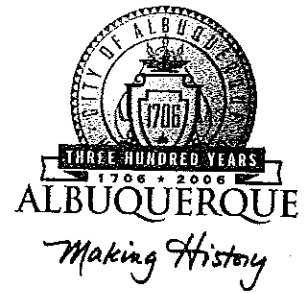


CITY OF ALBUQUERQUE



October 12, 2004

Lyle Losack, P.E.
Quik Draw
P.O. Box 729
Corrales, NM 82048

**Re: Funnel Cake Building, 1622 2nd Street NW, Grading and Drainage Plan
Engineer's Stamp dated 9-27-04 (J14-D151)**

Dear Mr. Losack,

Based upon the information provided in your submittal received 9-29-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: File

5-14/D151

PROJECT TITLE: FUNNEL CAKES ZONE MAP/DRG. FILE #: J-14
 DB #: _____ EPC#: _____ WORK ORDER#: _____

GAL DESCRIPTION: _____
 CITY ADDRESS: 1622 2nd Street

ENGINEERING FIRM: QUICK DRAW
 ADDRESS: PO BOX 224
 CITY, STATE: CORRALES, NM

CONTACT: Lyle
 PHONE: 898-0389
 ZIP CODE: 87048

OWNER: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

ARCHITECT: QUICK DRAW
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

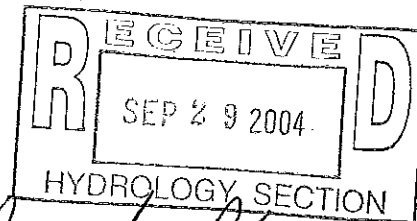
- ☒ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR EROSION APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

Resubmittal

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



SUBMITTED: 7/29/04 BY: Lyle C. Lrad PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or subdivisions for other uses.

DRAINAGE REPORT

FOR

FUNNEL CAKES

Prepared By:

QuikDraw Engineering/Design

Post Office Box 729

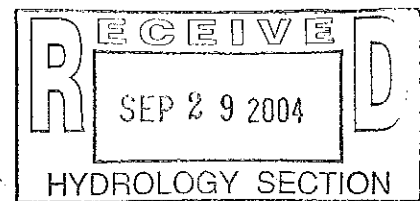
Corrales, New Mexico 87048

Phone: 505-898-0389

FAX: 505-897-0389 FAX

E-Mail: quikdrawengr@aol.com

Job: Funnel Cakes



Lyle C. Losack P.E.
Lyle C. Losack, P.E. 9/27/04

Table of Contents

1.	Purpose and Scope	1
2.	Site Description/Existing Drainage Conditions	1
3.	Design Criteria/Land Treatments	1
4.	Drainage Management Plan	2
5.	Conclusion	2

Appendix A

Zone Atlas Maps/Adjacent Development Map/Vicinity Map
Firm Map

Appendix B

Existing Condition Calculations
Ultimate Condition Calculations

1. Purpose and Scope

This parcel is proposed to be developed as a warehouse for a Funnel Cake business.

This report presents an overall drainage management plan for approval by the City of Albuquerque in order that the subsequent development may proceed.

2. Site Description/Existing Drainage Conditions

This development is located off 2nd Street @ # _____. It is bounded by commercial lots to the North, & South and East. The North lot is separated by a CMU wall & the South lot is separated by chain link fence. The East lot is separated by 1/2 CMU & 1/2 chain link.

There are no existing offsite flows that impact this site. Drainage from 2nd Street goes to drop inlets, drainage to the North and South go to 2nd Street. The lot to the East drains to 1st Street. In addition, the existing flows from the proposed site presently drain to 2nd Street and then flow to existing storm drains.

3. Design Criteria/Land Treatments

The drainage plan presented in this report has been prepared in accordance with the City of Albuquerque Drainage Ordinances and Chapter 22 of the Development Process Manual (DPM).

Rainfall intensities per this report are as follows:

Zone	P ₆₀	P ₃₆₀	P ₁₄₄₀
2	2/01	2.35	2.75

Land Treatment (DPM Pg 22-11) Multiple Unit Attached

Treatment Type	A	B	C	D
Commercial	0	15	10	90

Total drainage area for the warehouse is .17 acres. (The C-2 zoning is to be graded and bermed to insure drainage continues to drain to 2nd Street (as it does presently).

4. Drainage Management Plan

As the calculations in the Appendix show, the existing flow coming off the site is 0.47 cfs and the proposed flow is 0.8 cfs — a 0.33 cfs increase.

5. Conclusion

Per the overall plan, no adverse downstream impact will result from this development. The proposed system will improve the local drainage situation for this lot. Any storm event in excess of the 100-year, 6-hour storm will also go to 2nd Street & drain to existing inlets.

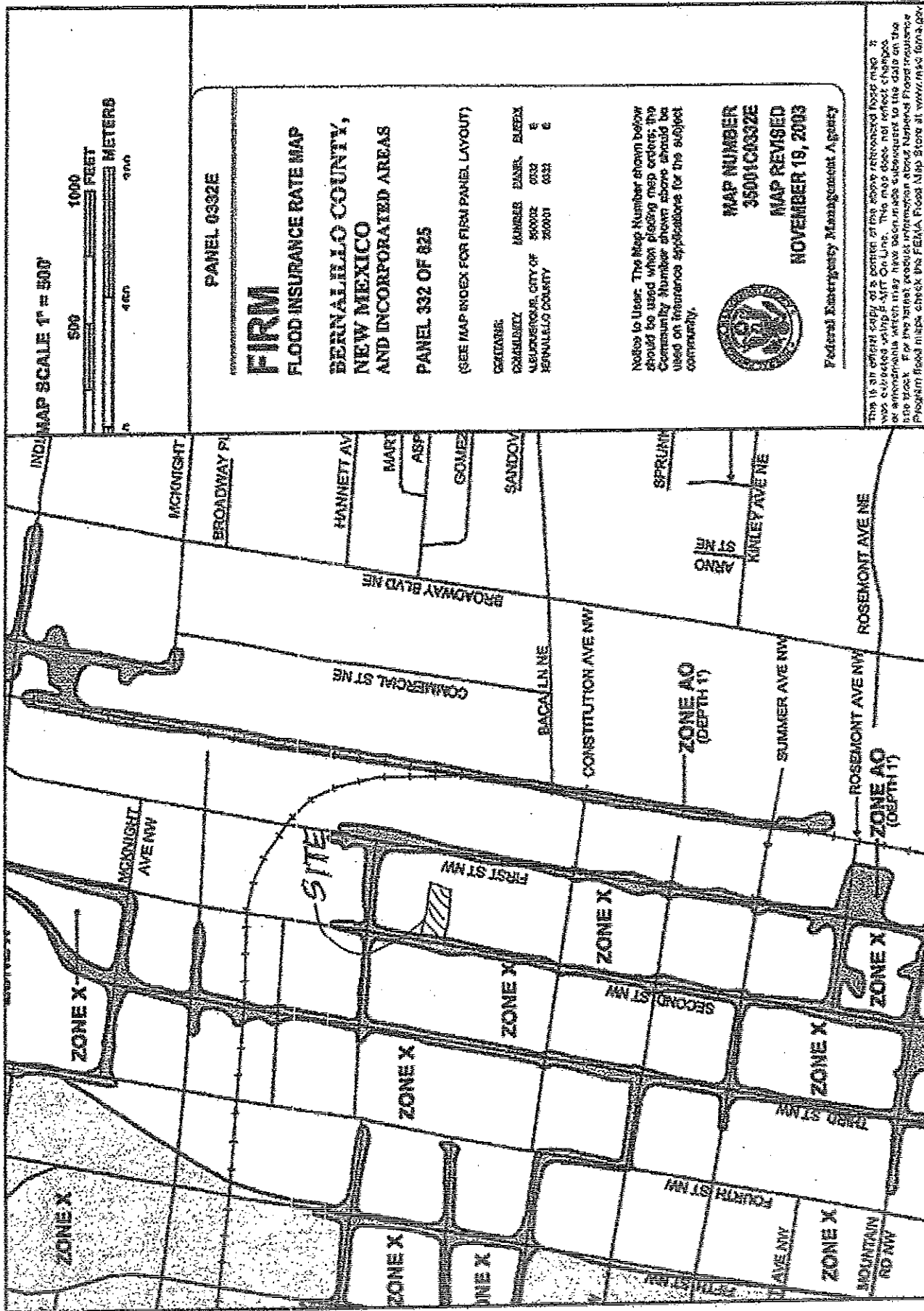
STEFAN AV / **E-MAIL** 2000 1700 1700

~~IS 089~~

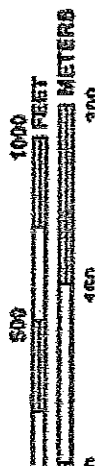
2ND ST

15151

7115



IND. MAP SCALE 1" = 500'



PANEL 0332E

FIRM

FLOOD INSURANCE RATE MAP

BERNALILLO COUNTY,
NEW MEXICO
AND INCORPORATED AREAS

PANEL 332 OF 825

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

COMMUNITY NUMBER PANEL ELEVATION
ALBUQUERQUE, CITY OF 50002 0032 E
BERNALILLO COUNTY 20001 0033 E

Notices to Users: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.



MAP NUMBER
3501C0332E
MAP REVISED
NOVEMBER 19, 2003

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using a "Print On Line" tool. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps, check the FEMA Flood Map Store at www.fema.gov.


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*                               100EXIST6
*                               *****
*                               *Funnel Cakes
*                               *100 YEAR 6 HOUR EXIST CONDITIONS
*                               *****
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ADVICE

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*FUNNEL CAKES

*100 YEAR 6 HOUR PROP CONDITIONS

PART
RAINFALL

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- VERSION: 1997.02d

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USER NO. = AHYMO-1-9702001000X43-AH

COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID NO.	TO ID NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE = 1
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