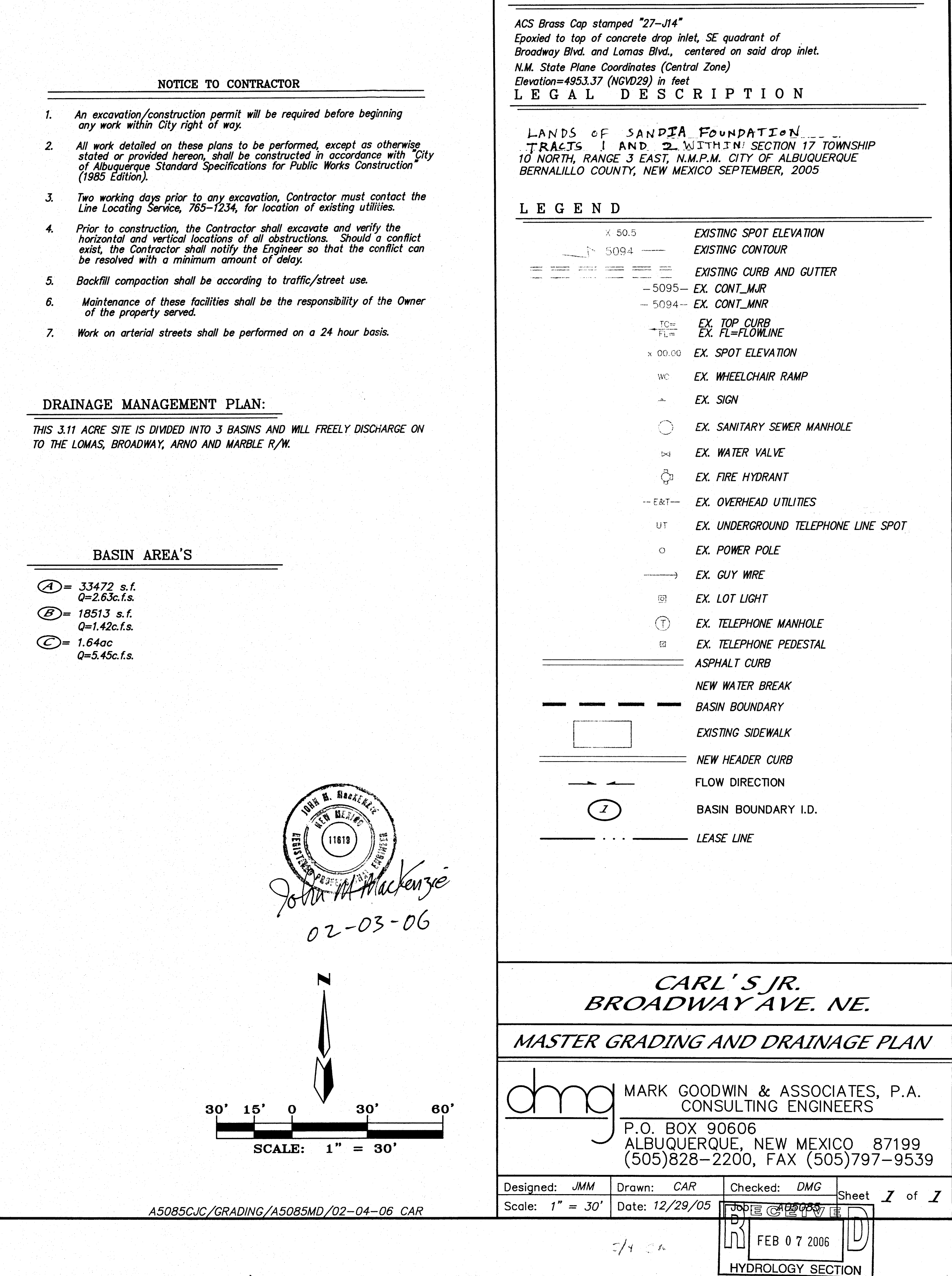
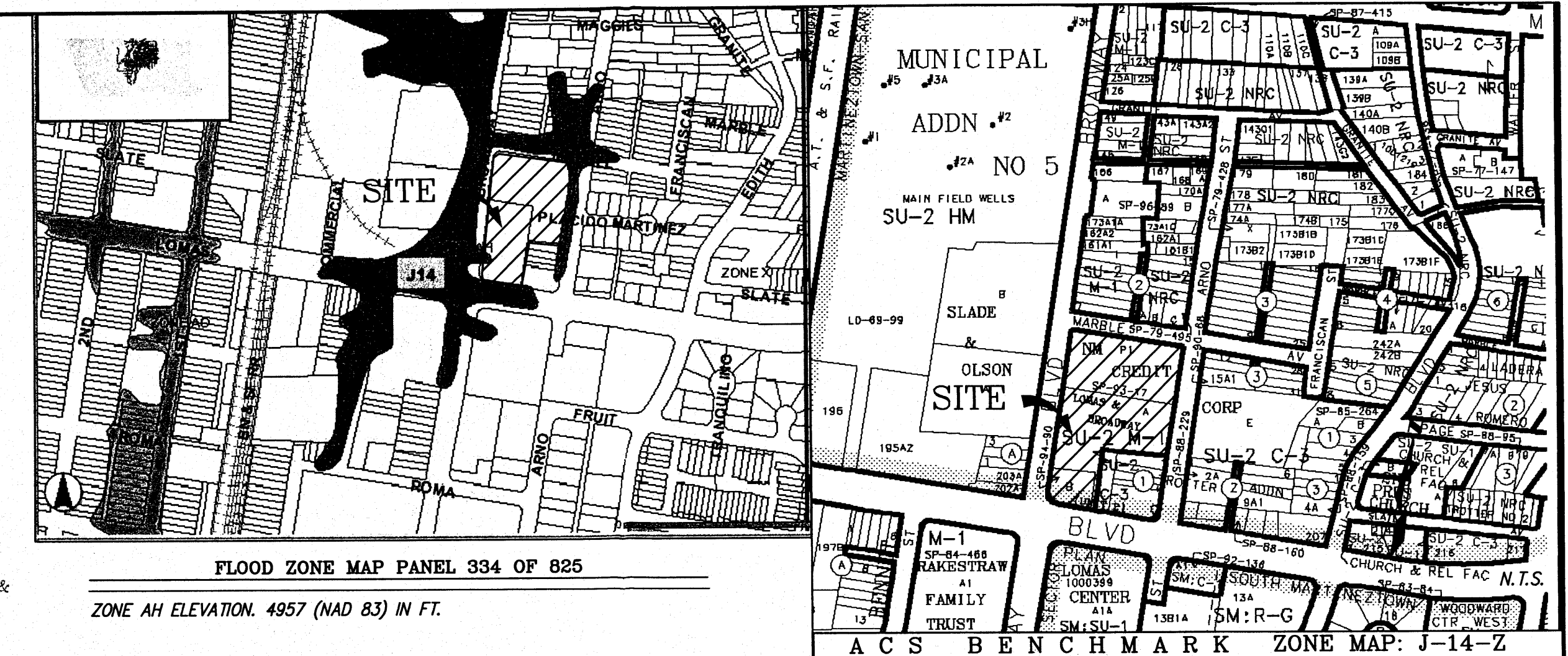
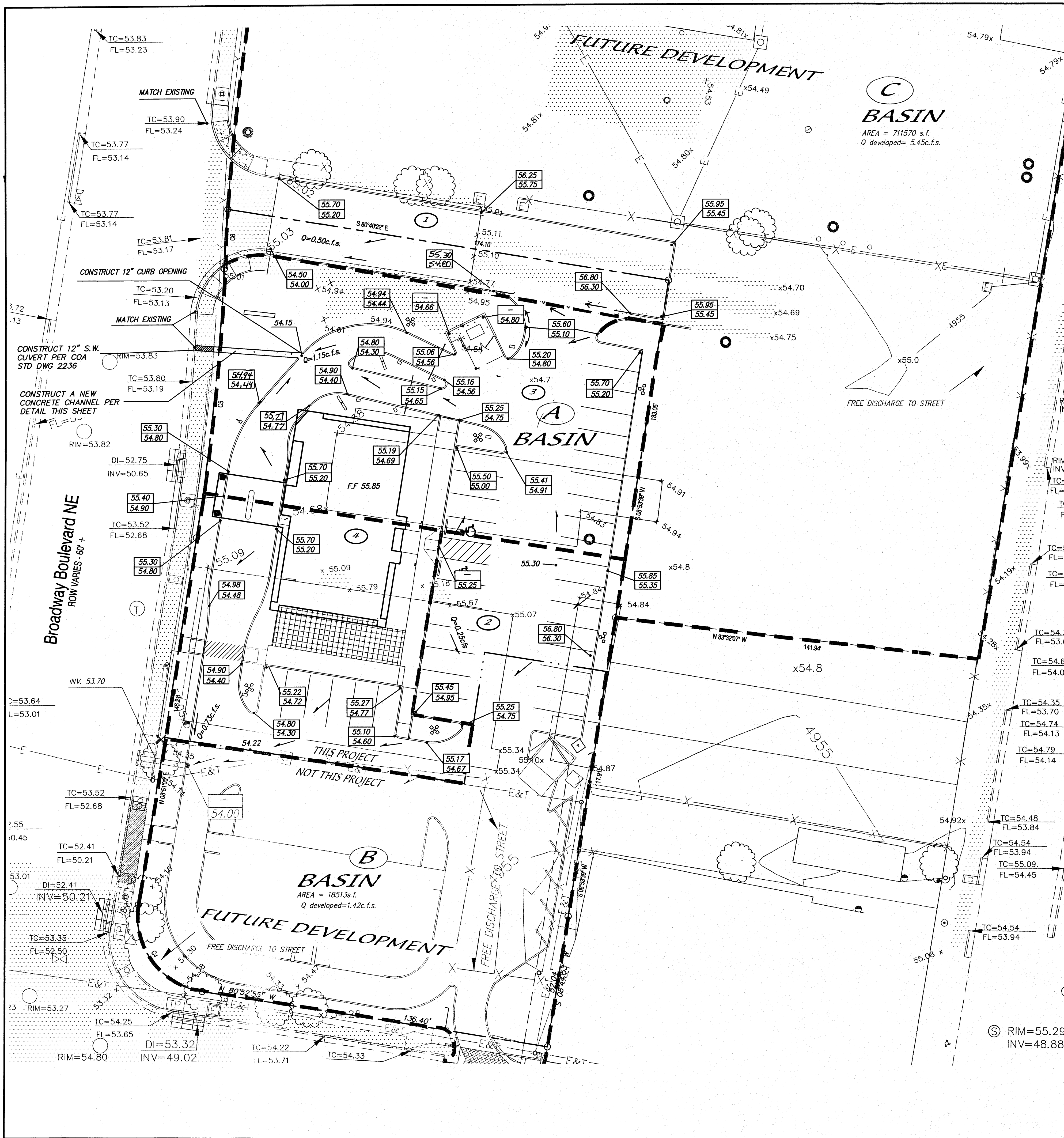


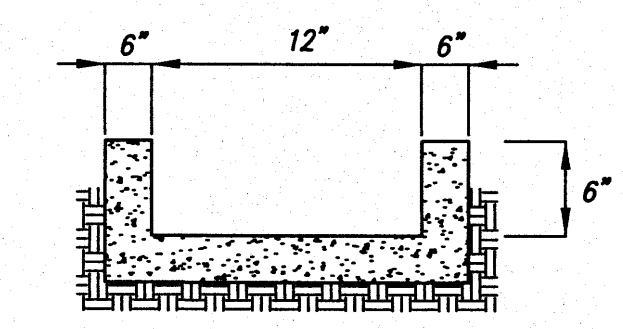




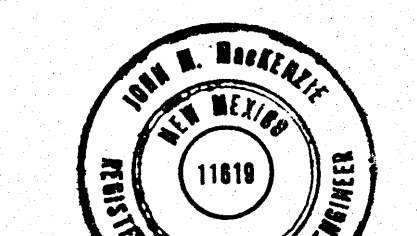
FLOOD ZONE MAP PANEL 334 OF 825
ZONE AH ELEVATION: 4957 (NAD 83) IN FT.

- NOTICE TO CONTRACTOR**
1. An excavation/construction permit will be required before beginning any work within City right of way.
 2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with "City of Albuquerque Standard Specifications for Public Works Construction" (1985 Edition).
 3. Two working days prior to any excavation, Contractor must contact the Line Locating Service, 765-1234, for location of existing utilities.
 4. Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
 5. Backfill compaction shall be according to traffic/street use.
 6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.
 7. Work on arterial streets shall be performed on a 24 hour basis.

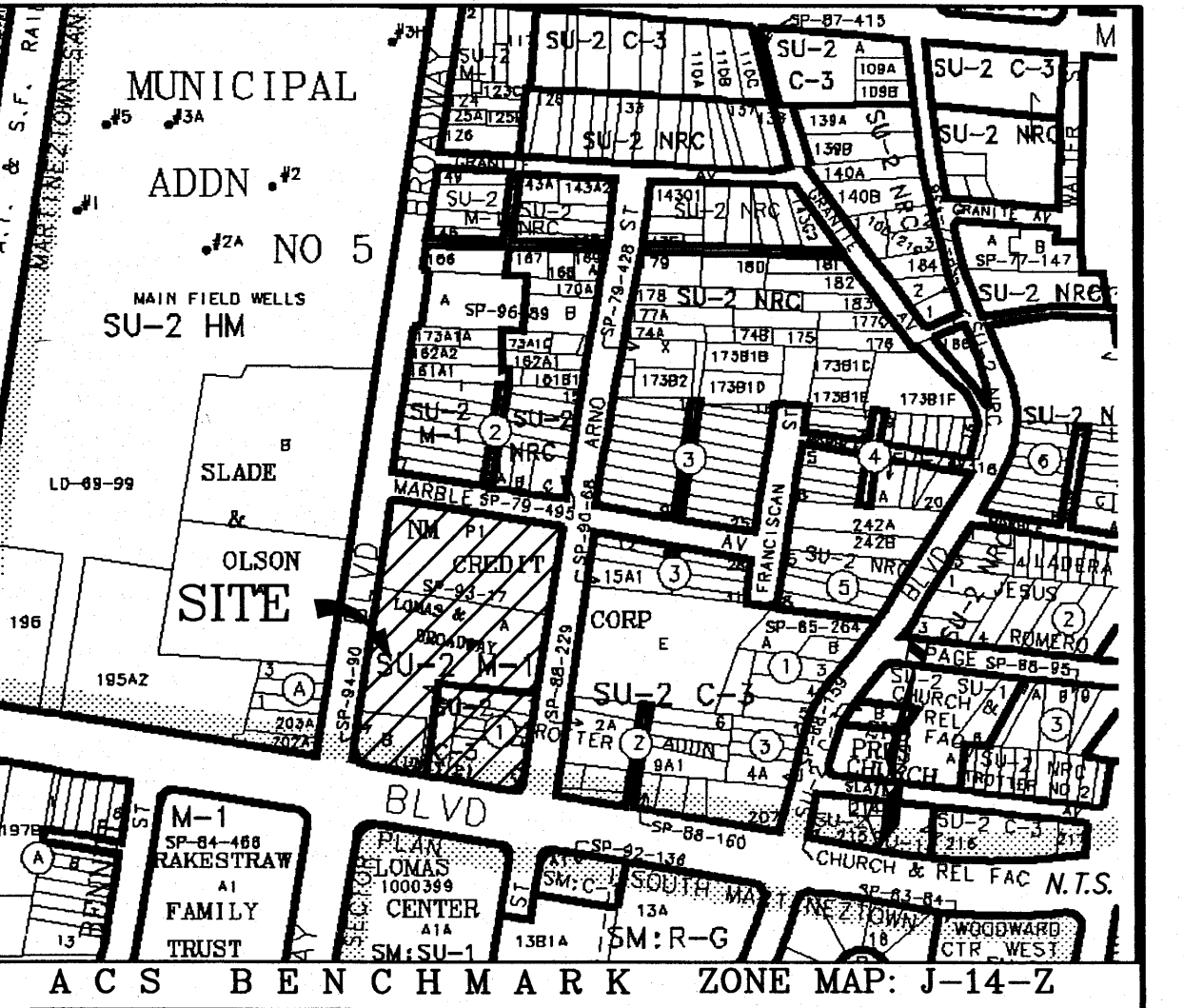
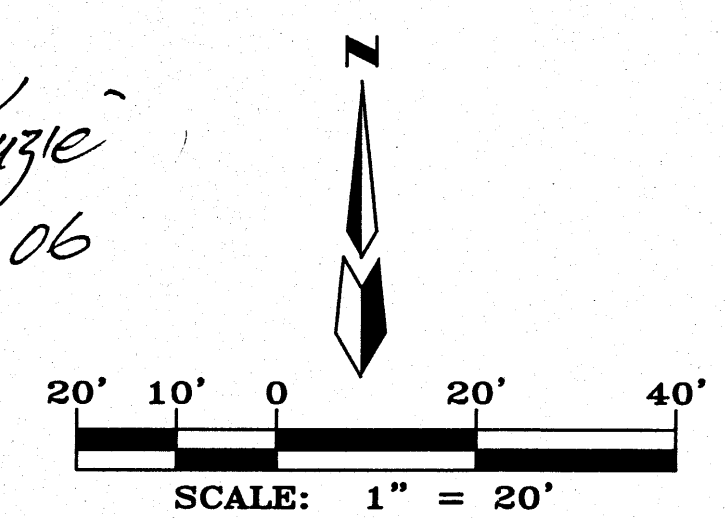
- BASIN AREA'S**
- (A) AREA: 5957.20 s.f.
Q=0.50c.f.s.
 - (B) AREA: 18513 s.f.
Q developed=1.42c.f.s.
 - (C) AREA: 711570 s.f.
Q developed= 5.45c.f.s.



DETAIL OF CONCRETE CHANNEL
NOT TO SCALE



John Mackenzie
02-07-06



ACS Brass Cap stamped "27-J14"
Epoxied to top of concrete drop inlet, SE quadrant of Broadway Blvd. and Lomas Blvd., centered on said drop inlet.
N.M. State Plane Coordinates (Central Zone)
Elevation=4953.37 (NGVD29) in feet
LEGAL DESCRIPTION

LANDS OF SANDIA FOUNDATION TRACTS 1 AND 2 WITHIN SECTION 17 TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M. CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO SEPTEMBER, 2005

- LEGEND**
- 50.5 EXISTING SPOT ELEVATION
 - 5094 EXISTING CONTOUR
 - EXISTING CURB AND GUTTER
 - EX. CONT_MJR
 - EX. CONT_MNR
 - EX. TOP CURB
 - EX. FL=FLOWLINE
 - EX. SPOT ELEVATION
 - EX. WHEELCHAIR RAMP
 - EX. SIGN
 - EX. SANITARY SEWER MANHOLE
 - EX. WATER VALVE
 - EX. FIRE HYDRANT
 - EX. OVERHEAD UTILITIES
 - EX. UNDERGROUND TELEPHONE LINE SPOT
 - EX. POWER POLE
 - EX. GUY WIRE
 - EX. LOT LIGHT
 - EX. TELEPHONE MANHOLE
 - EX. TELEPHONE PEDESTAL
 - ASPHALT CURB
 - NEW WATER BREAK
 - BASIN BOUNDARY
 - EXISTING SIDEWALK
 - NEW HEADER CURB
 - PROPERTY LINE
 - PROPOSED SPOT ELEVATION
 - FINISHED FLOOR
 - FLOW DIRECTION
 - NEW SPOT ELEVATION
 - BASIN I.D.
 - LEASE LINE

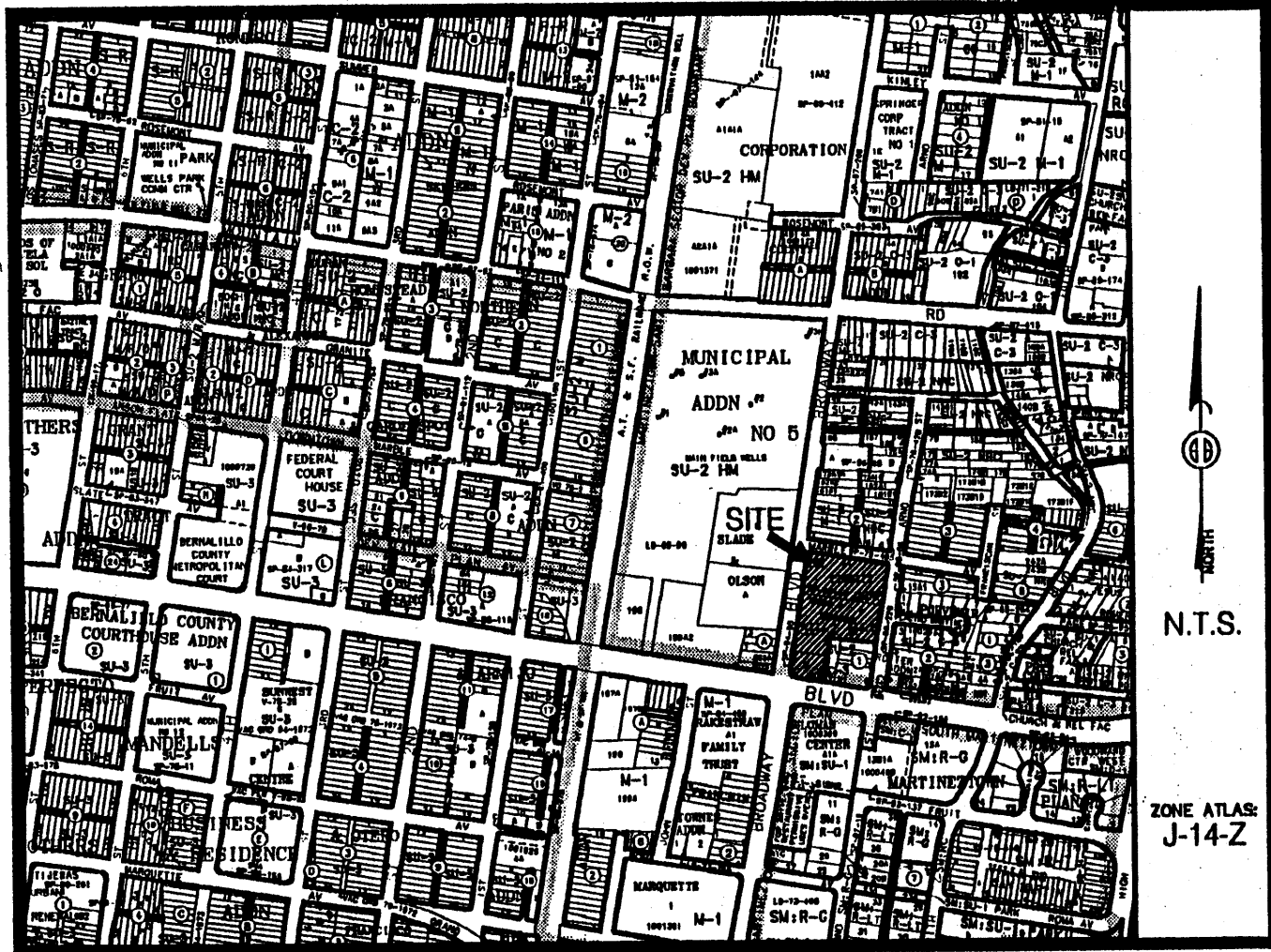
CARL'S JR.
BROADWAY AVE. NE.

GRADING AND DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JMM	Drawn: CAR	Checked: DMG	Sheet I of I
Scale: 1" = 30'	Date: 12/12/05	Job: 495085	

FEB 07 2006
HYDROLOGY SECTION



Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS 8-K14R AND 9-J15, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESES () PER THE PLAT OF LOMAS & BROADWAY UNIT 2, FILED IN BERNALILLO COUNTY, NEW MEXICO ON MAY 17, 1994 IN VOLUME 94C, FOLIO 158.
6. BEARINGS AND DISTANCES IN BRACKETS [] PER THE PLAT OF LANDS OF NEW MEXICO CREDIT CORPORATION, FILED IN BERNALILLO COUNTY, NEW MEXICO ON MAY 17, 1993 IN VOLUME 93C, FOLIO 136.
7. GROSS AREA: 3.0135 ACRES
8. NUMBER OF EXISTING TRACTS: 3
9. NUMBER OF TRACTS CREATED: 2
10. PROPERTY IS ZONED SU-2 M-1.
11. TRACTS 1 AND 2 ARE SUBJECT TO PRIVATE CROSS-LOT ACCESS FOR INGRESS AND EGRESS.

LEGAL DESCRIPTION

Tracts A and B of the plat of LOMAS & BROADWAY UNIT 2, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on May 17, 1994 in Volume 94C, Folio 158; together with Tract P-1 of the plat of LANDS OF NEW MEXICO CREDIT CORPORATION as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on May 17, 1993 in Volume 93C, Folio 136.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED AND DO HEREBY GRANT ADDITIONAL EASEMENT(S) AS SHOWN AND DO HEREBY DEDICATE ADDITIONAL STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

OWNER(S) SIGNATURE: Patrick F. Glennon DATE: 8/3/05
 OWNER(S) PRINT NAME: PATRICK F. GLENNON
 ADDRESS: 6211 SAN JUAN NE ALBUQUERQUE NM 87110 TRACT:
 ACKNOWLEDGMENT
 STATE OF NEW MEXICO)
) SS
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 3RD DAY OF AUGUST, 2005.
 BY: PATRICK F. GLENNON
 MY COMMISSION EXPIRES: 10/01/05
Sarah Amato
 NOTARY PUBLIC

PLAT OF
TRACTS 1 & 2
LANDS OF SANDIA FOUNDATION
SECTION 17, T. 10 N., R. 3 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST 2005
SHEET 1 OF 2

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO RECONFIGURE THREE (3) EXISTING TRACTS INTO TWO (2) NEW TRACTS OF LAND AND TO DEDICATE ADDITIONAL RIGHT-OF-WAY AS SHOWN.

CITY APPROVALS: PROJECT NO.: 1004058 APPLICATION NO. 05DRB-01268

<u>[Signature]</u>	<u>8-3-05</u>
CITY SURVEYOR	DATE
<u>[Signature]</u>	<u>8-17-05</u>
TRAFFIC ENGINEERING	DATE
<u>Christina Sandoval</u>	<u>8/17/05</u>
PARKS & RECREATION DEPARTMENT	DATE
<u>[Signature]</u>	<u>8-17-05</u>
UTILITIES DEVELOPMENT	DATE
<u>[Signature]</u>	<u>8/17/05</u>
A.M.A.F.C.A.	DATE
<u>[Signature]</u>	<u>8/17/05</u>
CITY ENGINEER	DATE
<u>[Signature]</u>	<u>8/17/05</u>
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

SURVEYOR'S CERTIFICATION

I, Gary E. Gritsko, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Gary E. Gritsko Aug 2, 2005
 Gary E. Gritsko
 New Mexico Professional Surveyor, 8686



SURVEYS SOUTHWEST LTD.

333 LOMAS BLVD., N.E.
 ALBUQUERQUE, NEW MEXICO
 87102

PHONE: (505) 998-0303
 FAX: (505) 998-0306

T10N R3E SEC. 17

PROJECT NO. 0503PB17

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON

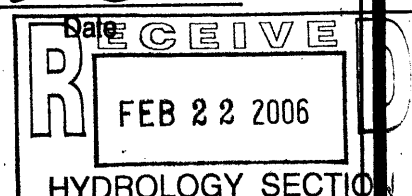
UPC #: See tax certificate

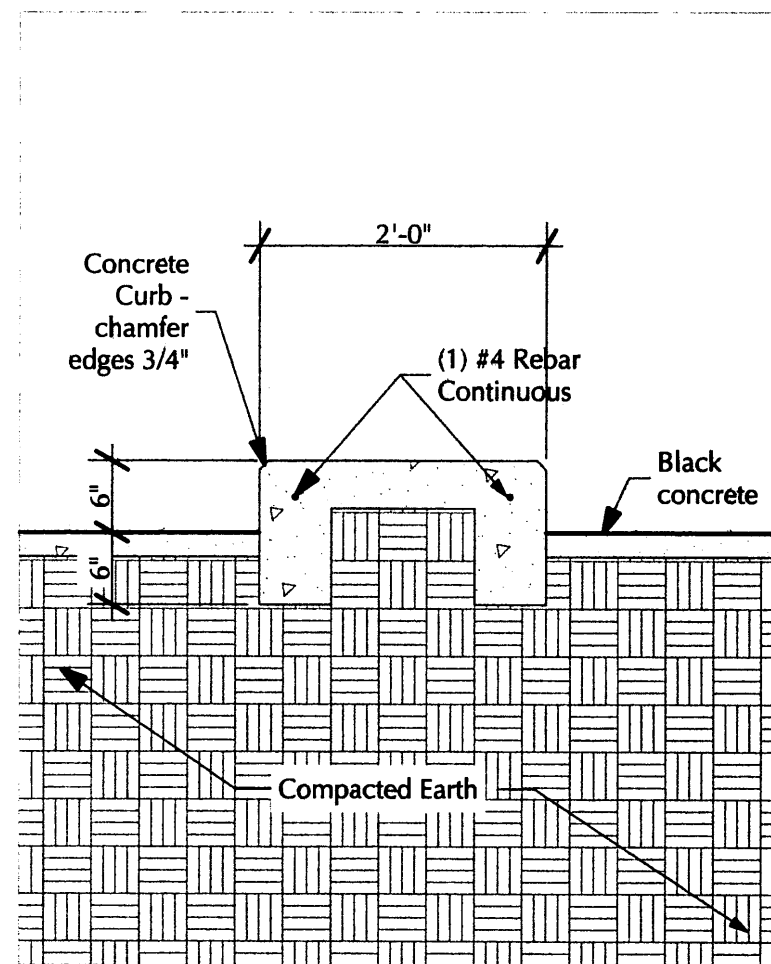
PROPERTY OWNER OF RECORD:

SANDIA FOUNDATION

BERNALILLO COUNTY TREASURERS OFFICE:

Francisco Sanchez 8/25/05





AB DT Window Island
Scale: 3/4" = 1'-0"

PARKING:

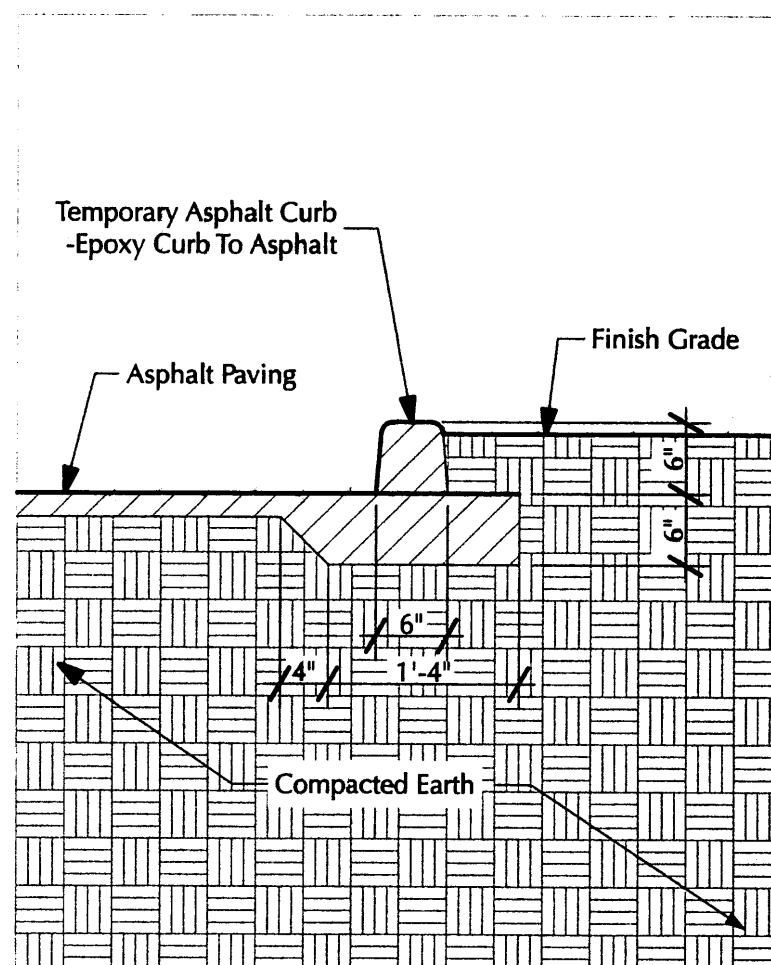
Required: 24 Spaces
Restaurant: (1 space per 4 seats) 96/4 = 24 Spaces
Bus Discount - 10% 3 Spaces
Total 21 Spaces

Provided: 29 Spaces
Standard Spaces 29 Spaces
HC Space 2 Spaces
Total 31 Spaces

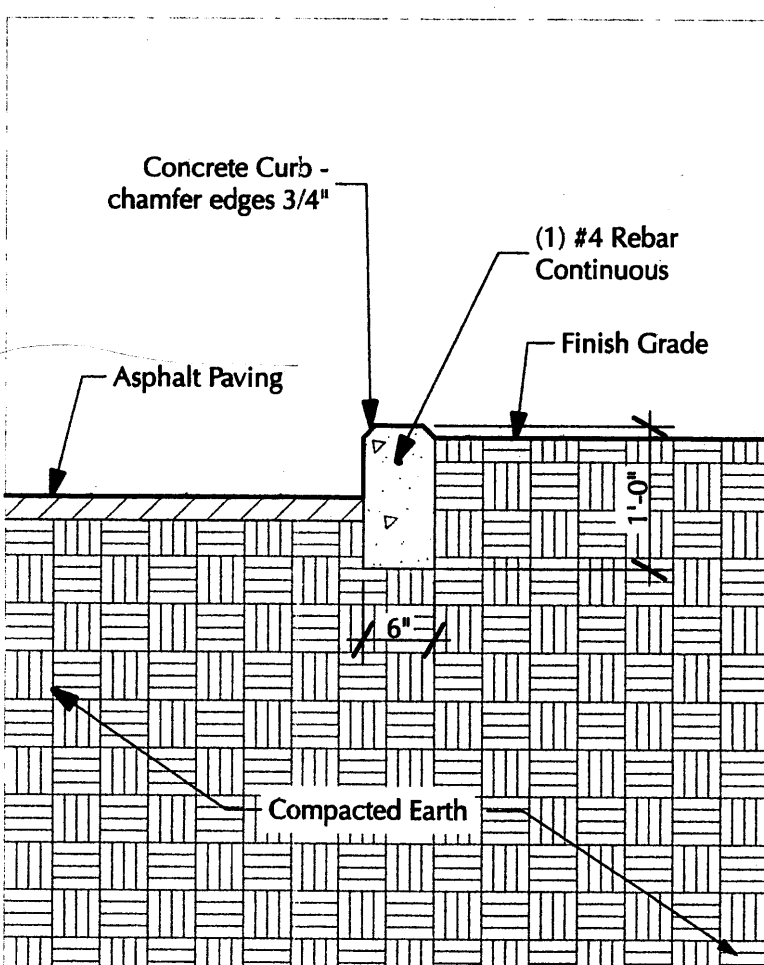
BICYCLE PARKING

Required: 1 space/20 parking spaces
31 parking/20 = 2 spaces

X Parking Calculations



AA Curb Detail
Scale: 3/4" = 1'-0"



W Curb Detail
Scale: 3/4" = 1'-0"

GENERAL NOTES:

1. THESE DETAILS ARE PROVIDED FOR YOUR INFORMATION ONLY. THE CITY ENGINEER SHALL BE RESPONSIBLE FOR THE FINAL DESIGN AND CONSTRUCTION OF THE PROJECT.

CONSTRUCTION NOTES:

A. INCLUDE QUANTITIES FOR MATERIALS AND LABOR. SEE STD. DETAIL, DWG. 2426.

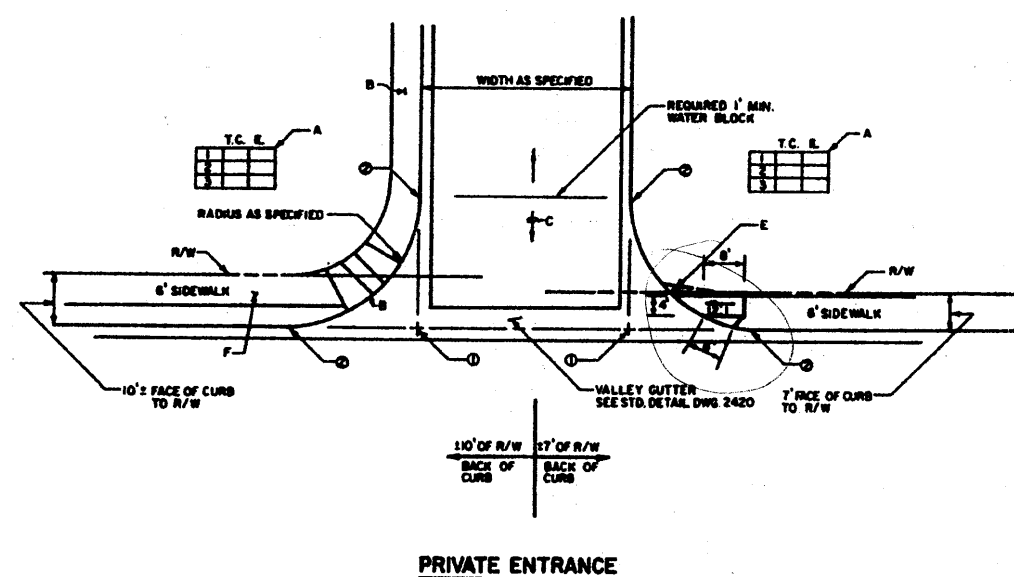
B. WHERE APPLICABLE, SIDEWALK CONNECTIONS TO BE PER THE STD. DETAIL, DWG. 2426.

C. DETAIL HANDS TO BE 4" IN. OR LESS IMPERMEABLE. SEE STD. DETAIL, DWG. 2426.

D. SIDEWALK ELEVATIONS TO BE BASED ON THE CITY ENGINEER'S ELEVATIONS.

E. AT PROPERTY CORNERS, DETAIL 'X' SHALL BE USED.

F. IF SIDEWALK IS CHANGING OVER TOP OF DRIVEWAY RAMP IN THE LOCATION SHOWN.



Z COA Detail - 2426

GENERAL NOTES:

1. SIDEWALKS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.

2. SIDEWALKS SHALL BE CONSTRUCTED TO THE CITY ENGINEER'S REQUIREMENTS.

3. SIDEWALKS SHALL BE CONSTRUCTED TO THE CITY ENGINEER'S REQUIREMENTS.

4. SIDEWALKS SHALL BE CONSTRUCTED TO THE CITY ENGINEER'S REQUIREMENTS.

5. SIDEWALKS SHALL BE CONSTRUCTED TO THE CITY ENGINEER'S REQUIREMENTS.

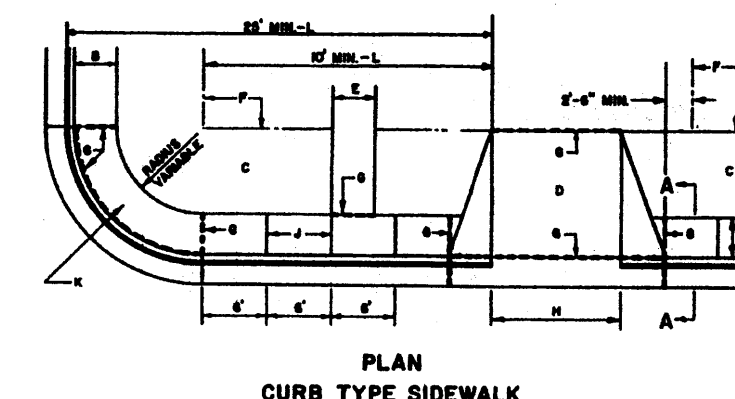
6. SIDEWALKS SHALL BE CONSTRUCTED TO THE CITY ENGINEER'S REQUIREMENTS.

7. SIDEWALKS SHALL BE CONSTRUCTED TO THE CITY ENGINEER'S REQUIREMENTS.

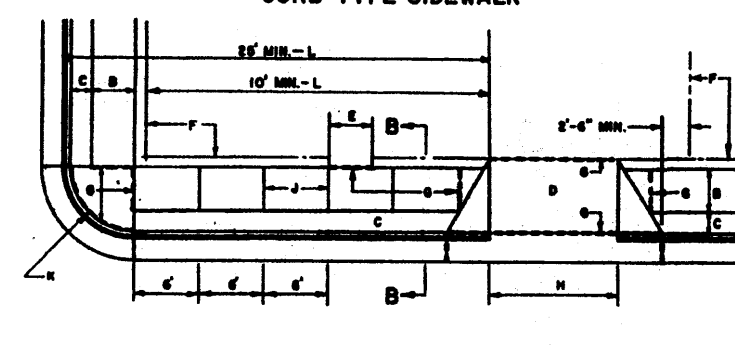
8. SIDEWALKS SHALL BE CONSTRUCTED TO THE CITY ENGINEER'S REQUIREMENTS.

9. SIDEWALKS SHALL BE CONSTRUCTED TO THE CITY ENGINEER'S REQUIREMENTS.

10. SIDEWALKS SHALL BE CONSTRUCTED TO THE CITY ENGINEER'S REQUIREMENTS.



SECTION A-A



SECTION B-B

Y COA Detail - 2430

NORTH

20' 10' 5' 0' 20'

(Paper)
SW corner med
truncated domes on
landings
show transition

3' clearance
of SW
for ADA

Note:
Improvements in the public
right of way stop at the lease
line unless noted otherwise.

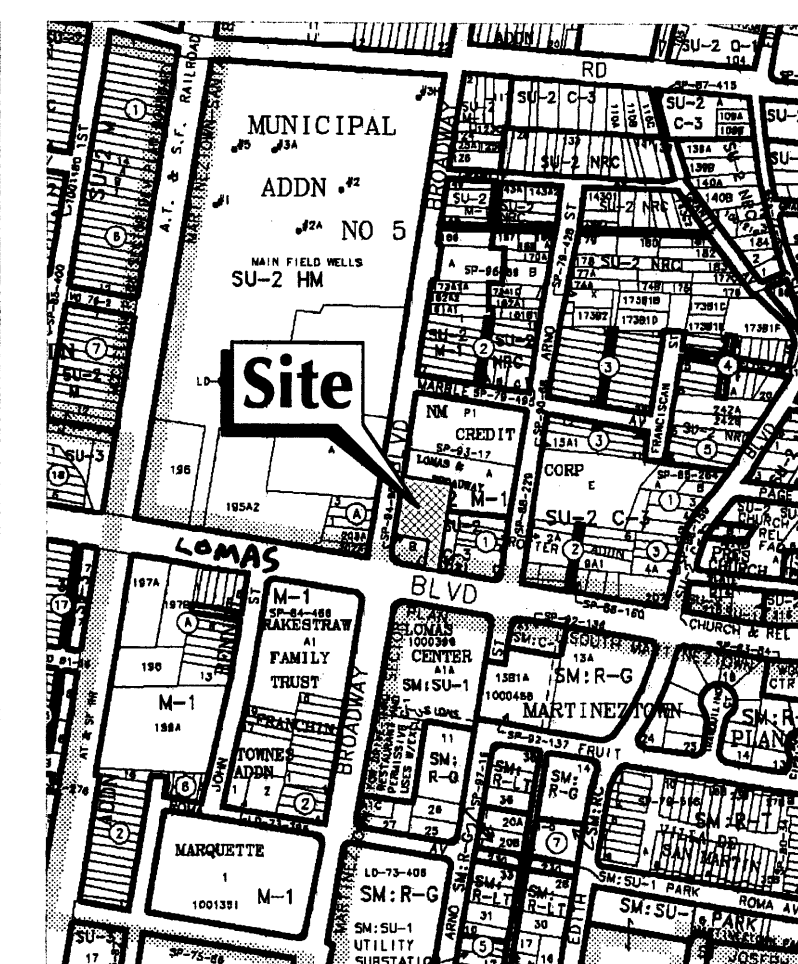
delivery
times

Lomas Boulevard NE
100' ROW

Q Traffic Control Layout

Curve Table

Curve	Radius	Length	Delta	Chord Bearing	Distance
C4	30.00'	46.88'	89°32'29"	N 36°06'41" W	42.26'
C5	1001.95'	105.42'	6°01'41"	N 05°50'09" E	105.37'
C6	997.58'	23.59'	1°21'17"	N 03°29'57" E	23.59'

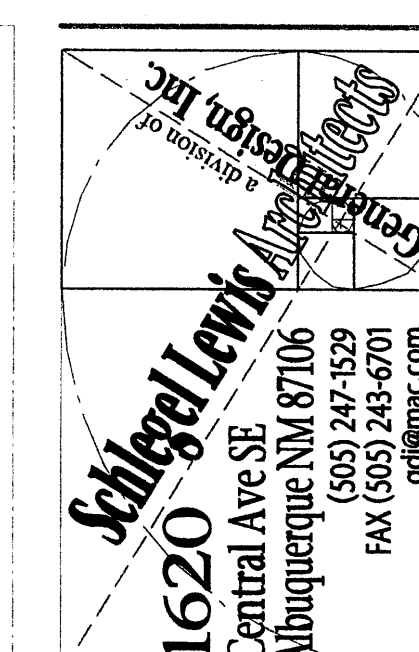
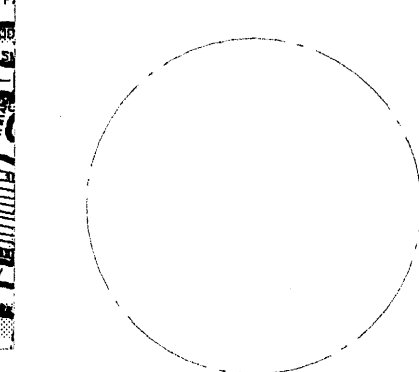
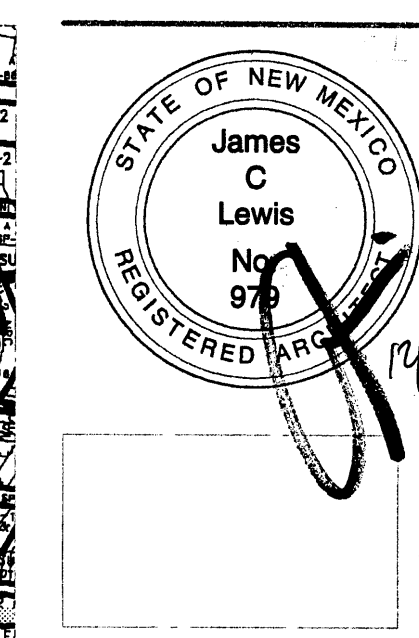


D Vicinity Map

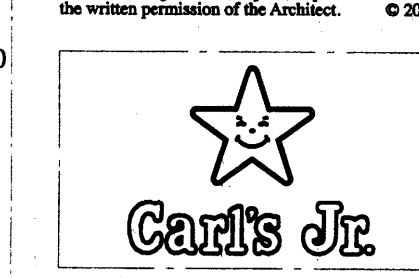
- Property line (typical)
- Lease line
- Common drive pad - construct per COA drawing 2426
- Concrete curb ramp - see detail 'O' on sheet C-501
- Existing curb & gutter - replace any damaged sections - construct per COA drawing 2426
- Typical concrete curb - see detail 'W' on this sheet
- Asphalt paving
- Building location
- Dumpster enclosure - see construction details
- Blanket cross access easement
- Temporary 6" high asphalt curb - see detail 'AA' on this sheet
- Existing concrete sidewalk - replace any damaged sections
- 6' wide concrete sidewalk, construct per COA drawing 2430
- 4" thick concrete sidewalk
- 6' wide painted crosswalk - white stripes
- Typical parking space 9'-0" wide (8'-6" minimum) x 20' with concrete wheel stop (or 18' + 2' overhang with 8' wide walk)
- Typical HC parking space 8'-6" x 20' with concrete wheel stop
- 8' wide handicap aisle for van space
- Handicapped sign - see detail 'V' on sheet C-501
- Bicycle rack (2 spaces minimum) - see detail 'X' on sheet C-101
- Monument sign - see detail 'AB' on sheet A-201 (NIC)
- Drive thru menu sign and order station - see detail 'Z' on sheet A-201
- Drive thru preview menu sign - see detail 'Y' on sheet A-201
- Drive thru clearance bar - see detail 'E' on sheet C-501
- Directional sign - see detail 'V' on sheet A-201
- 6" black concrete paving with W1.4xW1.4/6x6 woven wire mesh
- Concrete landing
- Pay window
- Pick up window
- Drive-thru window concrete island - see detail 'AB' on this sheet
- New concrete curb and gutter - construct per COA standards
- Existing bus stop

The engineer's certification required by the hydrology section needs to include certification that this site was constructed in accordance with the traffic circulation layout (TCL) before the certificate of occupancy is released.

A Keyed Notes



These drawings are an "Instrument of Service" and shall not be reproduced, copied, or published without the written permission of the architect.



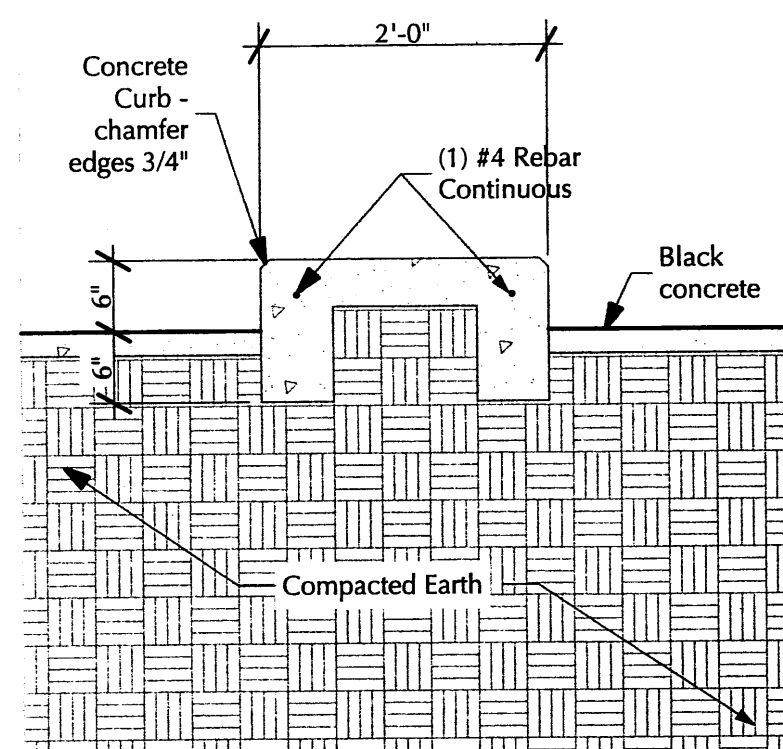
Carl's Jr.
800-B Broadway Blvd. NE
Albuquerque, NM 87102

ISSUE DATE:
30 December 05

REVISIONS:

Traffic Control Layout

PROJECT
0531
SHEET
TCL
JAN 24 2006
HYDROLOGY SECTION



DT Window Island

Scale: 3/4" = 1'-0"

PARKING:

Required:

24 Spaces
Restaurant: (1 space per 4 seats) 96/4 = 24 Spaces
Bus Discount - 10%
3 Spaces
Total
21 Spaces

Provided:

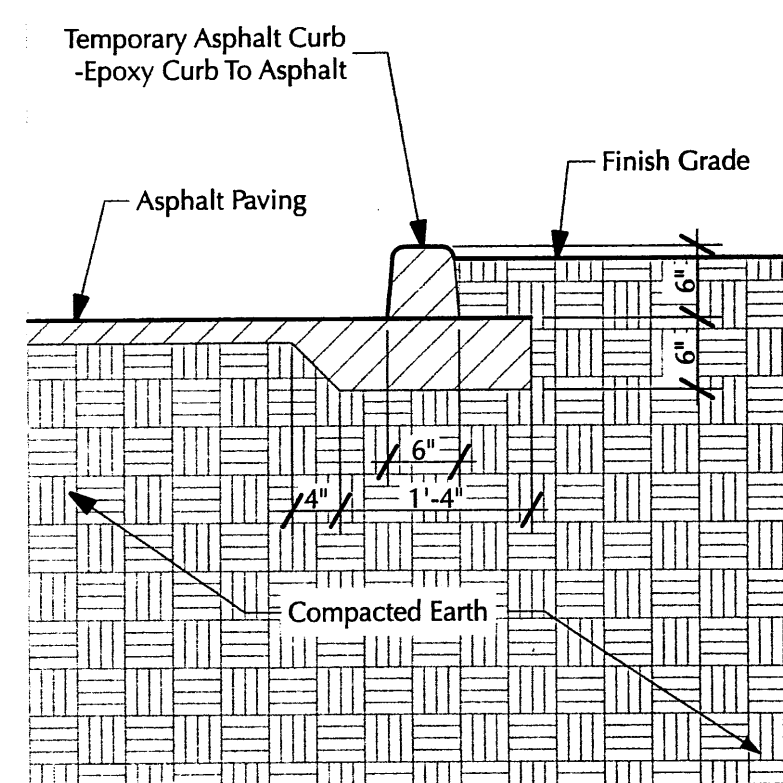
Standard Spaces	29 Spaces
HC Space	2 Spaces
Total	31 Spaces

BICYCLE PARKING

Required:

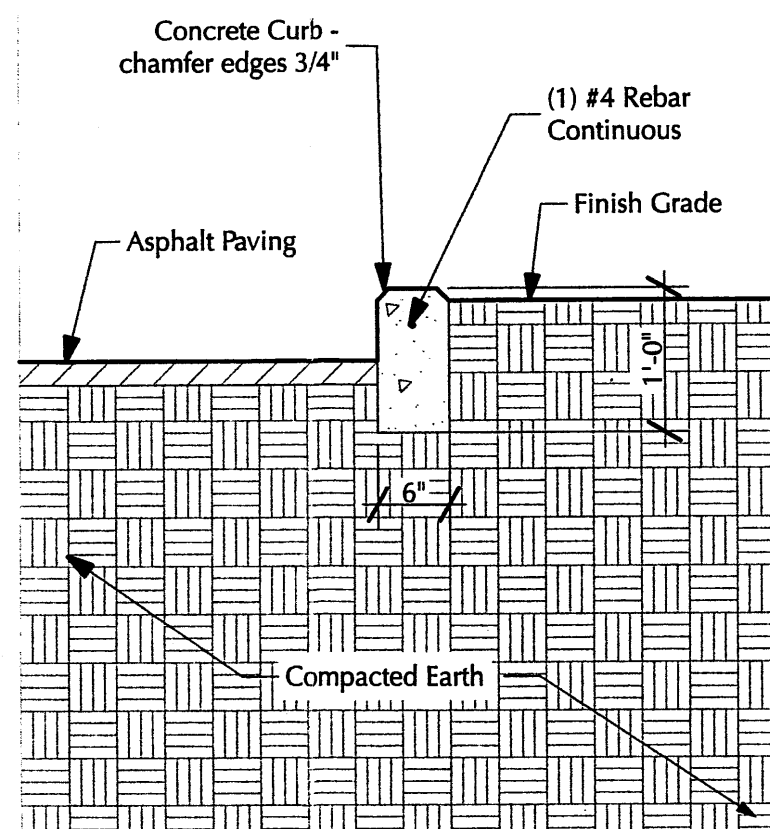
1 space/20 parking spaces
31 parking/20 = 2 spaces

X Parking Calculations



AA Curb Detail

Scale: 3/4" = 1'-0"



W Curb Detail

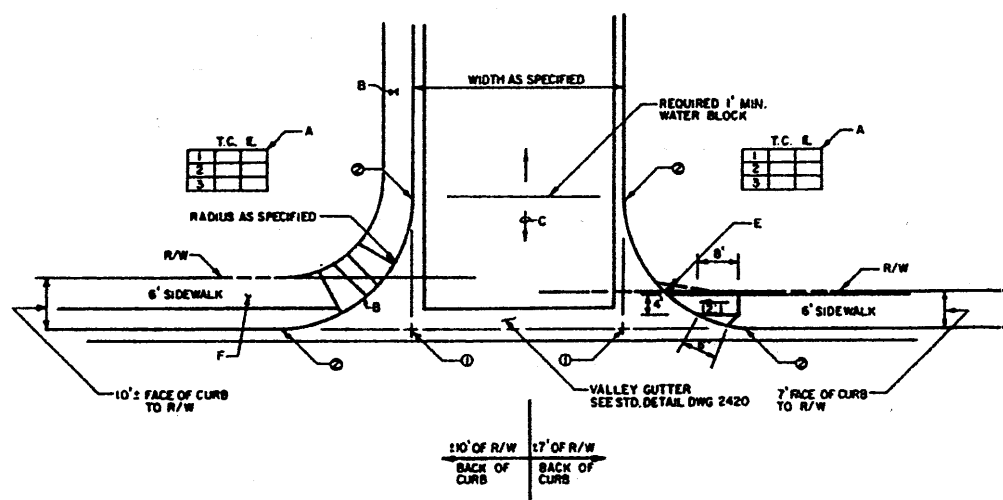
Scale: 3/4" = 1'-0"

GENERAL NOTES:

1. THESE DETAILS ARE PROVIDED FOR HIGH TRAFFIC VOLUMES. CHANGES TO STANDARD DETAILS ARE TO BE MADE BY THE USER.

CONSTRUCTION NOTES:

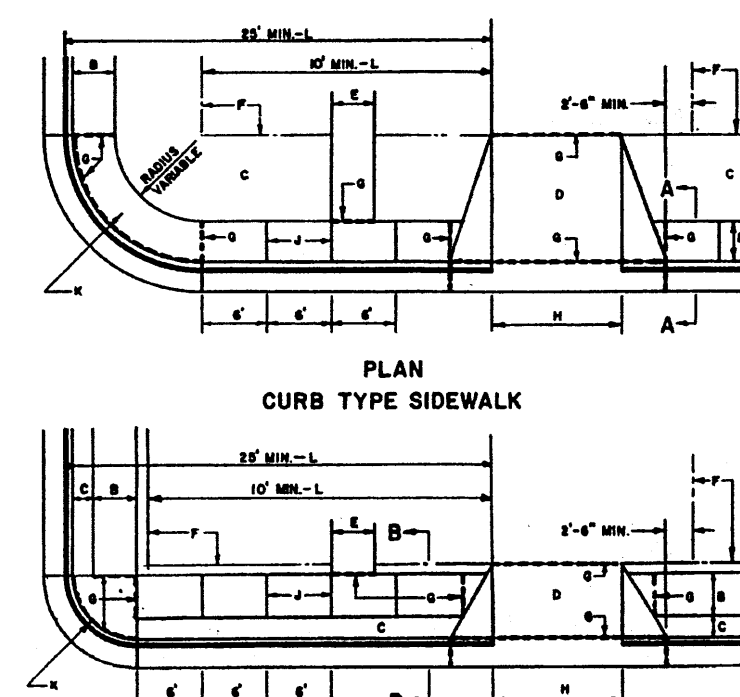
- A. INCLUDE QUANTITIES FOR CONSTRUCTION. SEE STD. DETAIL 2426.
- B. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PER STD. DETAIL 2426, CONSTRUCT RAMP AS SHOWN.
- C. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PER STD. DETAIL 2426, CONSTRUCT RAMP AS SHOWN.
- D. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PER STD. DETAIL 2426, CONSTRUCT RAMP AS SHOWN.
- E. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PER STD. DETAIL 2426, CONSTRUCT RAMP AS SHOWN.
- F. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PER STD. DETAIL 2426, CONSTRUCT RAMP AS SHOWN.
- G. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PER STD. DETAIL 2426, CONSTRUCT RAMP AS SHOWN.
- H. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PER STD. DETAIL 2426, CONSTRUCT RAMP AS SHOWN.
- I. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PER STD. DETAIL 2426, CONSTRUCT RAMP AS SHOWN.
- J. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PER STD. DETAIL 2426, CONSTRUCT RAMP AS SHOWN.
- K. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PER STD. DETAIL 2426, CONSTRUCT RAMP AS SHOWN.
- L. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PER STD. DETAIL 2426, CONSTRUCT RAMP AS SHOWN.
- M. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PER STD. DETAIL 2426, CONSTRUCT RAMP AS SHOWN.
- N. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PER STD. DETAIL 2426, CONSTRUCT RAMP AS SHOWN.
- O. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PER STD. DETAIL 2426, CONSTRUCT RAMP AS SHOWN.
- P. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PER STD. DETAIL 2426, CONSTRUCT RAMP AS SHOWN.
- Q. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PER STD. DETAIL 2426, CONSTRUCT RAMP AS SHOWN.
- R. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PER STD. DETAIL 2426, CONSTRUCT RAMP AS SHOWN.
- S. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PER STD. DETAIL 2426, CONSTRUCT RAMP AS SHOWN.
- T. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PER STD. DETAIL 2426, CONSTRUCT RAMP AS SHOWN.
- U. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PER STD. DETAIL 2426, CONSTRUCT RAMP AS SHOWN.
- V. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PER STD. DETAIL 2426, CONSTRUCT RAMP AS SHOWN.
- W. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PER STD. DETAIL 2426, CONSTRUCT RAMP AS SHOWN.
- X. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PER STD. DETAIL 2426, CONSTRUCT RAMP AS SHOWN.
- Y. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PER STD. DETAIL 2426, CONSTRUCT RAMP AS SHOWN.
- Z. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PER STD. DETAIL 2426, CONSTRUCT RAMP AS SHOWN.



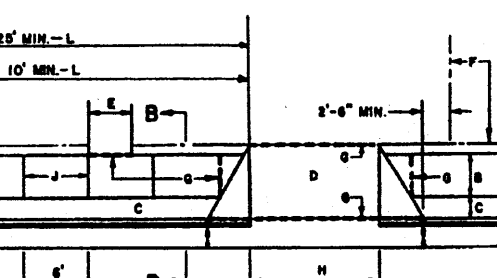
PRIVATE ENTRANCE

REVISIONS	DATE	DESCRIPTION
1	08/19/05	PAVING PRIVATE ENTRANCE DETAILS - ILLUSTRATING TWO SEPARATE WALKWAYS

Z COA Detail - 2426

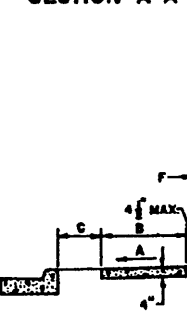


PLAN CURB TYPE SIDEWALK



PLAN OFFSET TYPE SIDEWALK

SECTION A-A

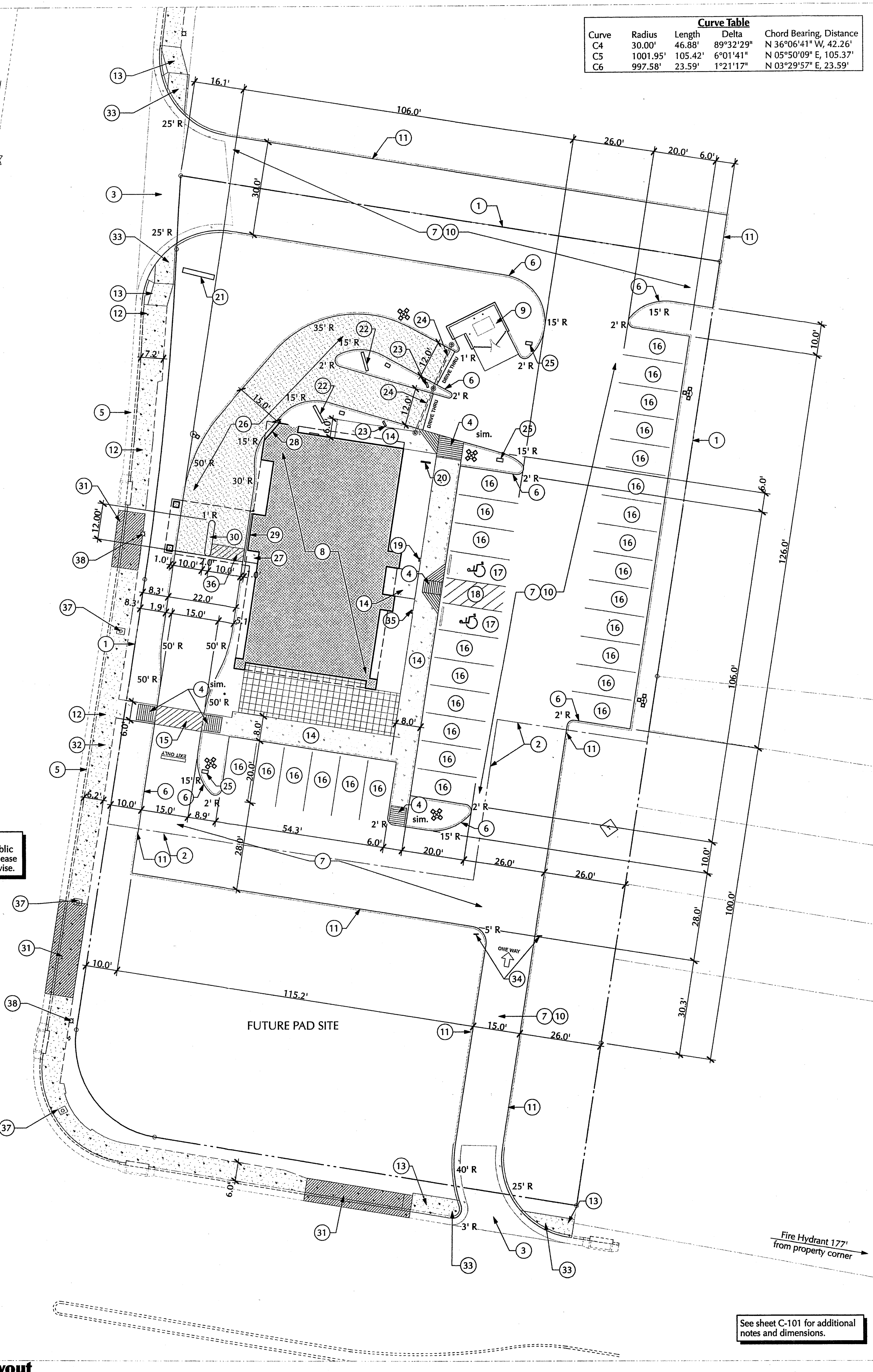
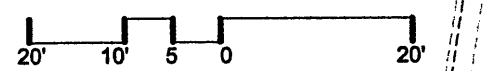


SECTION B-B

REVISIONS	DATE	DESCRIPTION
1	08/19/05	PAVING SIDEWALK DETAILS

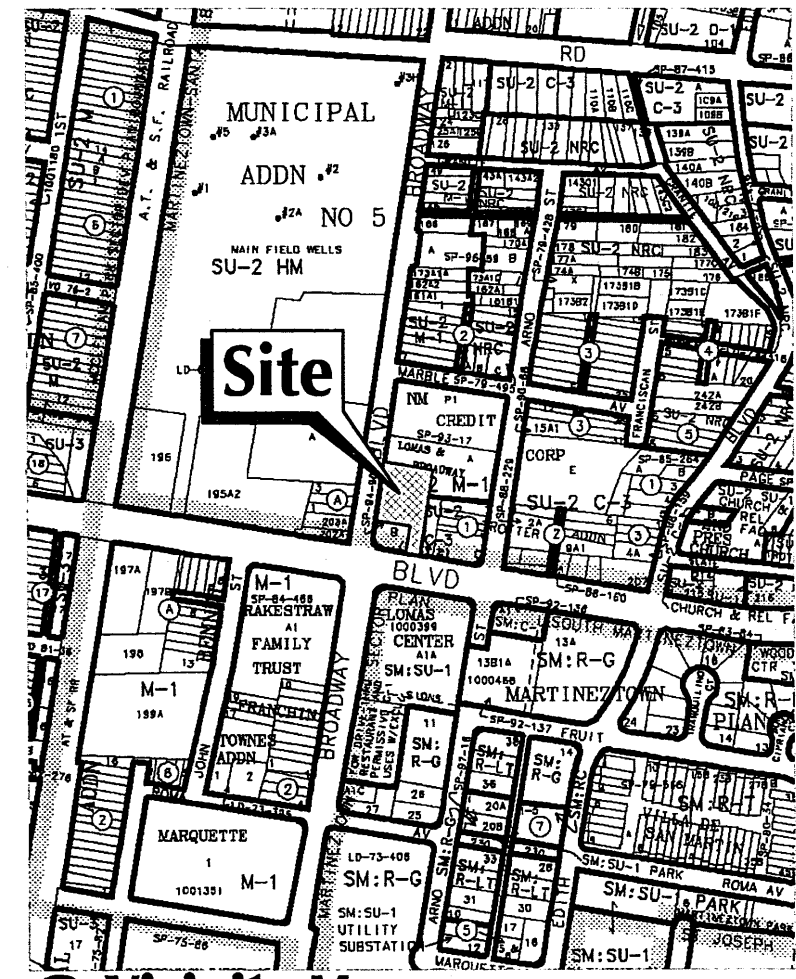
Y COA Detail - 2430

NORTH



Curve	Radius	Length	Delta	Chord Bearing, Distance
C4	30.00'	46.88'	89°32'29"	N 36°06'41" W, 42.26'
C5	1001.95'	105.42'	6°01'41"	N 05°50'09" E, 105.37'
C6	997.58'	23.59'	1°21'17"	N 03°29'57" E, 23.59'

See sheet C-101 for additional notes and dimensions.

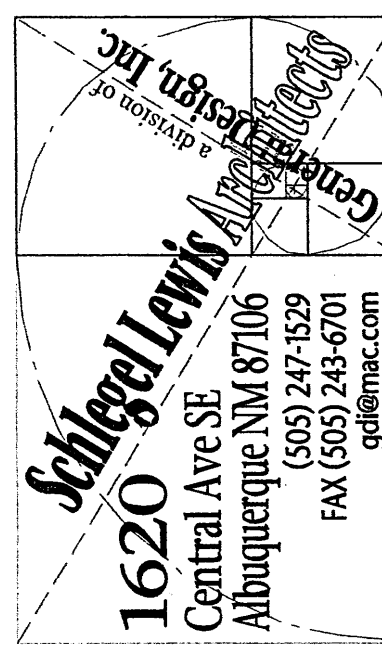
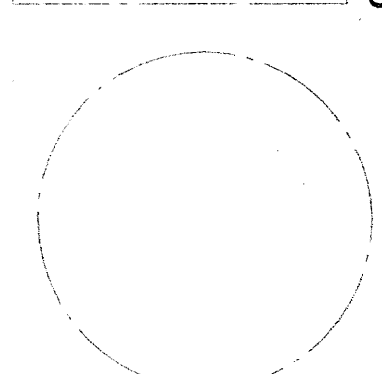
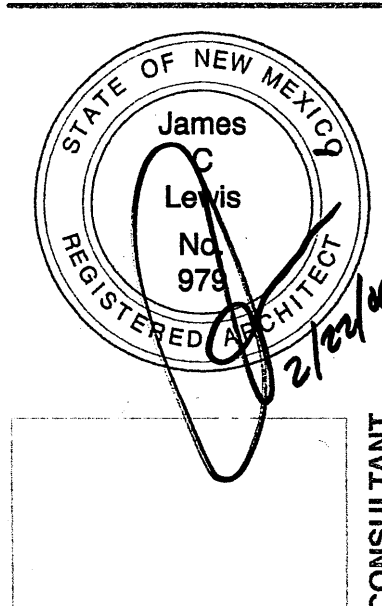


D Vicinity Map

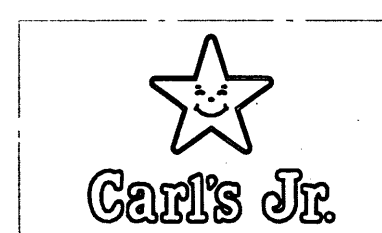
- 1 Property line (typical)
- 2 Lease line
- 3 Common drive pad - construct per COA drawing 2426
- 4 Concrete curb ramp, slope 1:12 - see detail 'O' on sheet C-501
- 5 Existing curb & gutter - replace any damaged sections - construct per COA drawing 2415A
- 6 Typical concrete curb - see detail 'W' on this sheet
- 7 Asphalt paving
- 8 Building location
- 9 Dumpster enclosure - see construction details
- 10 Blanket cross access easement
- 11 Temporary 6" high asphalt curb - see detail 'AA' on this sheet
- 12 Existing concrete sidewalk - replace any damaged sections
- 13 6' wide concrete sidewalk, construct per COA drawing 2430
- 14 4" thick concrete sidewalk
- 15 6' wide painted crosswalk - white stripes
- 16 Typical parking space 9'-0" wide (8'-6" minimum) x 20' with concrete wheel stop (or 18' + 2' overhang with 8' wide walk)
- 17 Typical HC parking space 8'-6" x 20' with concrete wheel stop
- 18 8' wide handicap aisle for van space
- 19 Handicapped sign - see detail 'V' on sheet C-501
- 20 Bicycle rack (2 spaces minimum) - see detail 'X' on sheet C-501
- 21 Monument sign - see detail 'AB' on sheet A-201 (NIC)
- 22 Drive thru menu sign and order station - see detail 'Z' on sheet A-201
- 23 Drive thru preview menu sign - see detail 'Y' on sheet A-201
- 24 Drive thru clearance bar - see detail 'E' on sheet C-501
- 25 Directional sign - see detail 'V' on sheet A-201
- 26 6" black concrete paving with W1.4xW1.4/6x6 woven wire mesh
- 27 Concrete landing
- 28 Pay window
- 29 Pick up window
- 30 Drive thru window concrete island - see detail 'AB' on this sheet
- 31 Close existing driveway and provide new concrete curb & gutter and sidewalk - construct per COA standards. 2415A
- 32 Existing bus stop
- 33 Sidewalk ramp, slope 1:12. Sidewalk ramp, slope 1:12. Provide truncated domes on sloped surfaces.
- 34 Provide sign "NO ENTRY"
- 35 Handicapped parking sign with "VAN" - see detail 'V' on sheet C-501
- 36 4' wide painted crosswalk - white stripes
- 37 Existing water meter
- 38 Existing street light

The engineer's certification required by the hydrology section needs to include certification that this site was constructed in accordance with the traffic circulation layout (TCL) before the certificate of occupancy is released.

A Keyed Notes



These drawings are an "Instrument of Service" and shall not be reproduced, copied, or published without the written permission of the Architect.



Carl's Jr.

1620 Central Ave SE Albuquerque NM 87106 (505) 247-1529 FAX (505) 245-6701 gallemac.com

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Carl's Jr.

800-B Broadway Blvd. NE Albuquerque, NM 87102

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Carl's Jr.

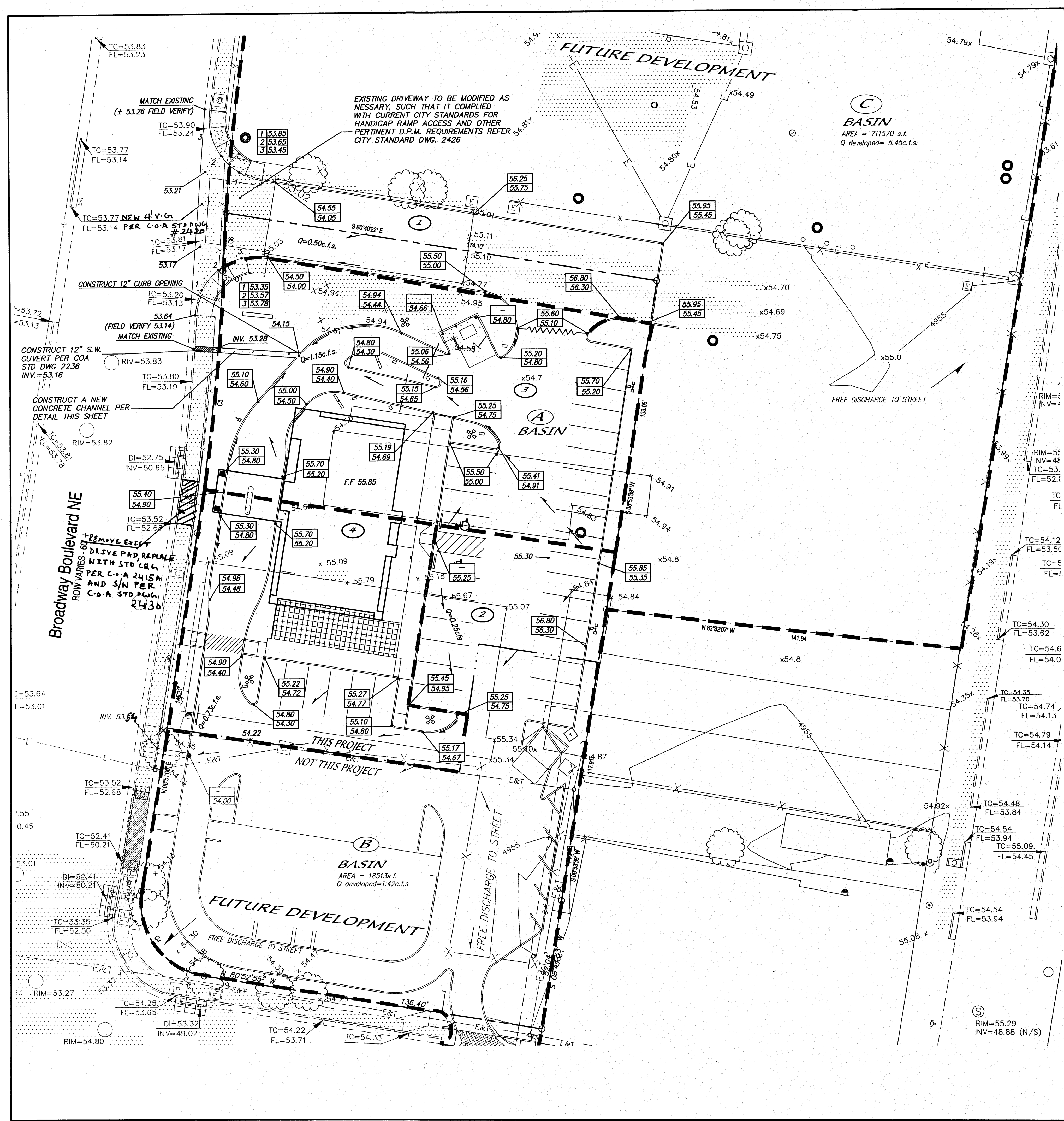
800-B Broadway Blvd. NE Albuquerque, NM 87102

Carl's Jr.

800-B Broadway Blvd. NE Albuquerque, NM 87102

Carl's Jr.

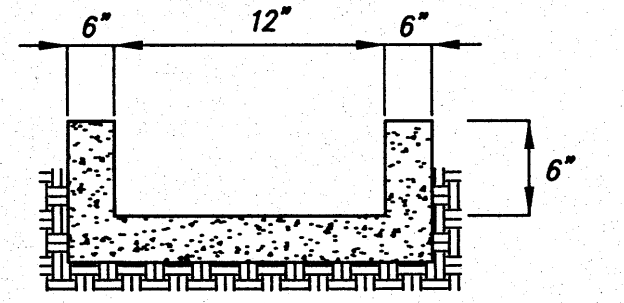
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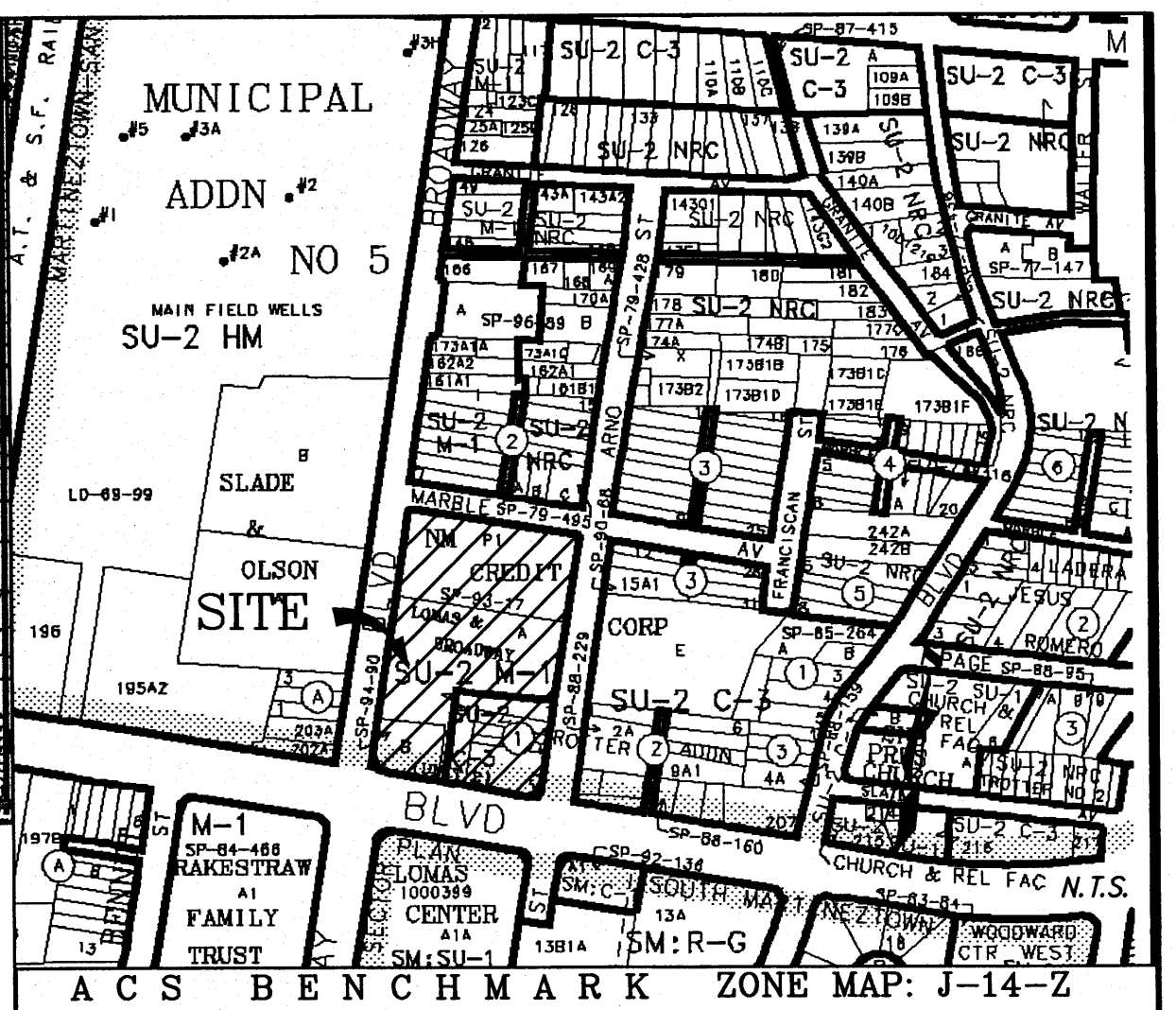
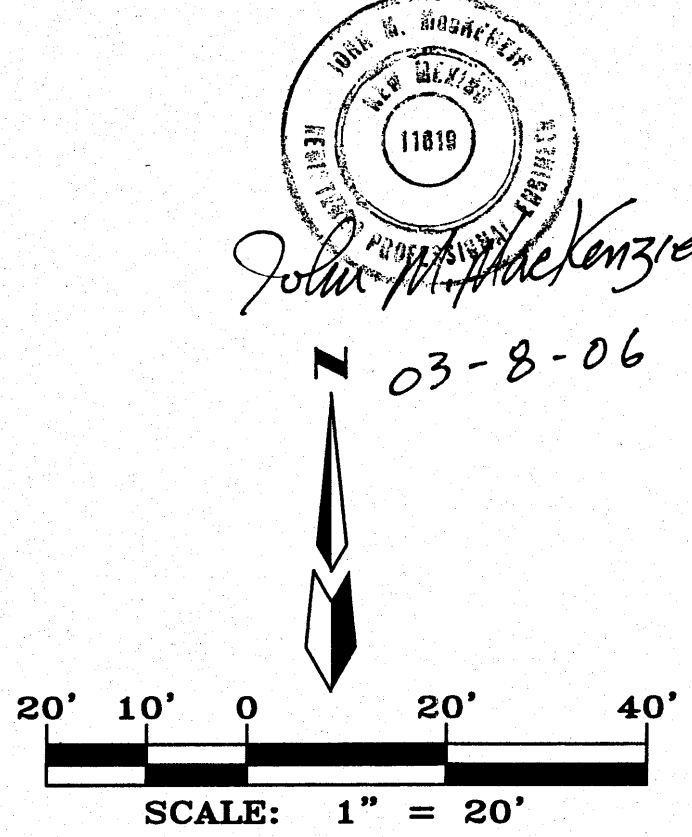
FLOOD ZONE MAP PANEL 334 OF 825
ZONE AH ELEVATION: 4957 (NAD 83) IN FT.

- NOTICE TO CONTRACTOR**
1. An excavation/construction permit will be required before beginning any work within City right of way.
 2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction (1985 Edition).
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 5. Backfill compaction shall be according to traffic/street use.
 6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.
 7. Work on arterial streets shall be performed on a 24 hour basis.

- BASIN AREA'S**
- (A) AREA: 5957.20 s.f.
Q=0.50c.f.s.
 - (B) AREA: 3685 s.f.
Q=0.25c.f.s.
 - (C) AREA: 15290 s.f.
Q=1.15c.f.s.
 - (D) AREA: 9540 s.f.
Q=0.73c.f.s.
 - (E) AREA: 18513 s.f.
Q developed=1.42c.f.s.
 - (F) AREA: 711570 s.f.
Q developed= 5.45c.f.s.



DETAIL OF CONCRETE CHANNEL
NOT TO SCALE



ACS Brass Cap stamped "27-J14"
Epoxied to top of concrete drop inlet, SE quadrant of Broadway Blvd. and Lomas Blvd., centered on said drop inlet.
N.M. State Plane Coordinates (Central Zone)
Elevation=4953.37 (NGVD29) in feet
LEGAL DESCRIPTION

LEGEND

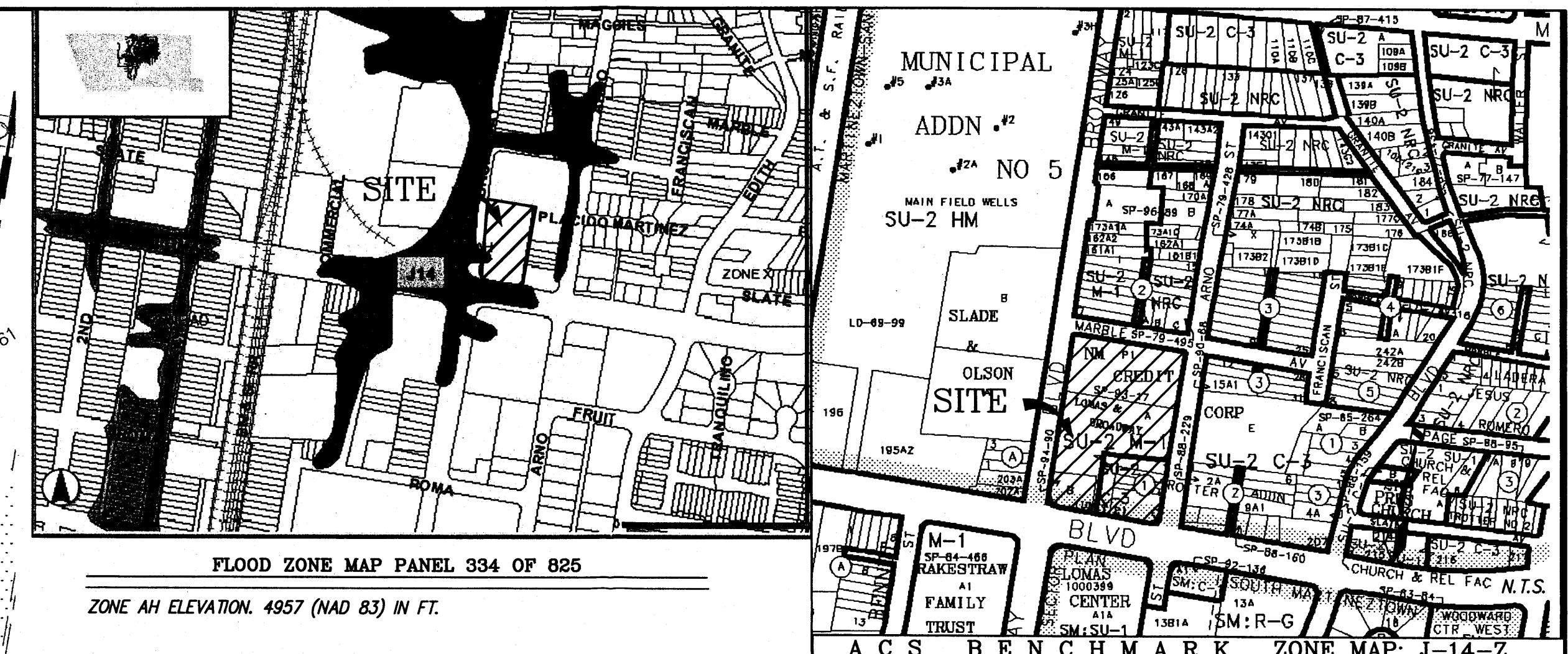
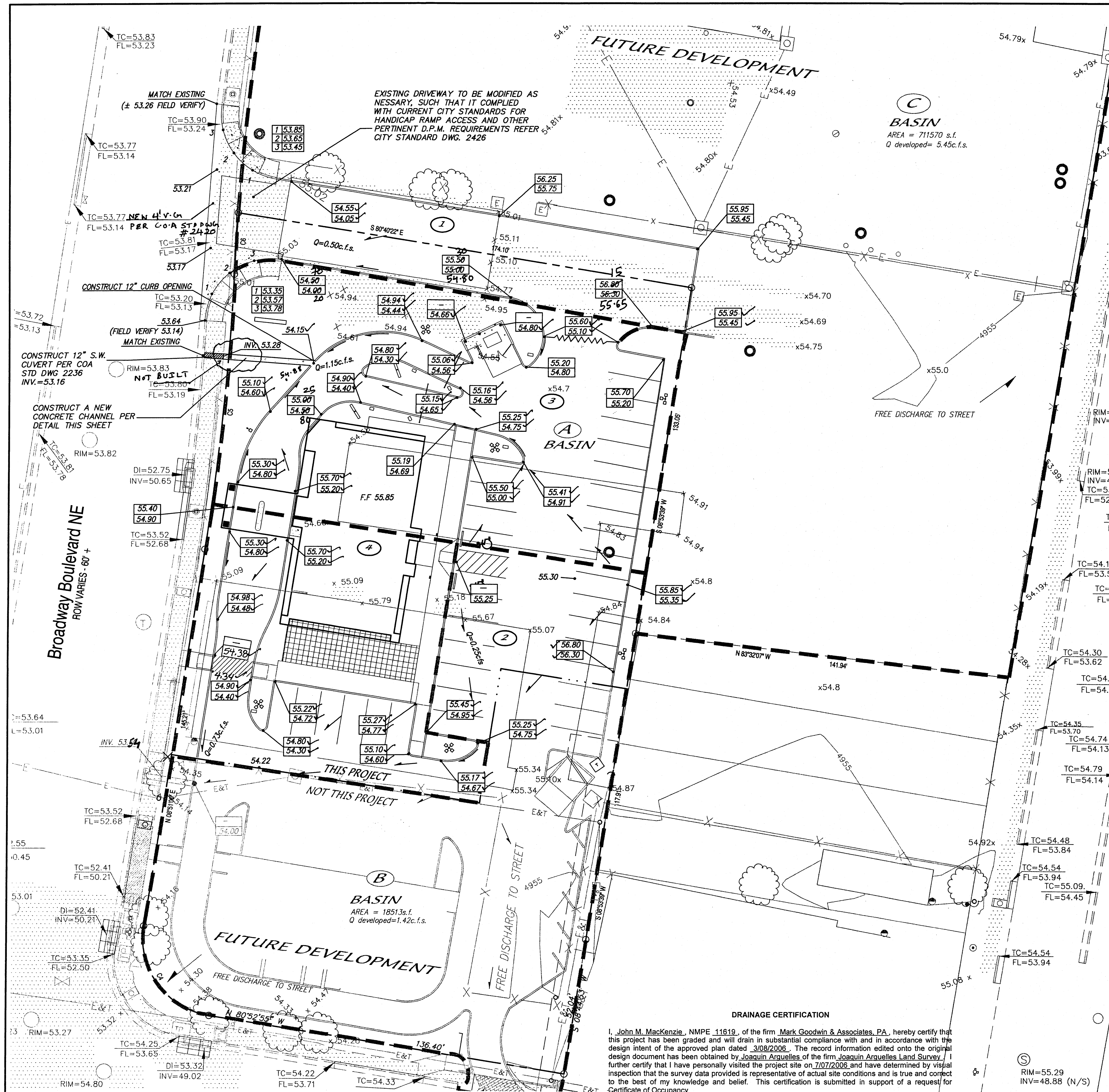
x 50.5	EXISTING SPOT ELEVATION
5094	EXISTING CONTOUR
==	EXISTING CURB AND GUTTER
-5095-	EX. CONT. M/R
-5094-	EX. CONT. M/R
-TC-	EX. TOP CURB
-FL-	EX. FL=FLOWLINE
x 00.00	EX. SPOT ELEVATION
WC	EX. WHEELCHAIR RAMP
+	EX. SIGN
○	EX. SANITARY SEWER MANHOLE
⊕	EX. WATER VALVE
⊕	EX. FIRE HYDRANT
-E&T-	EX. OVERHEAD UTILITIES
UT	EX. UNDERGROUND TELEPHONE LINE SPOT
○	EX. POWER POLE
→	EX. GUY WIRE
⊕	EX. LOT LIGHT
⊕	EX. TELEPHONE MANHOLE
⊕	EX. TELEPHONE PEDESTAL
---	ASPHALT CURB
---	NEW WATER BREAK
---	BASIN BOUNDARY
---	EXISTING SIDEWALK
---	NEW HEADER CURB
---	PROPERTY LINE
46.00	PROPOSED SPOT ELEVATION
45.50	FINISHED FLOOR
F.F. = XX.XX	FLOW DIRECTION
XX.XX	NEW SPOT ELEVATION
⊕	BASIN I.D.
---	LEASE LINE

CARL'S JR.
BROADWAY AVE. NE.

GRADING AND DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JMM	Drawn: CAR	Checked: DMG	Sheet 1 of 1
Scale: 1" = 30'	Date: 12/12/05	Job: A5085	



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BASIN AREA'S

(A) AREA: 5957.20 s.f.
Q = 0.50 c.f.s.

(B) AREA: 18513 s.f.
Q developed = 1.42 c.f.s.

(C) AREA: 71570 s.f.
Q developed = 5.45 c.f.s.

DETAIL OF CONCRETE CHANNEL

NOT TO SCALE

LEGEND

- X 50.5 EXISTING SPOT ELEVATION
- 5094 EXISTING CONTOUR
- EXISTING CURB AND GUTTER
- 5095- EX. CONT. MUR
- 5094- EX. CONT. MNR
- TC= EX. TOP CURB
- FL= EX. FLOWLINE
- x 00.00 EX. SPOT ELEVATION
- WC EX. WHEELCHAIR RAMP
- EX. SIGN
- EX. SANITARY SEWER MANHOLE
- EX. WATER VALVE
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- BASIN BOUNDARY
- EXISTING SIDEWALK
- NEW HEADER CURB
- PROPERTY LINE
- PROPOSED SPOT ELEVATION
- FINISHED FLOOR
- FLOW DIRECTION
- NEW SPOT ELEVATION
- BASIN I.D.
- LEASE LINE

DRAINAGE CERTIFICATION

I, John M. MacKenzie, NMPE 11819, of the firm, Mark Goodwin & Associates, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 3/08/2006. The record information edited onto the original design document has been obtained by Joaquin Arqueles of the firm Joaquin Arqueles Land Survey, I further certify that I have personally visited the project site on 7/07/2006 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

John M. MacKenzie 7-7-06
JOHN M. MACKENZIE, NMPE 11819

* DEFICIENCIES OCCUR TEMP. C.O. REQUESTED.

Professional Engineer Seal: JOHN M. MACKENZIE, NMPE 11819

CARL'S JR.
BROADWAY AVE. NE.

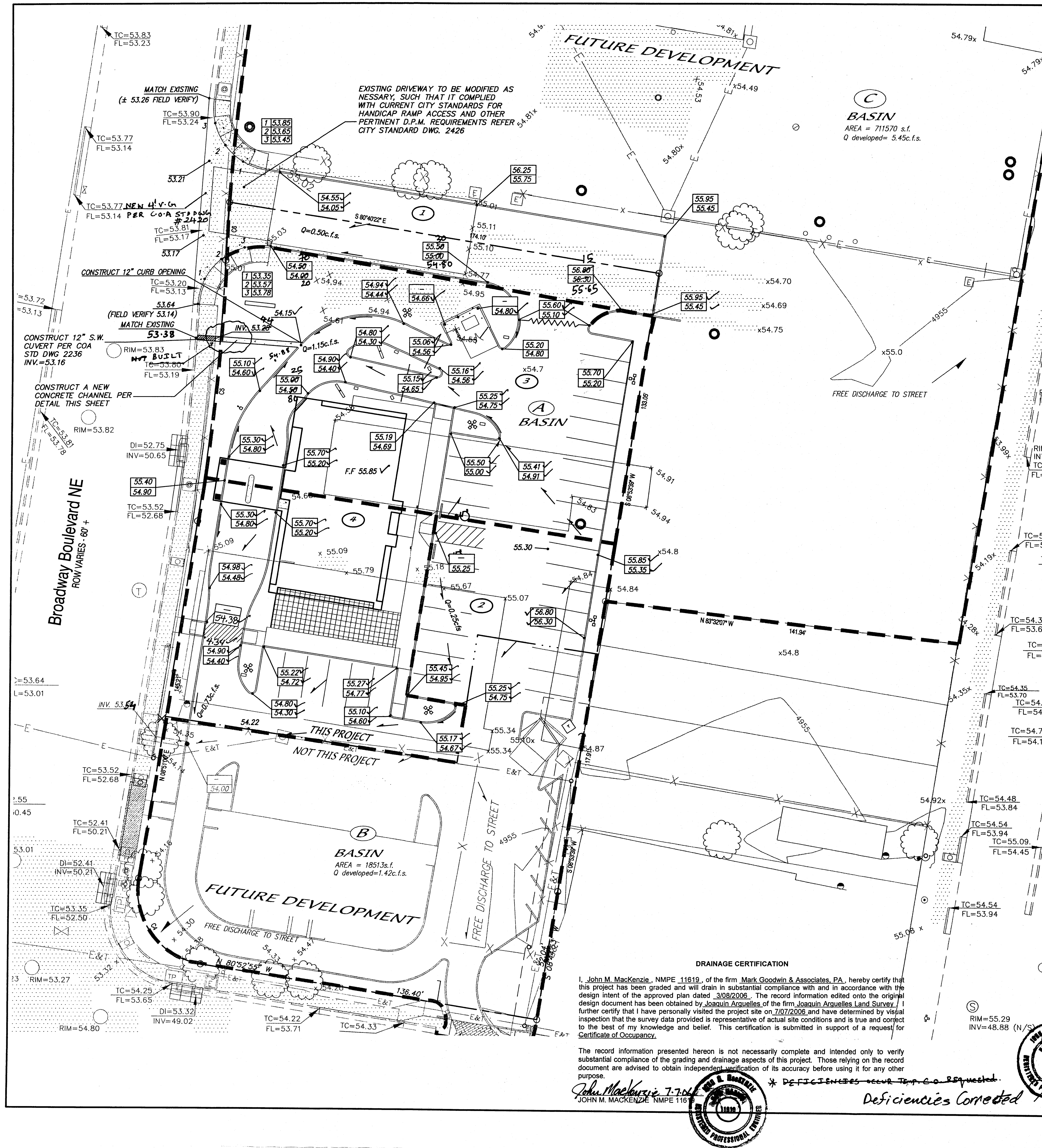
GRADING AND DRAINAGE PLAN

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS

P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JMM Drawn: CAR Checked: DMG
Scale: 1" = 30' Date: 12/12/05 Job: A05085 Sheet 1 of 1

P:\A05085\A05085 Broadway Cars.dwg, 3/8/2006 8:25:11 AM, charles



FLOOD ZONE MAP PANEL 334 OF 825

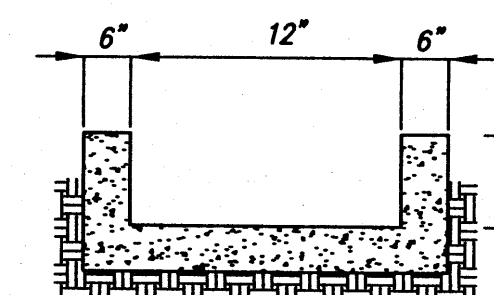
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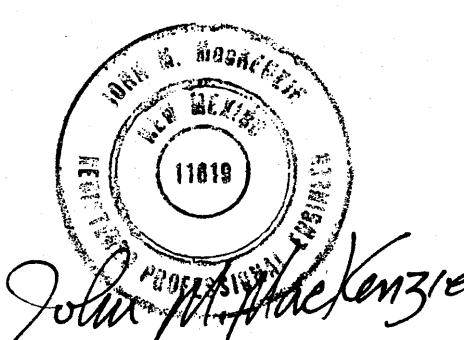
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- ① AREA: 5957.20 s.f.
Q = 0.50c.f.s.
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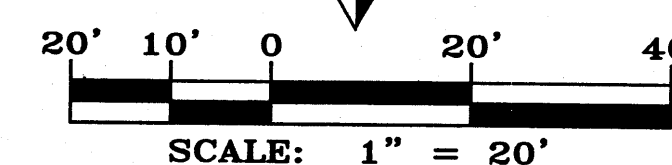


DETAIL OF CONCRETE CHANNEL

NOT TO SCALE



03-8-06



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John M. MacKenzie 7-13-06
JOHN M. MACKENZIE NMPE 11619

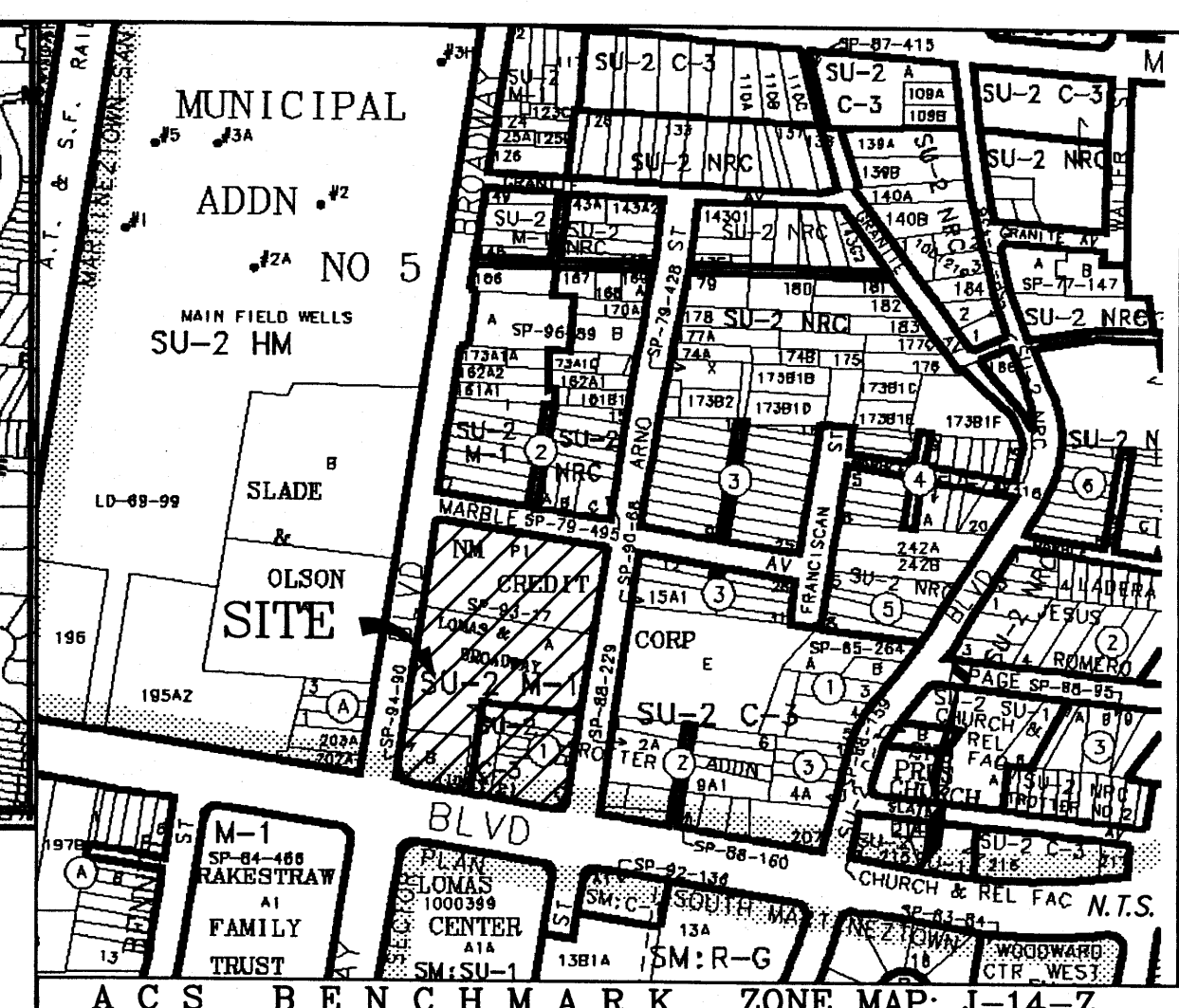


* DEFICIENCIES CORRECTED

Deficiencies Corrected

7-13-06

A5085JC/GRADING/A5085GD/02-08-06 CAR

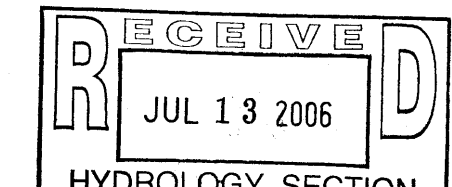


ACS Brass Cap stamped "27-J14"
Epoxied to top of concrete drop inlet, SE quadrant of Broadway Blvd. and Lomas Blvd., centered on said drop inlet.
N.M. State Plane Coordinates (Central Zone)
Elevation=4953.37 (NGVD29) in feet
LEGAL DESCRIPTION

LANDS OF SANDIA FOUNDATION TRACTS 1 AND 2 WITHIN SECTION 17 TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M. CITY OF ALBUQUERQUE BERNILLO COUNTY, NEW MEXICO SEPTEMBER, 2005

LEGEND

- X 50.5 EXISTING SPOT ELEVATION
- 5094 EXISTING CONTOUR
- EXISTING CURB AND GUTTER
- 5095- EX. CONT_MJR
- 5094- EX. CONT_MNR
- TC= EX. TOP CURB
- FL= EX. FL=FLOWLINE
- x 00.00 EX. SPOT ELEVATION
- WC EX. WHEELCHAIR RAMP
- EX. SIGN
- EX. SANITARY SEWER MANHOLE
- EX. WATER VALVE
- EX. FIRE HYDRANT
- E&T- EX. OVERHEAD UTILITIES
- UT EX. UNDERGROUND TELEPHONE LINE SPOT
- EX. POWER POLE
- EX. GUY WIRE
- EX. LOT LIGHT
- EX. TELEPHONE MANHOLE
- EX. TELEPHONE PEDESTAL
- ASPHALT CURB
- NEW WATER BREAK
- BASIN BOUNDARY
- EXISTING SIDEWALK
- NEW HEADER CURB
- PROPERTY LINE
- As Built Elevation
- PROPOSED SPOT ELEVATION
- FINISHED FLOOR
- FLOW DIRECTION
- NEW SPOT ELEVATION
- BASIN I.D.
- LEASE LINE

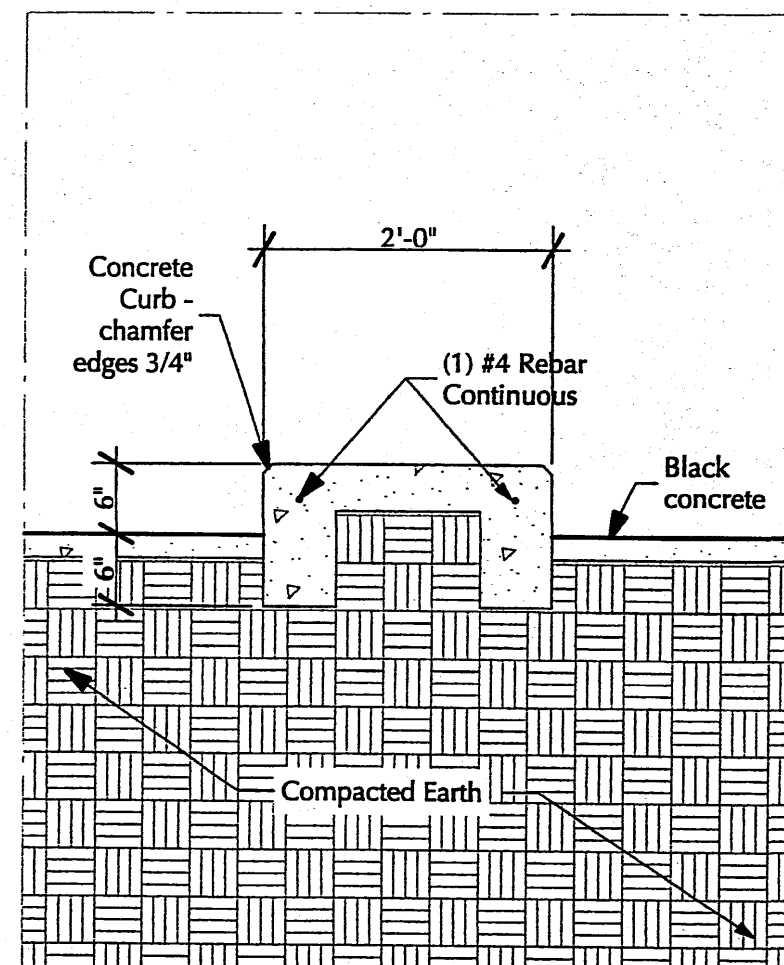


CARL'S JR.
BROADWAY AVE. NE.

GRADING AND DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JMM	Drawn: CAR	Checked: DMG	Sheet I of I
Scale: 1" = 30'	Date: 12/12/05	Job: A05085	



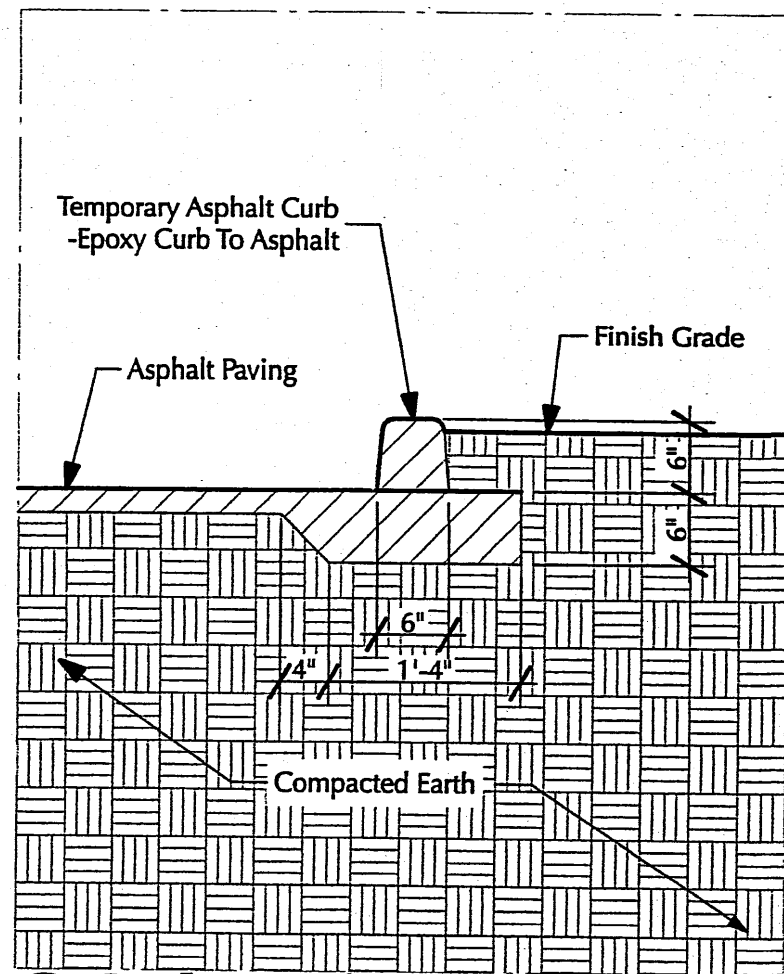
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PARKING:

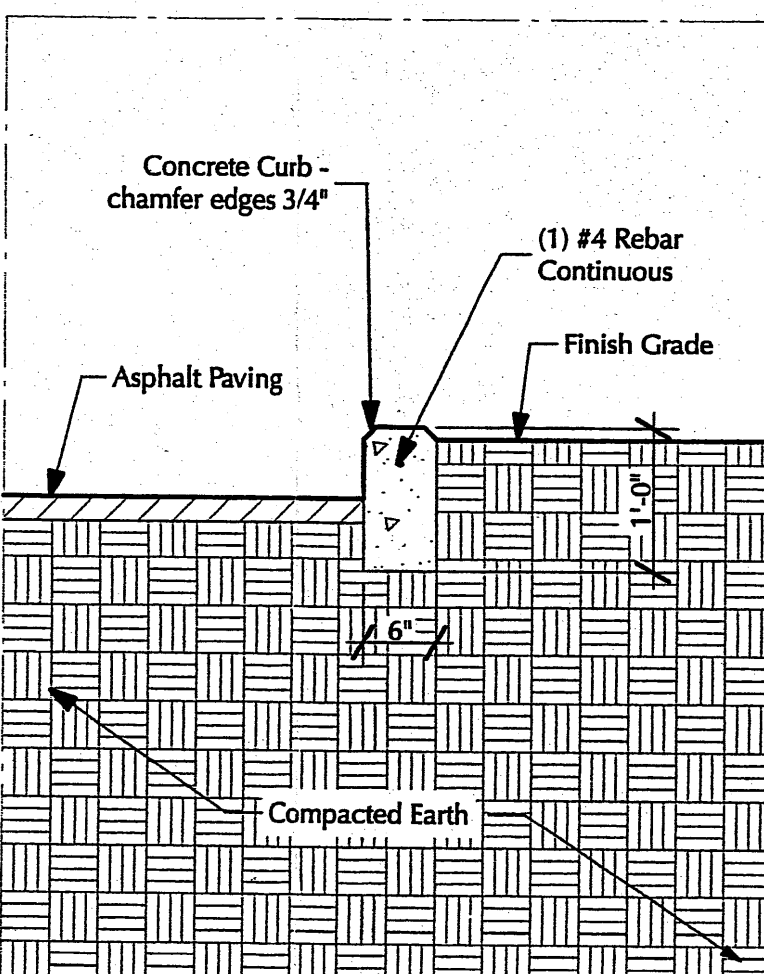
Required:	24 Spaces
Restaurant: (1 space per 4 seats) 96/4=	24 Spaces
Bus Discount - 10%	3 Spaces
Total	21 Spaces
Provided:	29 Spaces
HC Space	2 Spaces
Total	31 Spaces

BICYCLE PARKING
Required: 1 space/20 parking spaces
31 parking/20 = 2 spaces

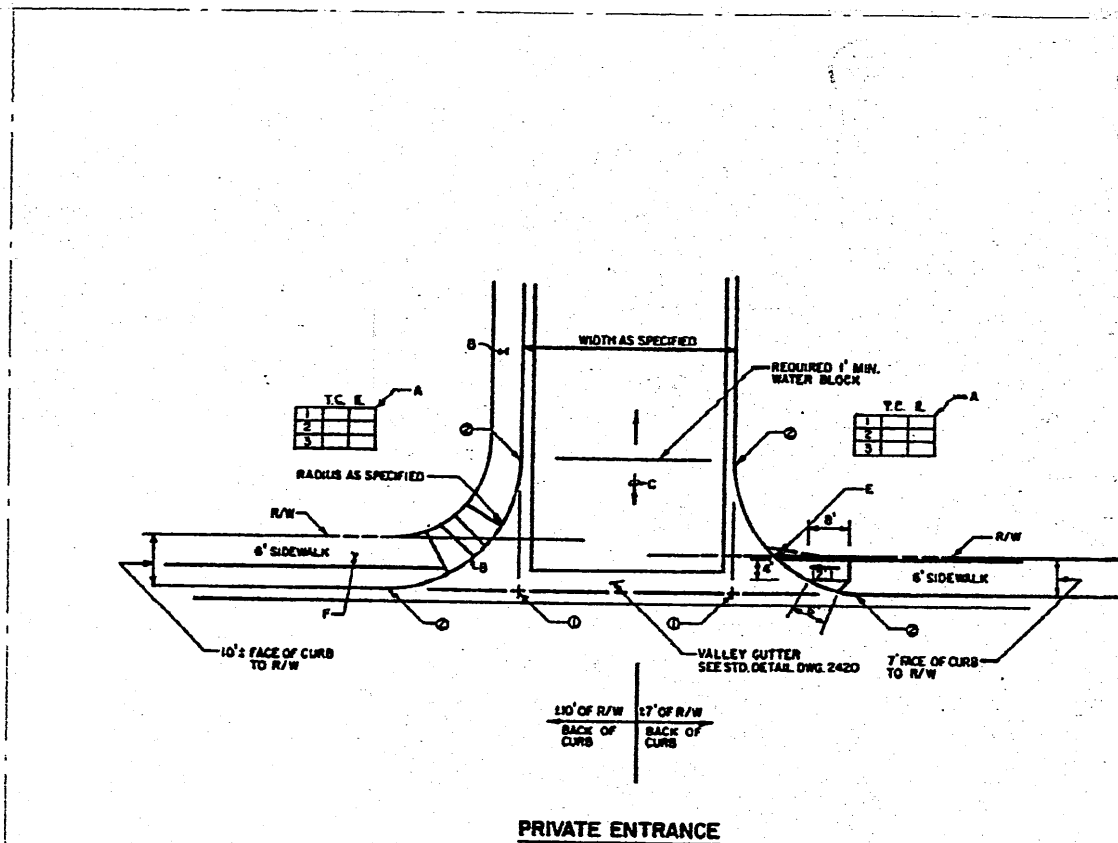
Parking Calculations



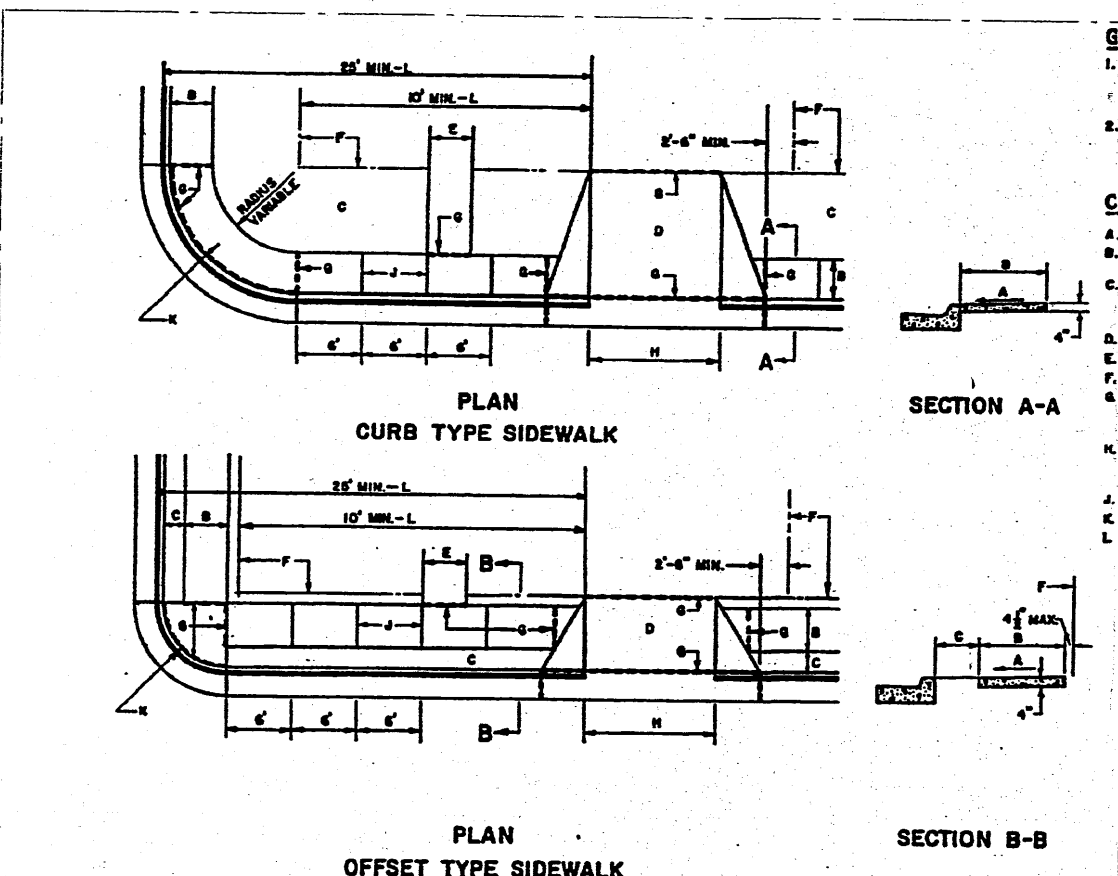
Curb Detail
Scale: 3/4" = 1'-0"



Curb Detail
Scale: 3/4" = 1'-0"



COA Detail - 2426



COA Detail - 2430

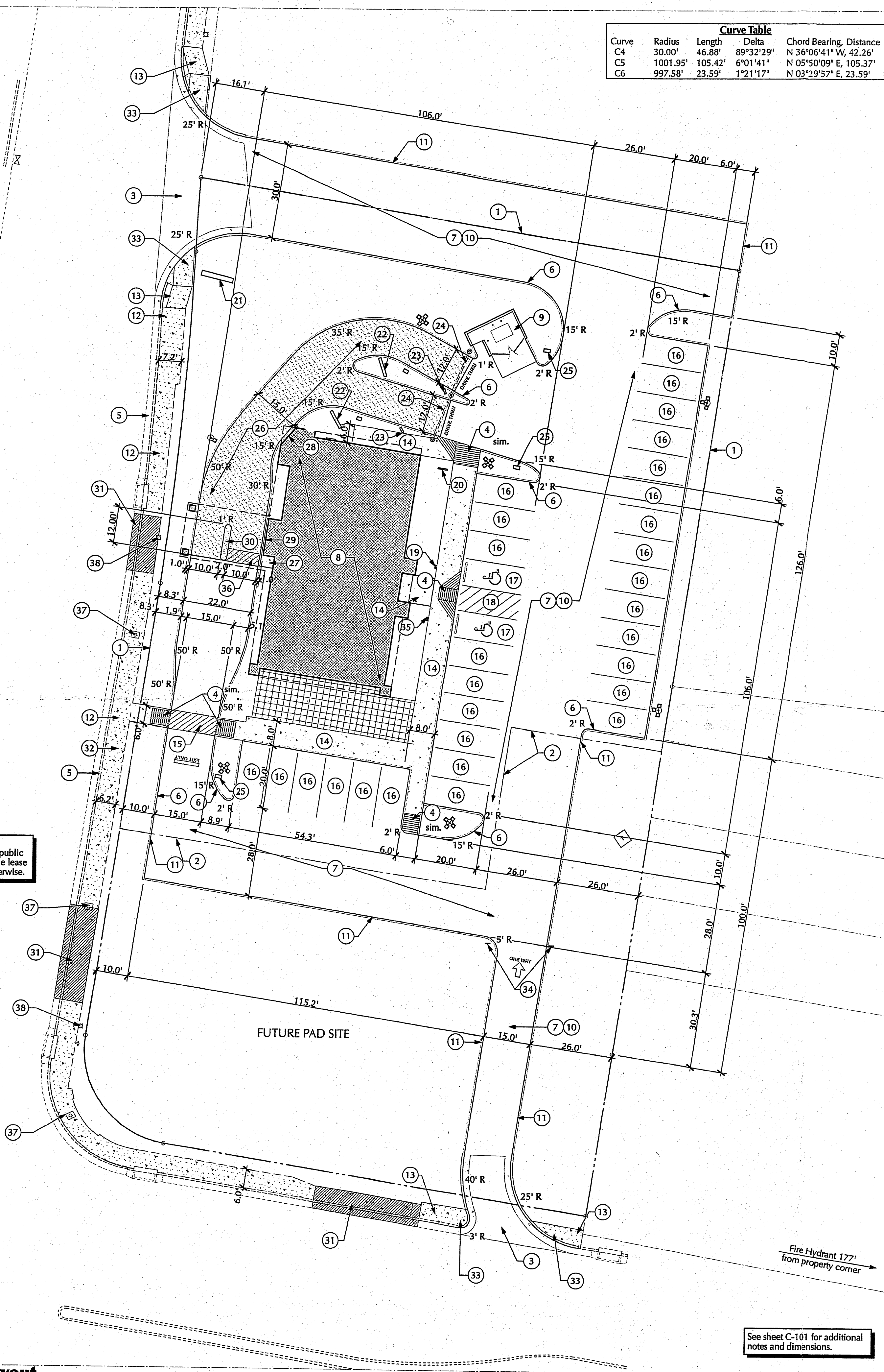
GENERAL NOTES:
1. THESE DETAILS ARE PROVIDED FOR HIGH TRAFFIC SITUATIONS. SEE DETAIL 2426 FOR OTHER SITUATIONS.
2. CONSTRUCTION NOTES:
A. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
B. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
C. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
D. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
E. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
F. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
G. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
H. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
I. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
J. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
K. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
L. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
M. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
N. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
O. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
P. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
Q. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
R. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
S. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
T. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
U. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
V. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
W. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
X. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
Y. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
Z. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.

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W. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
X. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
Y. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.
Z. SEE DETAIL 2426 FOR CONSTRUCTION NOTES.

NORTH

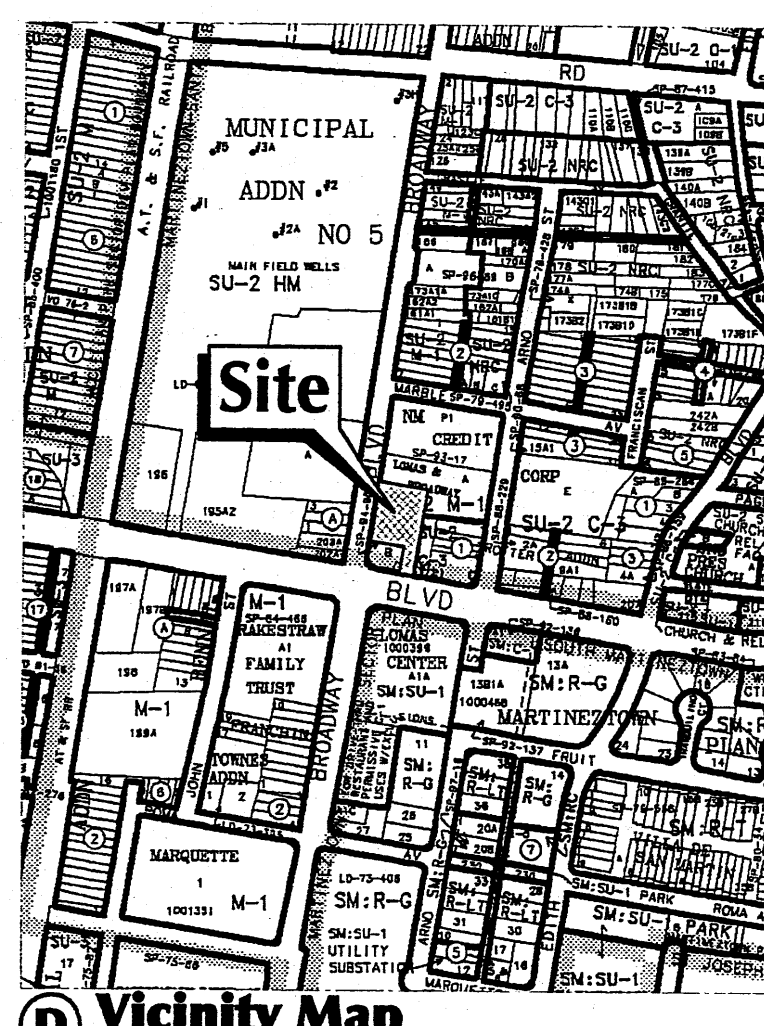
20' 10' 5' 0' 20'

Note: Improvements in the public right of way stop at the lease line unless noted otherwise.



See sheet C-101 for additional notes and dimensions.

Scale: 1" = 20'-0"

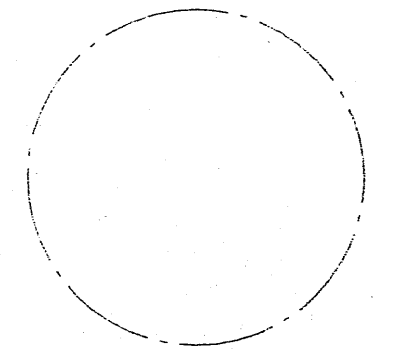
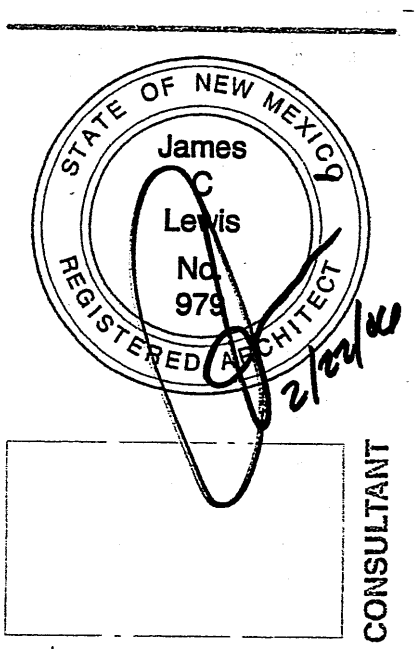


Vicinity Map

- Property line (typical)
- Lease line
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- Existing curb & gutter - replace any damaged sections - construct per COA drawing 2415A
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- 4" thick concrete sidewalk
- 6' wide painted crosswalk - white stripes
- Typical parking space 9'-0" wide (8'-6" minimum) x 20' with concrete wheel stop (or 18' x 2' overhang with 8' wide walk)
- Typical HC parking space 8'-6" x 20' with concrete wheel stop
- 8' wide handicap aisle for van space
- Handicapped sign - see detail 'V' on sheet C-501
- Bicycle rack (2 spaces minimum) - see detail 'X' on sheet C-101
- Monument sign - see detail 'AB' on sheet A-201 (NIC)
- Drive thru menu sign and order station - see detail 'Z' on sheet A-201
- Drive thru preview menu sign - see detail 'Y' on sheet A-201
- Drive thru clearance bar - see detail 'E' on sheet C-501
- Directional sign - see detail 'V' on sheet A-201
- 6" black concrete paving with W1.4xW1.4/6x6 woven wire mesh
- Concrete landing
- Pay window
- Pick up window
- Drive-thru window concrete island - see detail 'AB' on this sheet
- Close existing driveway and provide new concrete curb & gutter and sidewalk - construct per COA standards. 2415A
- Existing bus stop
- Sidewalk ramp, slope 1:12. Sidewalk ramp, slope 1:12. Provide truncated domes on sloped surfaces.
- Provide sign "NO ENTRY"
- Handicapped parking sign with "VAN" - see detail 'V' on sheet C-501
- 4' wide painted crosswalk - white stripes
- Existing water meter
- Existing street light

The engineer's certification required by the hydrology section needs to include certification that this site was constructed in accordance with the traffic circulation layout (TCL) before the certificate of occupancy is released.

Keyed Notes



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Carl's Jr.
800-B Broadway Blvd. NE
Albuquerque, NM 87102

ISSUE DATE:
30 December 05
REVISIONS:
15 February 2005

TRAFFIC CIRCULATION LAYOUT APPROVED
Signed: *ES* 3/1/06 Date: _____

Traffic Control Layout

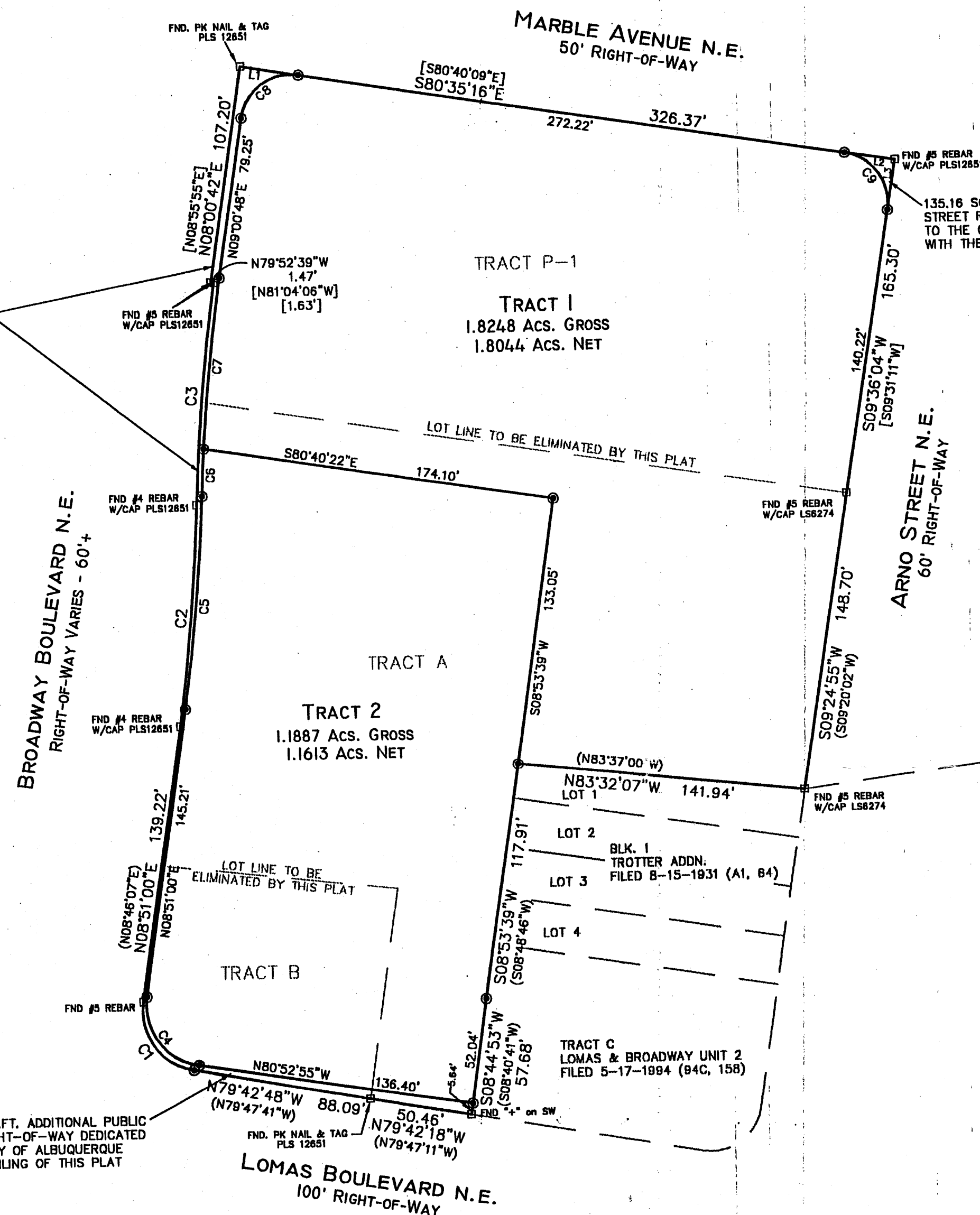
PROJECT 0531
SHEET 1
TCL
FEB 22 2006
HYDROLOGY SECTION

PLAT OF
TRACTS 1 & 2
LANDS OF SANDIA FOUNDATION
SECTION 17, T. 10 N., R. 3 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST 2005
SHEET 2 OF 2

1944.45 SQ.FT. ADDITIONAL PUBLIC STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

135.16 SQ.FT. ADDITIONAL PUBLIC STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

1944.45 SQ.FT. ADDITIONAL PUBLIC STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT



STATION 9-J15
X = 386,623.95
Y = 1,488,959.09
GROUND TO GRID = 0.99987130
DELTA ALPHA = -00'13'04"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927

STATION 8-K14R
X = 382,162.22
Y = 1,485,941.10
GROUND TO GRID = 0.99987824
DELTA ALPHA = -00'13'35"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927

50 30 10 0 50
20 25
SCALE: 1" = 50'
PROJECT NO. 0503PB17
DRAWN BY PGB
ZONE ATLAS: J-14-Z
.CR5

MONUMENT LEGEND

- ⊕ - FOUND CONTROL STATION AS NOTED
- - FOUND MONUMENT AS NOTED
- - COMPUTED CORNER (NOT SET)
- ⊙ - SET 1/2" REBAR W/YELLOW PLASTIC CAP STAMPED "GRITSKO L58686" UNLESS OTHERWISE NOTED

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	30.00'	46.37'	88°33'48"	N35°25'54"W (N35°30'47"W)	41.89'
C2	1000.00'	109.60'	6°16'46"	N05°42'37"E (N05°37'44"E)	109.54'
C3	1000.00'	109.60'	6°16'46"	N05°42'37"E (N05°37'44"E)	109.54'
C4	30.00'	46.88'	89°32'29"	N36°08'41"W	42.26'
C5	1001.95'	105.42'	6°01'41"	N05°50'09"E	105.37'
C6	997.58'	23.59'	1°21'17"	N03°29'57"E	23.59'
C7	997.58'	84.21'	4°50'12"	N06°35'42"E	84.19'
C8	25.00'	39.44'	90°23'56"	N54°12'46"E	35.48'
C9	25.00'	39.35'	90°11'20"	S35°29'36"E	35.41'

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Page: 2 of 2
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Mary Herrera Bern. Co. PLRT R 12.08

LINE TABLE		
LINE	BEARING	LENGTH
L1	S80°35'16"E	29.07'
L2	S80°35'16"E	25.08'
L3	S09°31'11"W	25.08'

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T10N R3E SEC. 17

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