

# CITY OF ALBUQUERQUE



September 2, 2008

Dennis Blanford  
**DAB Enterprises**  
5317 Marble NE  
Albuquerque, NM 87110

**Re: Funnel Cake Building, 1622 2<sup>nd</sup> Street NW,  
(J-14/D151)  
Approval of Permanent Certificate of Occupancy,  
Engineer's Stamp Dated: 9-27-04**

Mr. Blanford:

PO Box 1293

Based upon the information provided by our visual inspection on 9/02/08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

Sincerely,

Timothy Sims  
Plan Checker-Hydrology, Planning Dept  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: CO Clerk—Katrina Sigala  
file

# CITY OF ALBUQUERQUE



September 2, 2008

Dennis Blanford  
**DAB Enterprises**  
5317 Marble NE  
Albuquerque, NM 87110

**Re: Funnel Cake Building, 1622 2<sup>nd</sup> Street NW,  
(J-14/D151)**

**Approval of Permanent Certificate of Occupancy,  
Engineer's Stamp Dated: 9-27-04**

Mr. Blanford:

PO Box 1293

Based upon the information provided by our visual inspection on 9/02/08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

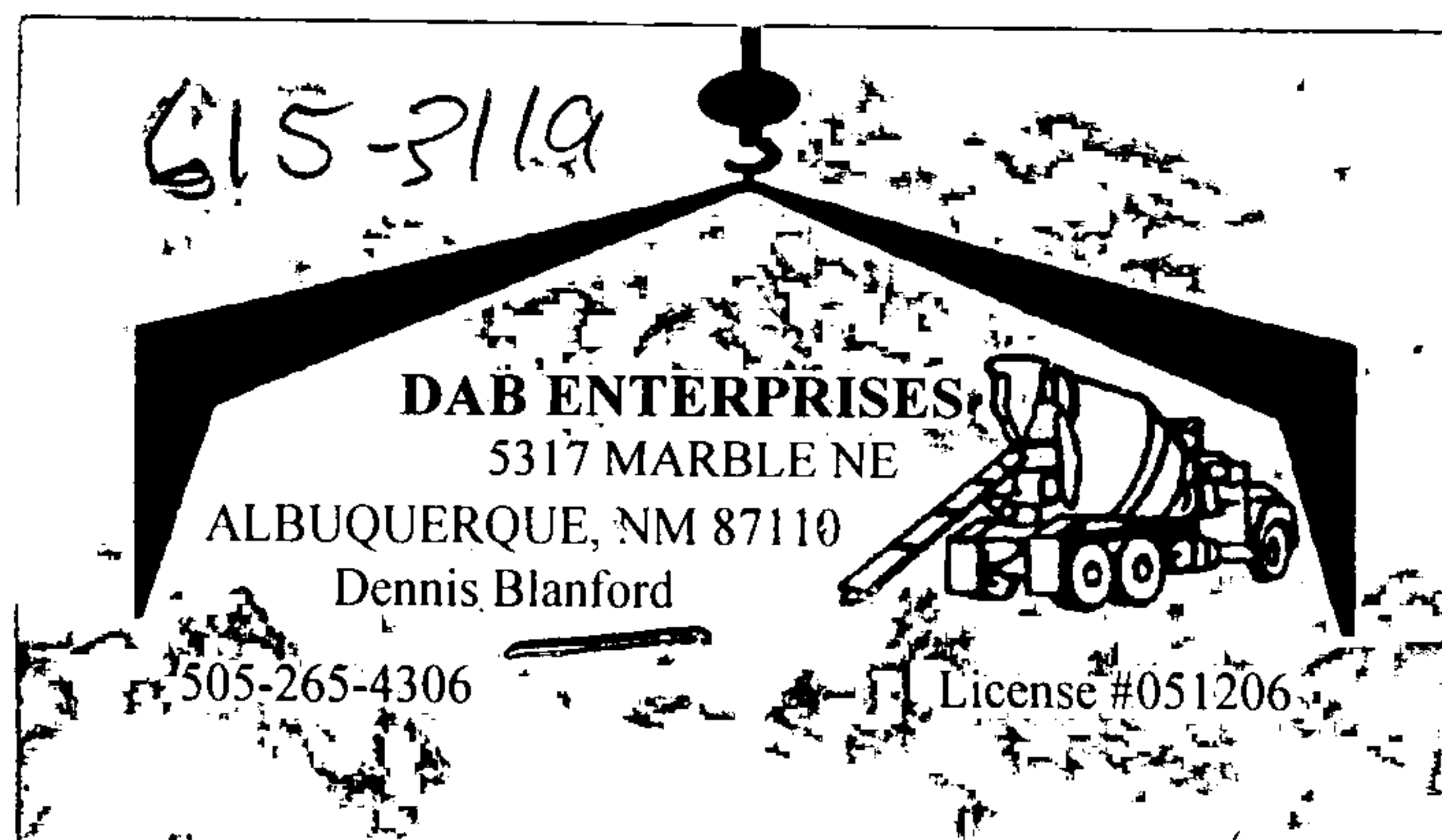
NM 87103

Sincerely,

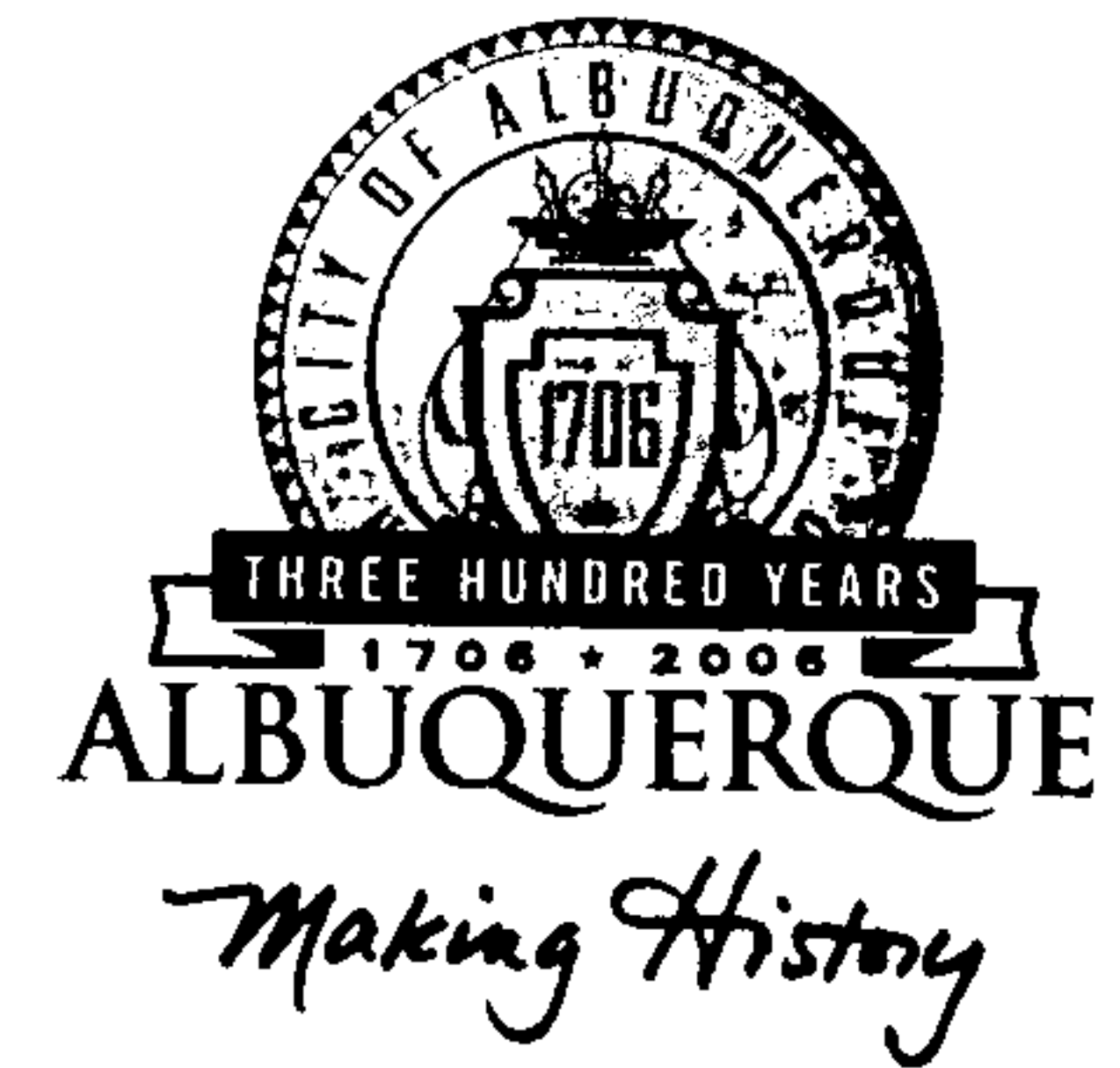
Timothy Sims  
Plan Checker-Hydrology, Planning Dept  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: CO Clerk—Katrina Sigala  
file



# CITY OF ALBUQUERQUE



October 12, 2004

Lyle Losack, P.E.  
Quik Draw  
P.O. Box 729  
Corrales, NM 82048

**Re: Funnel Cake Building, 1622 2nd Street NW, Grading and Drainage Plan  
Engineer's Stamp dated 9-27-04 (J14-D151)**

Dear Mr. Losack,

Based upon the information provided in your submittal received 9-29-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

C: File

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



DRAINAGE AND TRANSPORTATION INFORMATION SHEET  
 (REV. 1/28/2003rd)

J-14/D151

PROJECT TITLE: FUNNEL CAKES ZONE MAP/DRG. FILE #: J-14  
 JOB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

GENERAL DESCRIPTION: \_\_\_\_\_  
 PROPERTY ADDRESS: 1622 2nd Street

ENGINEERING FIRM: QUICK DRAW  
 ADDRESS: PO BOX 229  
 CITY, STATE: CORRIENTES, NM

CONTACT: hyle  
 PHONE: 898-0389  
 ZIP CODE: 87048

ARCHITECT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

ARCHITECT: QUICK DRAW  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

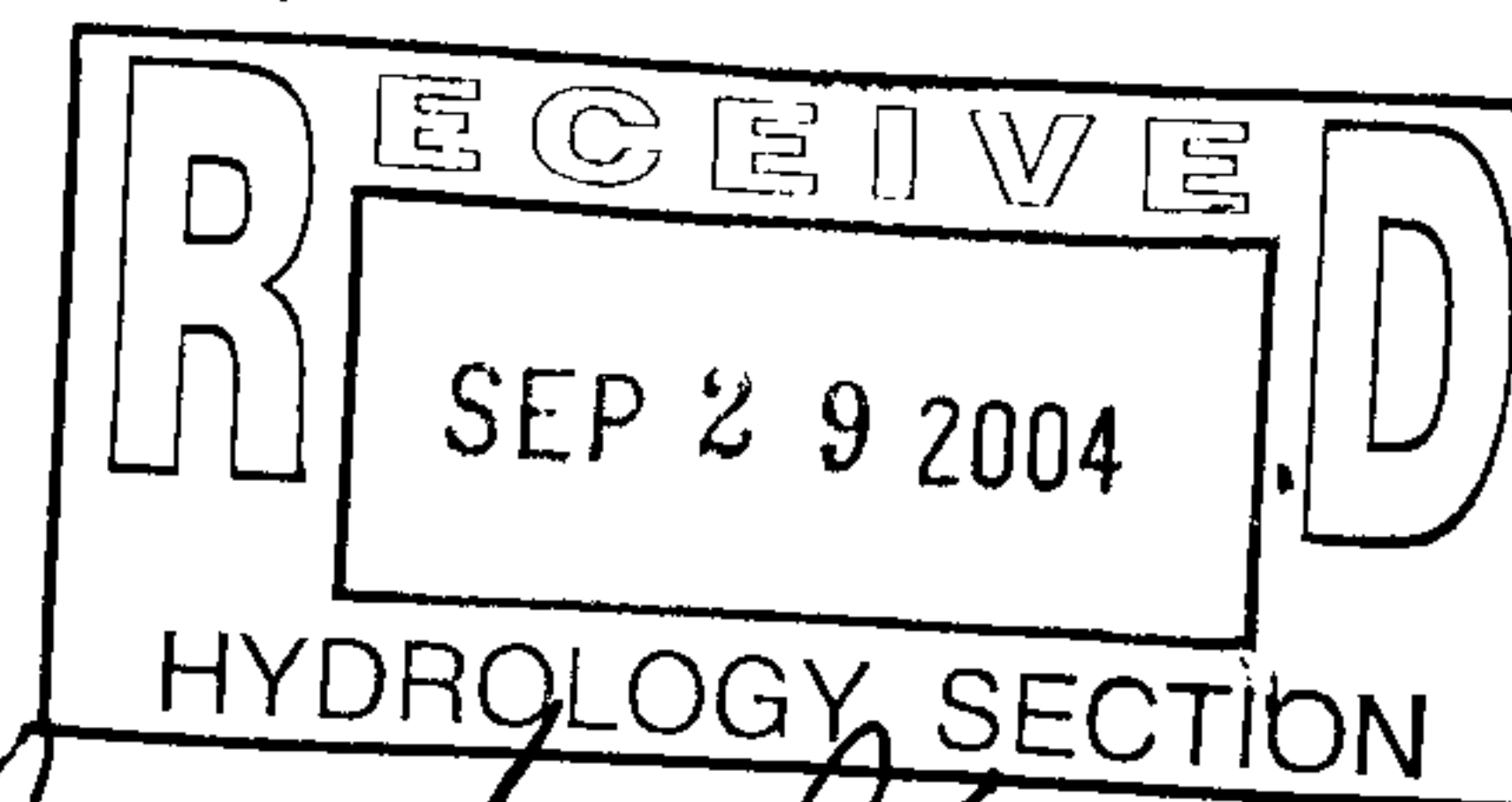
- ☒ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, REQUIRES TCL or equal  
☒ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERTIFICATION (TCL)  
☐ ENGINEER'S CERTIFICATION (DRB APPL. SITE PLAN)  
☐ OTHER

- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR BLDG. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

IS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

(Resubmittal)



DATE SUBMITTED: 7/29/04 BY: Lyle C. Israel PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or subdivisions less than ten (10) lots.

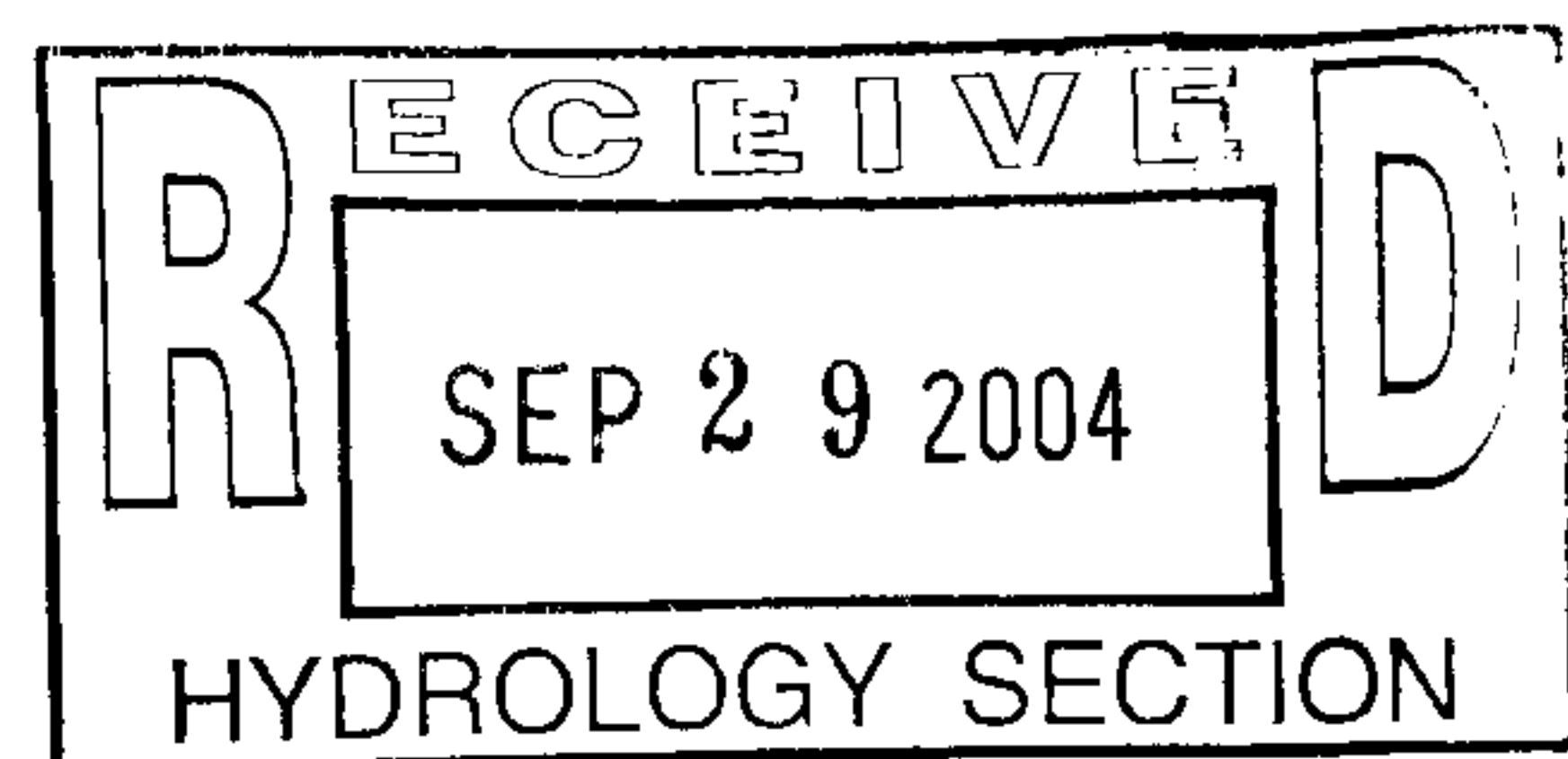
# DRAINAGE REPORT

## FOR

### FUNNEL CAKES

Prepared By:

QuikDraw Engineering/Design  
Post Office Box 729  
Corrales, New Mexico 87048  
Phone: 505-898-0389  
FAX: 505-897-0389 FAX  
E-Mail: quikdrawengr@aol.com  
Job: Funnel Cakes



*Lyle C. Losack P.E.*  
Lyle C. Losack, P.E. 9/27/04

**Table of Contents**

1. Purpose and Scope ..... 1

2. Site Description/Existing Drainage Conditions ..... 1

3. Design Criteria/Land Treatments ..... 1

4. Drainage Management Plan ..... 2

5. Conclusion ..... 2

Appendix A  
Zone Atlas Maps/Adjacent Development Map/Vicinity Map  
Firm Map

Appendix B  
Existing Condition Calculations  
Ultimate Condition Calculations

## 1. Purpose and Scope

This parcel is proposed to be developed as a warehouse for a Funnel Cake business.

This report presents an overall drainage management plan for approval by the City of Albuquerque in order that the subsequent development may proceed.

## 2. Site Description/Existing Drainage Conditions

~~This development is located off 2nd Street @ # \_\_\_\_\_~~ It is bounded by commercial lots to the North, & South and East. The North lot is separated by a CMU wall & the South lot is separated by chain link fence. The East lot is separated by 1/2 CMU & 1/2 chain link.

There are ~~no existing offsite flows~~ that impact this site. Drainage from 2<sup>nd</sup> Street goes to drop inlets, drainage to the North and South go to 2<sup>nd</sup> Street. The lot to the East drains to 1<sup>st</sup> Street. In addition, the ~~existing flows from the proposed site presently drain to 2<sup>nd</sup> Street and then flow to existing storm drains.~~

## 3. Design Criteria/Land Treatments

The drainage plan presented in this report has been prepared in accordance with the City of Albuquerque Drainage Ordinances and Chapter 22 of the Development Process Manual (DPM).

Rainfall intensities per this report are as follows:

Zone	P <sub>60</sub>	P <sub>360</sub>	P <sub>1440</sub>
2	2/01	2.35	2.75

Land Treatment (DPM Pg 22-11) Multiple Unit Attached

Treatment Type	A	B	C	D
Commercial	0	15	10	90

Total drainage area for the warehouse is .17 acres. (The C-2 zoning is to be graded and bermed to insure drainage continues to drain to 2nd Street (as it does presently).

#### **4. Drainage Management Plan**

As the calculations in the Appendix show, the existing flow coming off the site is 0.47 cfs and the proposed flow is 0.8 cfs ~~—(a 0.33 cfs increase.)~~

#### **5. Conclusion**

Per the overall plan, no adverse downstream impact will result from this development. The proposed system will improve the local drainage situation for this lot. Any storm event in excess of the 100-year, 6-hour storm will also go to 2<sup>nd</sup> Street & drain to existing inlets.



ASPEN AV

1600 1610 1620 1630 1640 1650 1660 1670 1680 1690 1700

3

3RD ST

1524

1645

1645

1645

1645

1645

1600

1524

1524

1522

1522

1516

1514

1512

1510

1510

1508

1508

1507

1506

1506

1500

1623

1623

1619

1619

1619

1613

1609

1609

1607

1607

1607

1601

1601

1601

2ND ST

SITE

1623

1628

1624

1624

1622

1622

1618

1618

1612

1621

1619

1619

1617

1617

1613

1613

1613

1613

1611

1611

1607

1607

1605

1605

1600

1600

1600

1600

1600

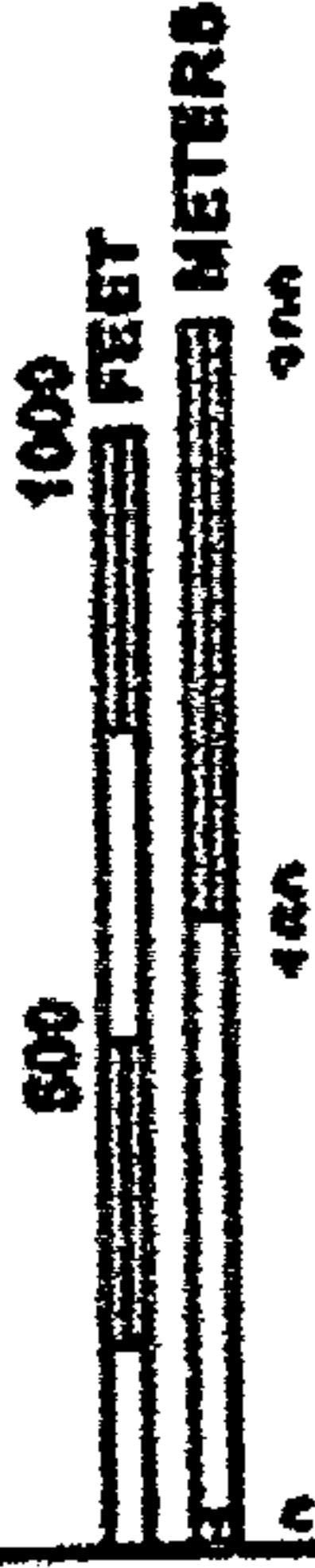
1ST ST

16

1600

J-14

INDU MAP SCALE 1" = 500'



PANEL 0332E

# FIRM

FLOOD INSURANCE RATE MAP

BERNALILLO COUNTY,  
NEW MEXICO  
AND INCORPORATED AREAS

PANEL 332 OF 825

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

COMMUNITY: ALBUQUERQUE, CITY OF  
FIRM NUMBER: 350001  
FIRM PANEL: 0332  
FIRM SHEET: 8

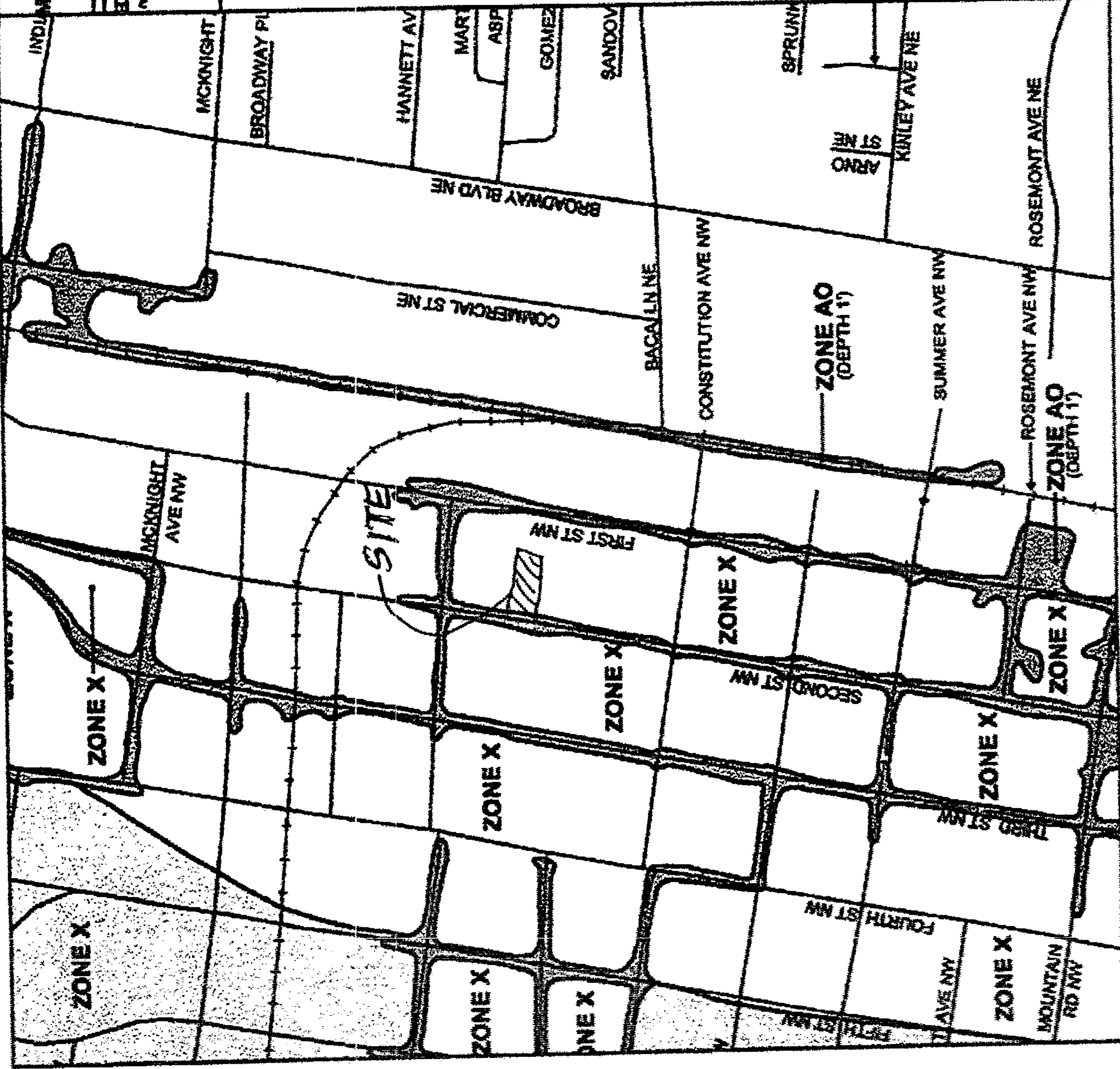
Notes to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.



MAP NUMBER  
35001C0332E  
MAP REVISED  
NOVEMBER 19, 2003

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using a JST On Line. This map does not reflect changes or amendments which may have been made subsequent to the data on the map. For the latest product information about National Flood Insurance Program flood maps, check the FEMA Flood Map Store at [www.fema.gov](http://www.fema.gov).



100EXISTS

```
*
*
*
*
START      TIME=0.0 HR PUNCH CODE=0 PRINT LINES=-6
RAINFALL   TYPE=1 RAIN QUARTER=0.0
           RAIN ONE=2.01 IN RAIN SIX=2.35 IN
           RAIN DAY=2.75 IN DT=0.0333 HRS
COMPUTE NM HYD ID=2 HYD NO=D2 DA=0.00027 SQ MI
           PER A=0 PER B=50 PER C=50 PER D=0
           TP=-0.1333 HR MASS RAIN=-1
PRINT HYD  ID=1 CODE=1
FINISH
```

](\$16.67h8.5vOT[&18D

AHYMO PROGRAM SUMMARY TABLE (AHYMO\_97) -  
INPUT FILE = C:\QDEPRO-4\DAB-IN-1\100EXI-1.TXT

- VERSION: 1997.02d

RUN DATE (MON/DAY/YR) =09/28/2004  
USER NO.= AHYMO-I-9702c01000X43-AH

COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID NO.	TO ID NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE = 1 NOTATION
START										TIME= .00
RAINFALL TYPE= 1										RAIN6= 2.350
COMPUTE NM HYD	D2	-	2	.00027	.47	.013	.93675	1.499	2.738	PER IMP= .00
FINISH										

[(\$0p10h4089T[&18D



\*\*\*\*\*

\*FUNNEL CAKES

\*100 YEAR 6 HOUR PROP CONDITIONS

\*\*\*\*\*

TIME=0.0 HR PUNCH CODE=0 PRINT LINES=-6

TYPE=1 RAIN QUARTER=0.0

RAIN ONE=2.01 IN RAIN SIX=2.35 IN

RAIN DAY=2.75 IN DT=0.0333 HRS

\*\*\*\*\*

ID=1 HYD NO=D1 DA=0.00027 SQ MI

PER A=0 PER B=0 PER C=10 PER D=90

TP=-0.1333 HR MASS RAIN=-1

\*\*\*\*\*

ID=1 CODE=1

PART  
AINFALL

JMPUTE NM HYD

PRINT HYD  
FINISH



J(818.67h8.5vOTQ&18D

AHYMO PROGRAM SUMMARY TABLE (AHYMO\_97)

INPUT FILE = C:\ODEPRO-4\DA8-IN-1\100PROPO6.TXT

VERSION: 1997.02d

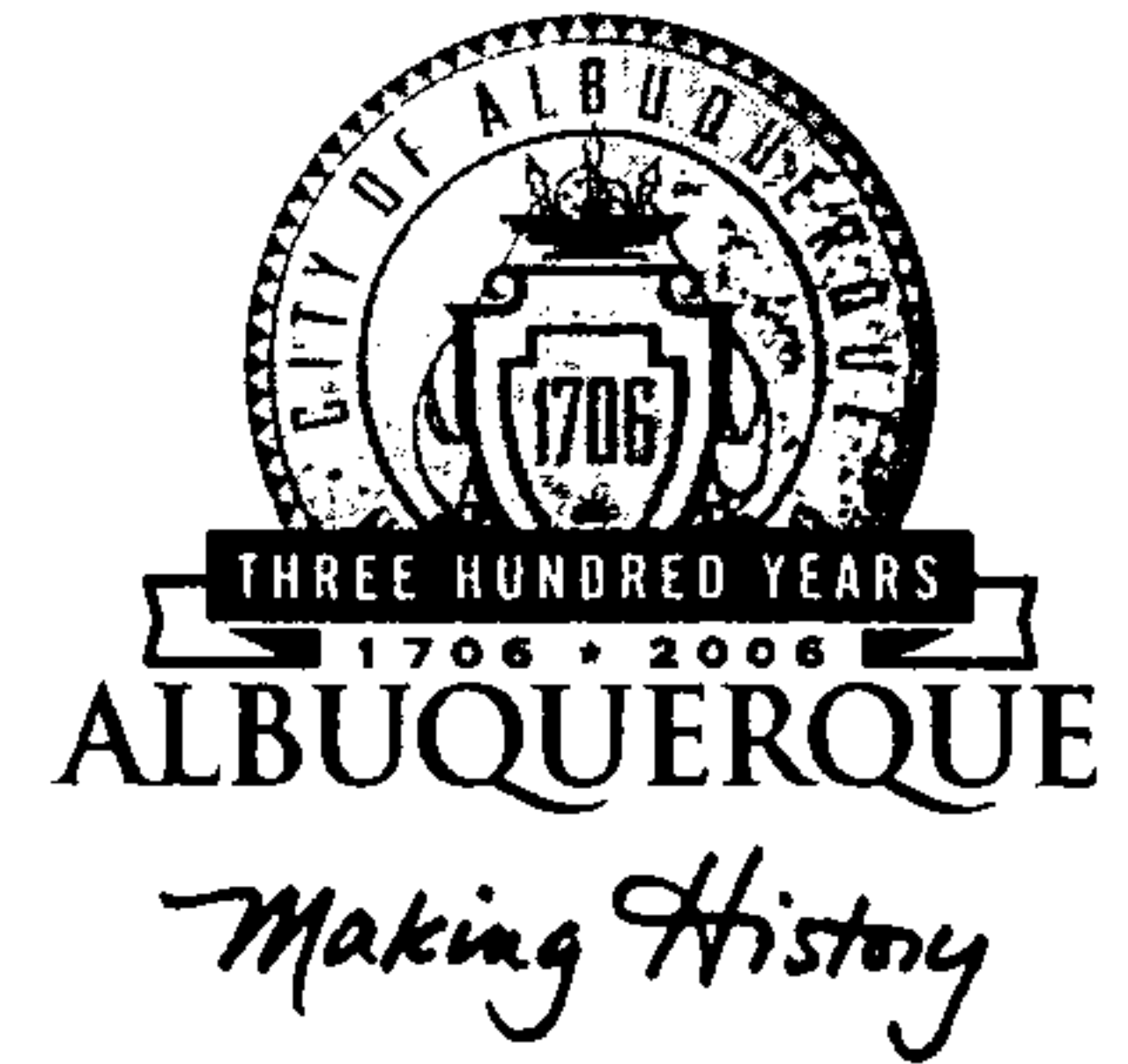
RUN DATE (MON/DAY/YR) = 09/28/2004  
USER NO. = AHYMO-1-9702001000X43-AH

COMMAND	IDENTIFICATION	FROM ID NO.	TO ID NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE = 1	NOTATION
---------	----------------	-------------	-----------	--------------	----------------------	-----------------------	-----------------	----------------------	--------------	----------	----------

START											
RAINFALL	TYPE = 1										TIME = .00
COMPUTE NM HYD		D1	1	.00027	.80	.029	2.01658	1.489	4.637		RAIN8 = 2.350
FINISH											PER IMP = 80.00

Q(s0p10h4099TQ&18D

# CITY OF ALBUQUERQUE



September 16, 2004

Lyle Losack, P.E.  
Quik Draw  
P.O. Box 729  
Corrales, NM 82048

**Re: Funnel Cake Building, 1622 2<sup>nd</sup> Street NW, Grading and Drainage Plan  
Engineer's Stamp dated 9-14-04 (J14-D151)**

Dear Mr. Losack,

Based upon the information provided in your submittal received 9-14-04, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

1. The check list shown in Chapter 22, Section 7 of the City of Albuquerque Development Process Manual requires existing and proposed contours to be shown. These contours can be given by contour lines or spot elevations. These elevations must extend a minimum of 25 feet past the site.
2. Address offsite flow.
3. Please provide a swale detail.
4. Define the proximity of the site to any flood hazard zones.
5. Provide a vicinity map.
6. Give both existing and proposed conditions of the site (flow direction, calculated flow vales, etc.).
7. What is the finished floor elevation of the warehouse?

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Principal Engineer, Planning Dept.  
Development and Building Services

C: File

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV. 1/28/2003rd)

OBJECT TITLE: FUNNEL CAKES BLDG ZONE MAP/DRG. FILE #: \_\_\_\_\_  
B #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

SAL DESCRIPTION: LOT 13-14 BLK-7 OF BRIGHTWOOD ADDITION ALB, NM PLAT-A, FOLIO-14  
Y ADDRESS: 1622 2ND STREET NW ALBQ, NM

ENGINEERING FIRM: QUICK DRAW  
ADDRESS: PO BOX 229  
CITY, STATE: CORRAL VALLES, NM

CONTACT: hyle hosack  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

OWNER: FRED  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: FRED  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

INSPECTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: DAB ENTERPRISES  
ADDRESS: 5317 MARBLE AVE  
CITY, STATE: ALBQ, NM

CONTACT: DBAUMS  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, REQUIRES TCL or equal
- ☒ DRAINAGE PLAN SUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRS APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUBD. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER (SPECIFY) \_\_\_\_\_

IS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

POT DEVELOPED  
INFO AN DRWG, SINCE THIS  
IS IN FILL PROJECT

DATE SUBMITTED: 9/14/04 BY: Ryle Hosack PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or containing less than five (5) acres.

No Elevations!

Swale Detail

What is currently on the site?

Does all flow drain to street?

Finish Floor Elevation

1100 Marconi to Jaffa



Part/Zoom

x,y: 3,61713,5,42569  
dx,dy: -0,11073,3,14961

dist: 3,15155





dist: 1.61664

x,y: 4.53986,2.47293

dist: 1.61664

