

**DRAINAGE PLAN**

1. INTRODUCTION

THE SUBJECT PROPERTY CONSISTS OF A RESIDENCE AND TWO (2) 3 1/2' x 11' APARTMENTS AT 720 ROMA AVE. N.W. THE PROPOSED DEVELOPMENT IS TO BE A NINE (9) UNIT RESIDENTIAL CONDOMINIUM.

2. EXISTING CONDITIONS

THE SITE CURRENTLY CONSISTS OF A RESIDENCE AND TWO (2) SMALL APARTMENTS AND AN ADJACENT INFORMAL GRAVEL PARKING AREA TO THE EAST. IT IS VERY FLAT WITH EXISTING RUNOFF PONDING ON SITE. THERE IS NO CLEAR DRAINAGE PATTERNS WITH RESPECT TO OFFSITE FLOW THOUGH IT APPEARS THAT RUNOFF FROM THE SITE ULTIMATELY OVERFLOWS INTO ROMA AVE. ROMA IS A DEVELOPED CITY STREET WITH PAVING AND CURB AND GUTTER. THERE IS A DROP INLET IN THE FLOWLINE OF ROMA AVE. WEST OF THE SITE. THERE IS A PUBLIC GRAVEL ALLEY AT THE SOUTH SIDE OF THE PROPERTY THAT RUNS BETWEEN 7TH AND 8TH STREETS.

3. PROPOSED CONDITIONS

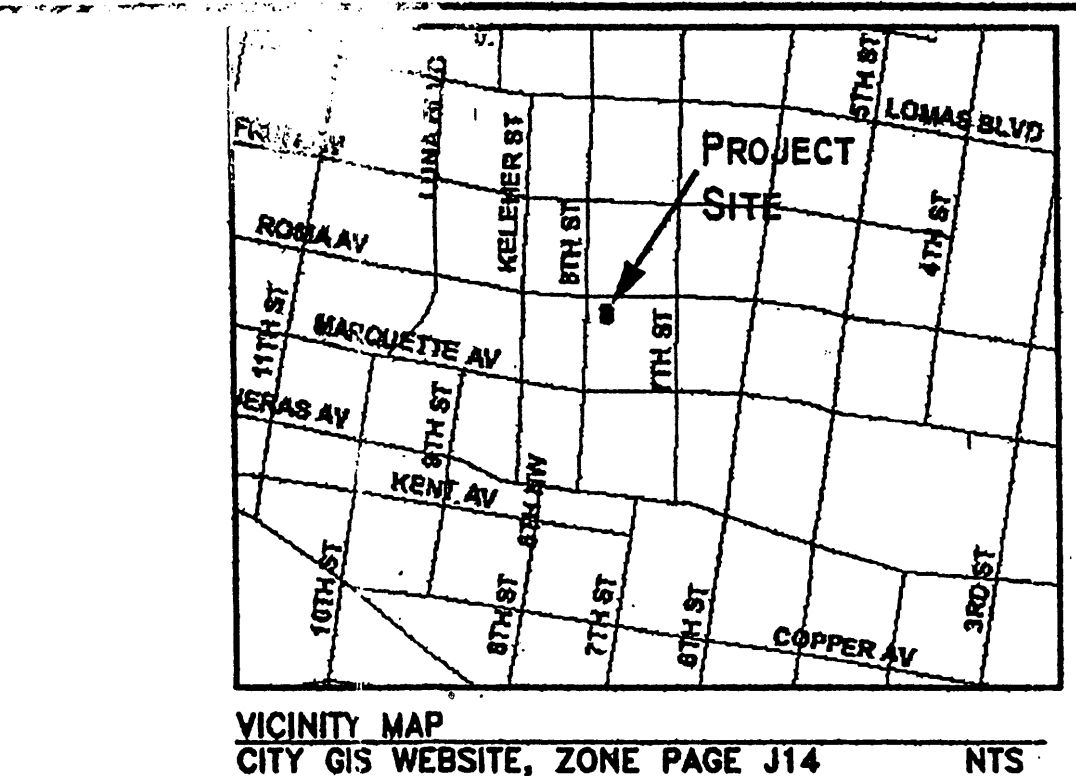
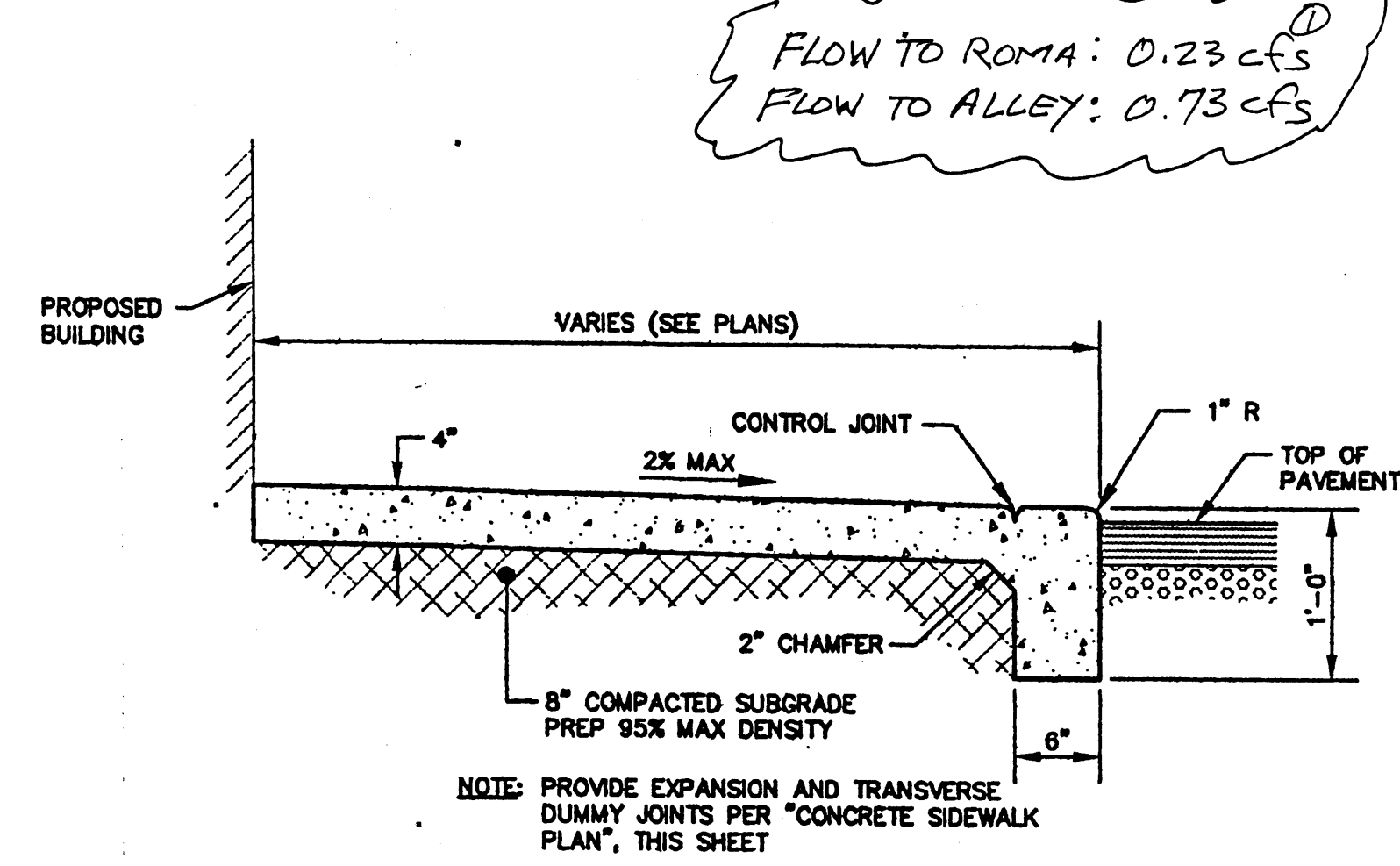
THE PROPOSED DEVELOPMENT IS TO BE A NINE (9) UNIT RESIDENTIAL CONDOMINIUM WITH RELATED ASPHALT PARKING TO THE SOUTH AND SIDEWALK ACCESS TO THE NORTH. THE BUILDING IS TO BE A THREE STORY FLAT ROOFED STRUCTURE. THE FRONT PORTION OF THE ROOF SLOPES TO THE NORTH INTO DOWNSPOUTS THAT WILL DAYLIGHT AT THE BUILDING AND FLOW TOWARDS ROMA AVE THROUGH A LANDSCAPED AREA. THE EAST AND WEST PORTIONS OF THE ROOF EACH SLOPE IN THESE DIRECTIONS AND INTO DOWNSPOUTS THAT ARE DAYLIGHTED INTO CATCH BASINS. THESE CATCH BASINS ARE CONNECTED TO A SHALLOW TRENCH DRAIN THAT DAYLIGHTS TO THE SOUTH. THIS WATER FLOWS TO THE SOUTH ASPHALT PARKING LOT WHERE IT SURFACE FLOWS TOWARD THE SOUTH-WEST. THE PUBLIC GRAVEL ALLEY FROM THE EAST PROPERTY LINE TO 8TH STREET IS TO BE PAVED. WATER WILL THEN SURFACE FLOW TO 8TH STREET.

4. HYDROLOGY

THE HYDROLOGY CALCULATIONS FOR BOTH THE EXISTING AND PROPOSED CONDITIONS IS SHOWN SEPARATELY ON THIS PLAN. THE PROCEDURE FOR 40 ACRE AND SMALLER BASINS OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, JANUARY 1993, WAS USED TO CALCULATE THE 100-YEAR, 6-HOUR PEAK RATE OF DISCHARGE AND VOLUME FROM THE SITE. REVIEW OF THE CALCULATIONS SHOW THAT THE PROPOSED DEVELOPMENT WILL INCREASE THE PEAK FLOW FROM THE SITE A MODEST 0.28 CFS.

**CALCULATIONS**

PRECIPITATION ZONE:	2			
$P_{2.100} = P_{2.000}$	2.25	IN		
TOTAL AREA ( $A_T$ ) =	0.2037	AC		
	EXISTING	DEVELOPED		
	CONDITIONS	CONDITIONS		
LAND TREATMENT	AREA (AC)	%	AREA (AC)	%
TREATMENT A	0	0%	0	0%
TREATMENT B	0	0%	0	0%
TREATMENT C	0.1689	82%	0	0%
TREATMENT D	0.0389	18%	0.2037	100%
VOLUME				
$E_w = (E_A + E_B + E_C + E_D) / A_T$	1.3	IN	2.12	IN
$V_{100} = (E_w / 12) A_T$	971	CF	1571	CF
PEAK DISCHARGE				
$Q_p = Q_{wA} + Q_{wB} + Q_{wC} + Q_{wD} + Q_{wE}$	0.6975	CFS	0.9574	CFS
COMPARISON				
VOLUME			600	CF
DELTA $V_{100}$				
PEAK DISCHARGE			0.28	CFS
DELTA $Q_{100}$				
ZONE 2				
EXCESS PRECIPITATION, $E$ (IN)	6 HR, 100 YR			
$E_A = 0.53$	IN			
$E_B = 0.78$	IN			
$E_C = 1.13$	IN			
$E_D = 2.12$	IN			
PEAK DISCHARGE (CFS/ACRE)	2 MINUTE $T_c$ , 100 YR			
$Q_{wA} = 1.58$	CFS/AC			
$Q_{wB} = 2.28$	CFS/AC			
$Q_{wC} = 3.14$	CFS/AC			
$Q_{wD} = 4.7$	CFS/AC			



**E.1/2 LOT 76, LOT 77 & LOT 78, BLOCK 7**  
**PERFECTO ARMIJO & BROTHERS ADDITION**  
PROJECTED SECTION 17, T.10N., R.3E., N.M.P.M.  
TOWN OF ALBUQUERQUE  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JUNE 2005

**LEGAL DESCRIPTION**

LOTS NUMBERED SEVENTY-SEVEN (77) AND SEVENTY-EIGHT (78) IN BLOCK NUMBERED SEVEN (7) OF PERFECTO ARMIJO AND BROTHERS ADDITION, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 8, 1887 IN PLAT BOOK D, FOLIO 116; TOGETHER WITH THE EAST ONE-HALF (1/2) OF LOT NUMBERED SEVENTY-SIX (76) IN BLOCK NUMBERED SEVEN (7) OF THE PERFECTO ARMIJO AND BROTHERS ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 8, 1887 IN PLAT BOOK D, FOLIO 116, AS SAID EAST ONE-HALF OF LOT NUMBERED SEVENTY-SIX (76) IS DESIGNATED IN THAT WARRANTY DEED FILED AUGUST 23, 1971 IN BOOK 908, PAGE 744.

**BENCHMARK**

THE BASIS OF ELEVATION FOR THIS SURVEY IS ACS BENCHMARK 4-J14, THE PUBLISHED ELEVATION OF WHICH IS 4854.015. SAID BENCHMARK IS LOCATED IN THE SOUTHEAST QUADRANT OF THE INTERSECTION OF ROMA AVENUE NE AND 6TH STREET NE.

**NOTE:**

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION ONLY. SURVEY INFORMATION WAS PROVIDED ELECTRONICALLY BY SURVEYS SOUTHWEST, LTD.

**CITY RIGHT-OF-WAY NOTE:**

ALL WORK DONE IN THE CITY OF ALBUQUERQUE RIGHT-OF-WAY REQUIRES AN 8018 PERMIT.

- CONSTRUCTION NOTES:**
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 280-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT (2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS, SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
  - ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
  - ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
  - IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
  - SEE ARCHITECTURAL SITE PLAN FOR OTHER SITE RELATED ITEMS.
  - TRENCH DRAIN AT ENTRY PORTALS TO BE ZURN "PERMA-TRENCH" Z-883. CATCH BASINS AT DOWN SPOTS TO BE ZURN CATCH BASIN Z-887 6"x20". DRILL WEEP HOLES IN BOTTOM OF CATCH BASINS SO THAT NO STANDING WATER REMAINS IN BASINS. THESE CAN BE OBTAINED AT CONCRETE SYSTEMS, INC., ALB. 505-884-1134.

- EROSION CONTROL MEASURES:**
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
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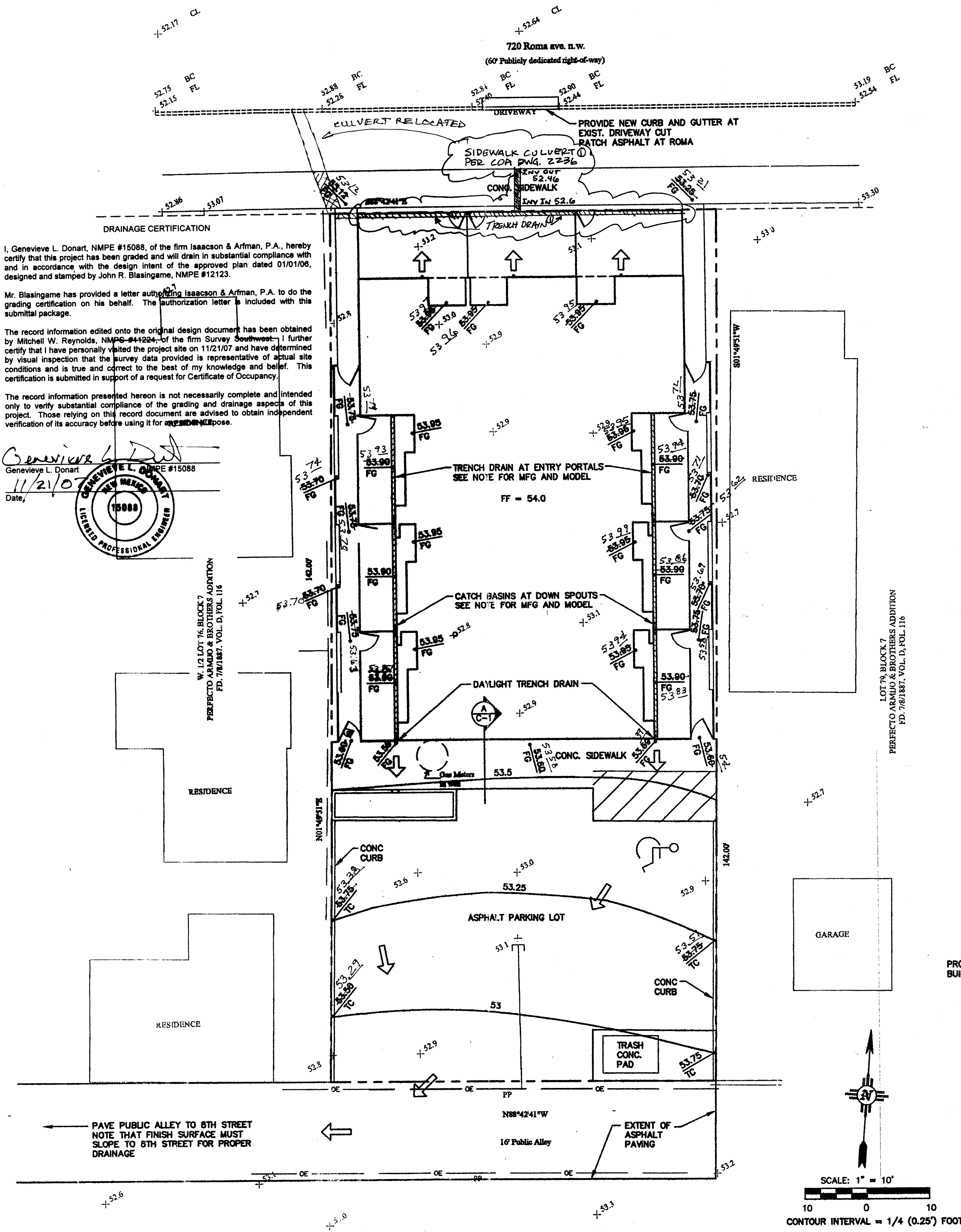
**D & P ENGINEERS & BUILDERS, INC.**  
435 S. GUADALUPE, SUITE 5  
SANTA FE, NM 87501  
505-470-1992 • FAX 505-885-8235 • E-MAIL: DPA@QWEST.NET

**PROJECT:** ROMA DEVELOPMENT  
**SHEET TITLE:** GRADING AND DRAINAGE PLAN  
**DATE:** 11/21/07  
**DESIGNED BY:** J.R.R.  
**DRAWN BY:** MAF  
**CHECKED BY:** J.R.R.  
**SCALE:** 1"=10'

**RECEIVED**  
DEC 06 2007  
HYDROLOGY SECTION

**SHEET NO.**  
**C-1**





**DRAINAGE CERTIFICATION**

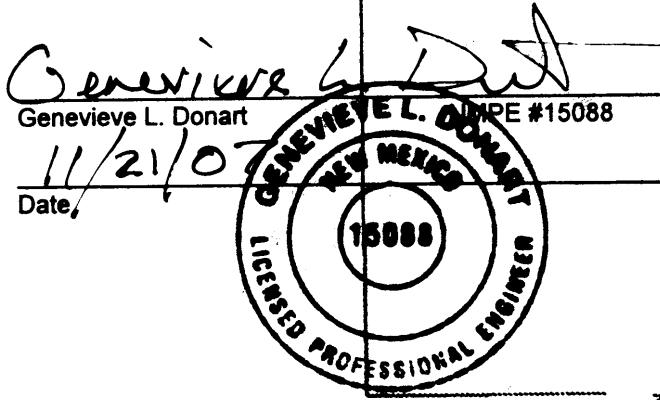
I, Genevieve L. Donart, NMPE #15088, of the firm Isaacson & Arman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 01/01/08, designed and stamped by John R. Blasingame, NMPE #12123.

Mr. Blasingame has provided a letter authorizing Isaacson & Arman, P.A. to do the grading certification on his behalf. The authorization letter is included with this submittal package.

The record information edited onto the original design document has been obtained by Mitchell W. Reynolds, NMPE #44224, of the firm Survey Southwest, I further certify that I have personally visited the project site on 11/21/07 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any purpose.

Genevieve L. Donart  
11/21/07  
Date



W. 12 LOT 76, BLOCK 7  
PERFECTO ARMIJO & BROTHERS ADDITION  
FD. 7/8/1887, VOL. D, LOT 116

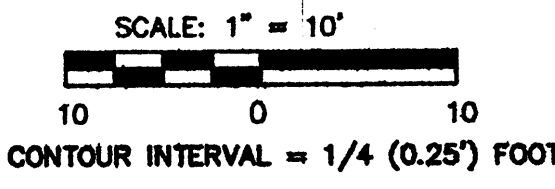
RESIDENCE

RESIDENCE

PAVE PUBLIC ALLEY TO 8TH STREET  
NOTE THAT FINISH SURFACE MUST  
SLOPE TO 8TH STREET FOR PROPER  
DRAINAGE

188°42'41"W  
16' Public Alley

EXTENT OF  
ASPHALT  
PAVING



# GRADING AND DRAINAGE PLAN

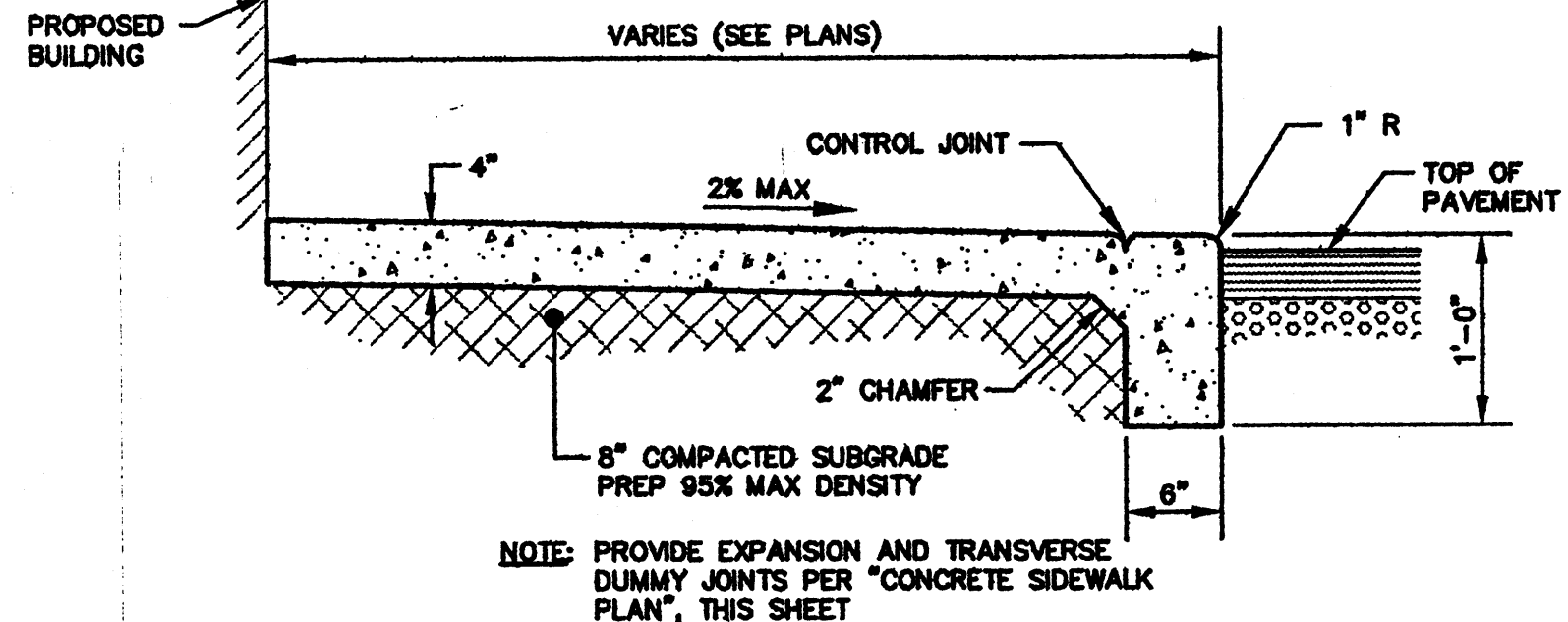
## DRAINAGE REPORT

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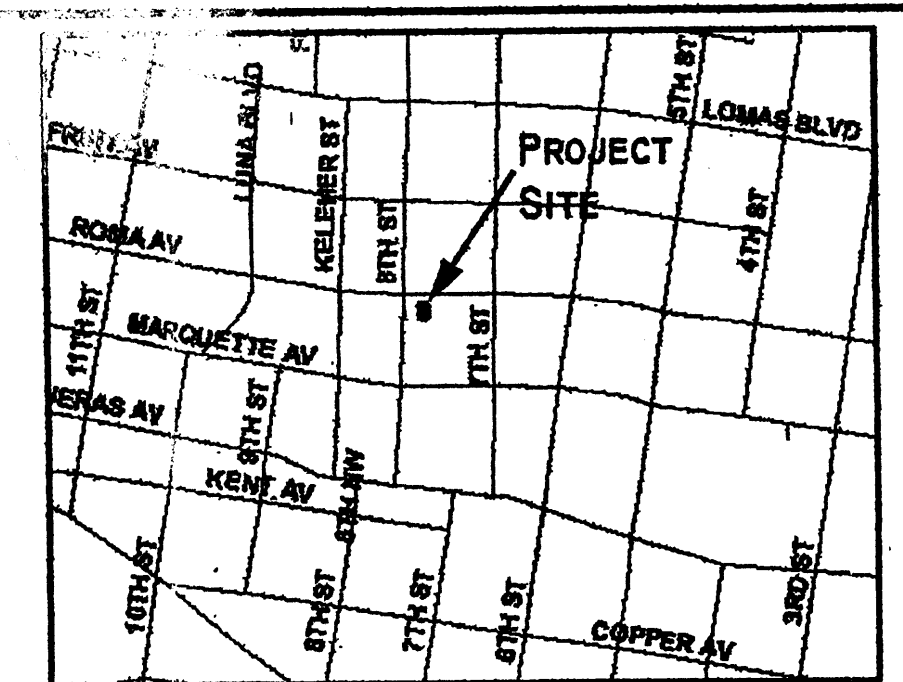
## CALCULATIONS

PRECIPITATION ZONE: 2		2.25	IN		
P <sub>100</sub> = P <sub>30</sub> =		0.2037	AC		
TOTAL AREA (A <sub>T</sub> ) =					
		EXISTING	DEVELOPED		
		CONDITIONS	CONDITIONS		
LAND TREATMENT		AREA (AC)	%	AREA (AC)	%
TREATMENT A		0	0%	0	0%
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TREATMENT C		0.1689	82%	0	0%
TREATMENT D		0.0389	19%	0.2037	100%
VOLUME					0.2037
E <sub>w</sub> = (E <sub>A</sub> + E <sub>B</sub> + E <sub>C</sub> + E <sub>D</sub> ) / A <sub>T</sub> =		1.3	IN	2.12	IN
V <sub>100</sub> = (E <sub>w</sub> / 12) A <sub>T</sub> =		971	CF	1571	CF
PEAK DISCHARGE					
Q <sub>p</sub> = Q <sub>100</sub> A <sub>T</sub> = Q <sub>100</sub> A <sub>B</sub> + Q <sub>100</sub> A <sub>C</sub> + Q <sub>100</sub> A <sub>D</sub> =		0.6975	CFS	0.9574	CFS
COMPARISON					
VOLUME				500	CF
DELTA V <sub>100</sub> =					
PEAK DISCHARGE				0.26	CFS
DELTA Q <sub>100</sub> =					
ZONE 2					
EXCESS PRECIPITATION, E (IN)		6 HR, 100 YR			
E <sub>A</sub> = 0.53		IN			
E <sub>B</sub> = 0.78		IN			
E <sub>C</sub> = 1.13		IN			
E <sub>D</sub> = 2.12		IN			
PEAK DISCHARGE (CFS/ACRE)		2 MINUTE T <sub>C</sub> , 100 YR			
Q <sub>100</sub> = 1.56		CFS/AC			
Q <sub>100</sub> = 2.28		CFS/AC			
Q <sub>100</sub> = 3.14		CFS/AC			
Q <sub>100</sub> = 4.7		CFS/AC			

FLOW TO ROMA: 0.23 cfs  
FLOW TO ALLEY: 0.73 cfs



**MONOLITHIC SIDEWALK SECTION**  
NOT TO SCALE



**E.1/2 LOT 76, LOT 77 & LOT 78, BLOCK 7  
PERFECTO ARMIJO & BROTHERS ADDITION  
PROJECTED SECTION 17, T.10N., R.3E., N.M.P.M.  
TOWN OF ATRISCO GRANT  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JUNE 2005**

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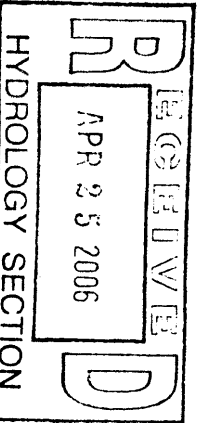
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**D & P  
ENGINEERS & BUILDERS, INC.**  
435 S. GUADALUPE, SUITE 5  
SANTA FE, NM 87501  
505-470-1992 • FAX 505-985-8235 • E-MAIL: D&P@WEST.NET

NO.	REVISION	BY	APP.	DATE
1	1	Genevieve L. Donart		4/21/06
2	2	John R. Blasingame		11/21/07



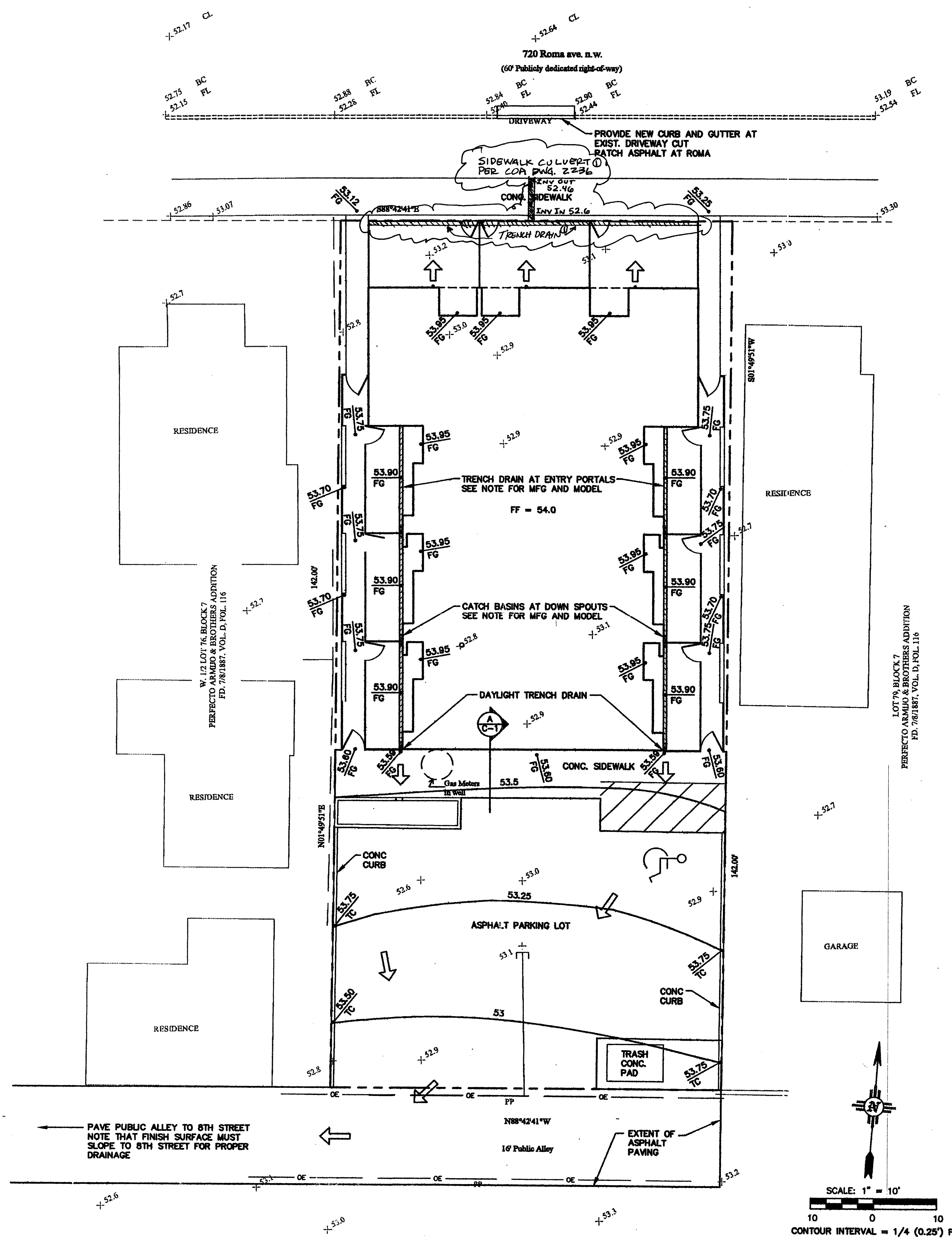
**PROJECT: 716 ROMA DEVELOPMENT**  
**SHEET TITLE: GRADING AND DRAINAGE PLAN**



**SHEET NO. C-1**

NOV 26 2007  
HYDROLOGY SECTION





Drainage Report

1. INTRODUCTION  
THE SUBJECT PROPERTY CONSISTS OF A RESIDENCE AND TWO (2) SMALL APARTMENTS AT 720 ROMA AVE. N.W. THE PROPOSED DEVELOPMENT IS TO BE A NINE (9) UNIT RESIDENTIAL CONDOMINIUM.

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THE SITE CURRENTLY CONSISTS OF A RESIDENCE AND TWO (2) SMALL APARTMENTS AND AN ADJACENT INFORMAL GRAVEL PARKING AREA TO THE EAST. IT IS VERY FLAT WITH EXISTING RUNOFF PONDS ON SITE. THERE IS NO CLEAR DRAINAGE PATTERNS WITH RESPECT TO OFFSITE FLOW THOUGH IT APPEARS THAT RUNOFF FROM THE SITE ULTIMATELY OVERFLOWS INTO ROMA AVE. ROMA IS A DEVELOPED CITY STREET WITH PAVING AND CURBS AND GUTTER. THERE IS A DROP INLET IN THE FLOW LINE OF ROMA AVE. WEST OF THE SITE. THERE IS A PUBLIC GRAVEL ALLEY AT THE SOUTH SIDE OF THE PROPERTY THAT RUNS BETWEEN 7TH AND 8TH STREETS.

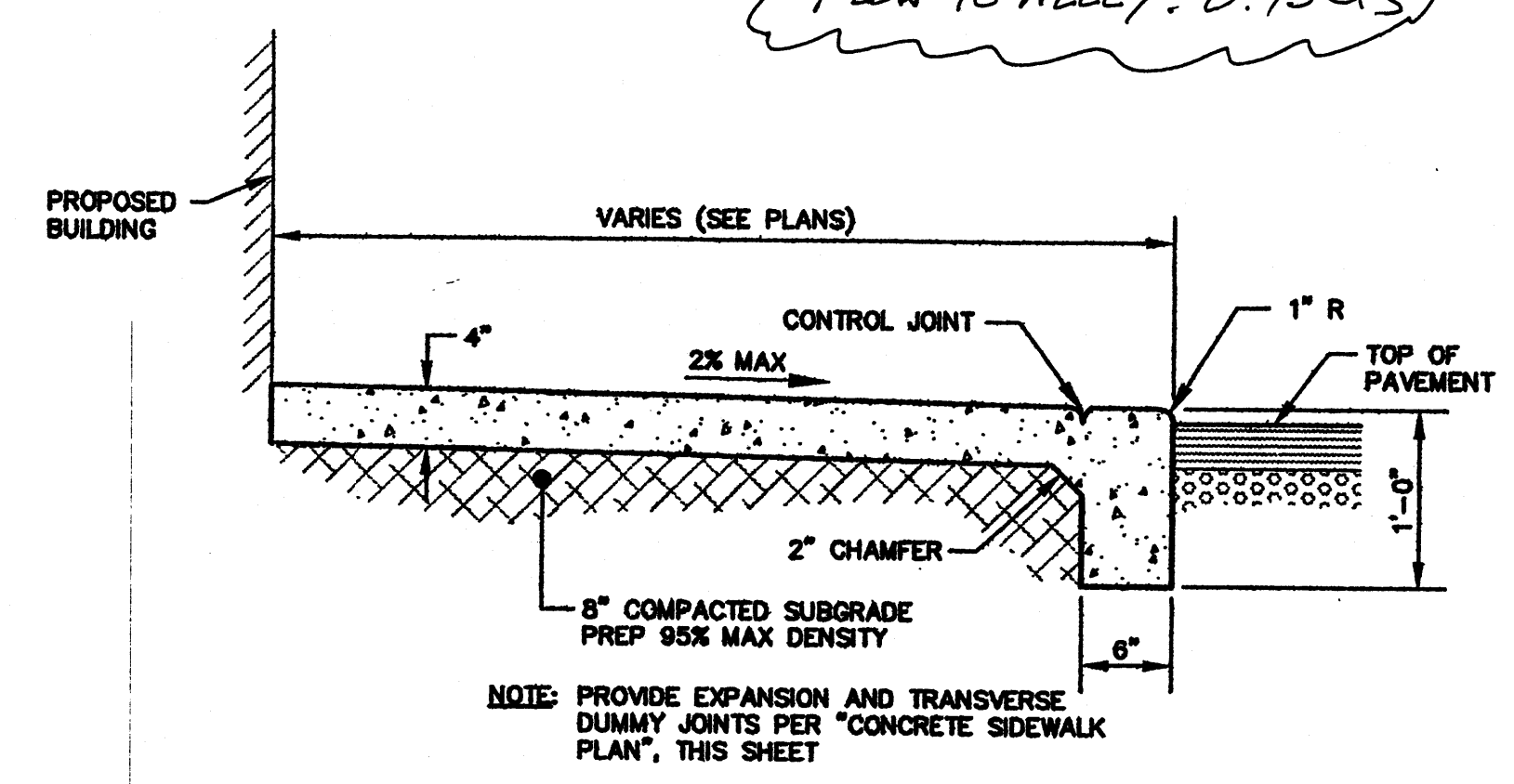
3. PROPOSED CONDITIONS  
THE PROPOSED DEVELOPMENT IS TO BE A NINE (9) UNIT RESIDENTIAL CONDOMINIUM WITH RELATED ASPHALT PARKING TO THE SOUTH AND SIDEWALK ACCESS TO THE NORTH. THE BUILDING IS TO BE A THREE STORY FLAT ROOFED STRUCTURE. THE FRONT PORTION OF THE ROOF SLOPES TO THE NORTH INTO DOWNSPOUTS THAT WILL DAYLIGHT AT THE BUILDING AND FLOW TOWARDS ROMA AVE THROUGH A LANDSCAPED AREA. THE EAST AND WEST PORTIONS OF THE ROOF EACH SLOPE IN THESE DIRECTIONS AND INTO DOWNSPOUTS THAT ARE DAYLIGHTED INTO CATCH BASINS. THESE CATCH BASINS ARE CONNECTED TO A SHALLOW TRENCH DRAIN THAT DAYLIGHTS TO THE SOUTH. THIS WATER FLOWS TO THE SOUTH ASPHALTED PARKING LOT WHERE IT SURFACE FLOWS TOWARD THE SOUTHWEST. THE PUBLIC GRAVEL ALLEY FROM THE EAST PROPERTY LINE TO 8TH STREET IS TO BE PAVED. WATER WILL THEN SURFACE FLOW TO 8TH STREET.

4. HYDROLOGY  
THE HYDROLOGY CALCULATIONS FOR BOTH THE EXISTING AND PROPOSED CONDITIONS IS SHOWN SEPARATELY ON THIS PLAN. THE PROCEDURE FOR 40 ACRE AND SMALLER BASINS OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, JANUARY 1993, WAS USED TO CALCULATE THE 100-YEAR, 6-HOUR PEAK RATE OF DISCHARGE AND VOLUME FROM THE SITE. REVIEW OF THE CALCULATIONS SHOW THAT THE PROPOSED DEVELOPMENT WILL INCREASE THE PEAK FLOW FROM THE SITE A MODEST 0.26 CFS.

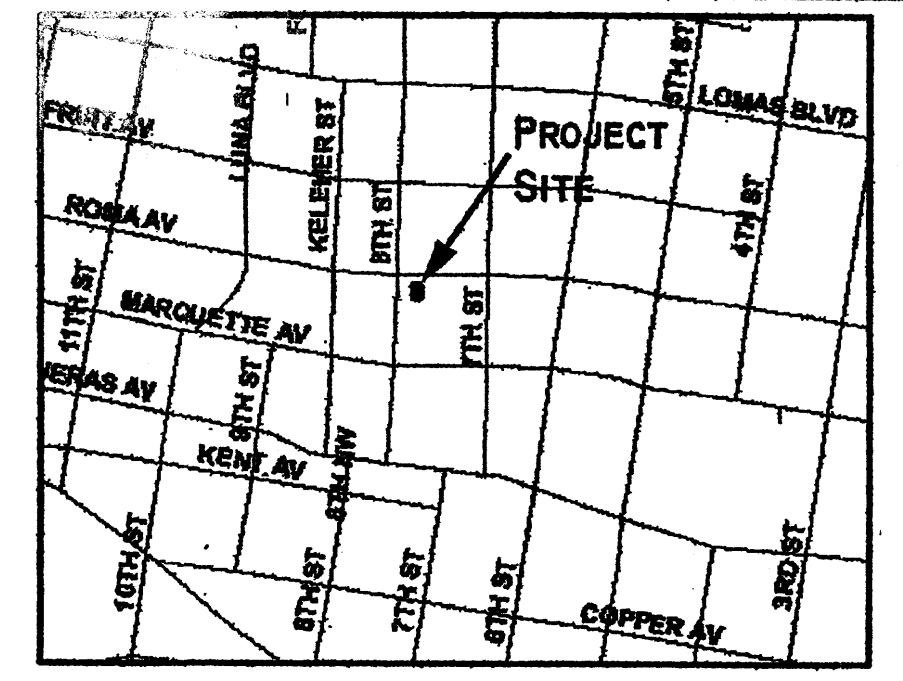
Calculations

PRECIPITATION ZONE:		2	
P <sub>100</sub> = P <sub>max</sub>		2.25	IN
TOTAL AREA (A <sub>T</sub> ) =		0.2037	AC
		EXISTING	DEVELOPED
		CONDITIONS	CONDITIONS
		AREA (AC)	%
LAND TREATMENT			
TREATMENT A		0	0%
TREATMENT B		0	0%
TREATMENT C		0.1689	82%
TREATMENT D		0.0369	18%
		0.2037	100%
VOLUME			
E <sub>w</sub> = (E <sub>A</sub> A <sub>A</sub> + E <sub>B</sub> A <sub>B</sub> + E <sub>C</sub> A <sub>C</sub> + E <sub>D</sub> A <sub>D</sub> ) / A <sub>T</sub> =		1.3	IN
V <sub>100</sub> = (E <sub>w</sub> / 12) A <sub>T</sub> =		971	CF
PEAK DISCHARGE			
Q <sub>p</sub> = Q <sub>100</sub> A <sub>T</sub> + Q <sub>100</sub> A <sub>B</sub> + Q <sub>100</sub> A <sub>C</sub> + Q <sub>100</sub> A <sub>D</sub> =		0.6975	CFS
		0.9574	CFS
COMPARISON			
VOLUME			
DELTA V <sub>100</sub> =			800
PEAK DISCHARGE			CF
DELTA Q <sub>100</sub> =			0.26
			CFS
ZONE 2			
EXCESS PRECIPITATION, E (IN)		8 HR, 100 YR	
E <sub>A</sub> = 0.63		IN	
E <sub>B</sub> = 0.78		IN	
E <sub>C</sub> = 1.13		IN	
E <sub>D</sub> = 2.12		IN	
PEAK DISCHARGE (CFS/ACRE)		2 MINUTE T <sub>c</sub> , 100 YR	
Q <sub>100</sub> = 1.58		CFS/AC	
Q <sub>100</sub> = 2.28		CFS/AC	
Q <sub>100</sub> = 3.14		CFS/AC	
Q <sub>100</sub> = 4.7		CFS/AC	

FLOW TO ROMA: 0.23 cfs  
FLOW TO ALLEY: 0.73 cfs



MONOLITHIC SIDEWALK SECTION  
NOT TO SCALE



VICINITY MAP  
CITY GIS WEBSITE, ZONE PAGE J14 NTS

E.1/2 LOT 76, LOT 77 & LOT 78, BLOCK 7  
PERFECTO ARMIJO & BROTHERS ADDITION  
PROJECTED SECTION 17, T.10N., R.3E., N.M.P.M.  
TOWN OF ATRISCO GRANT  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JUNE 2005

LEGAL DESCRIPTION  
LOTS NUMBERED SEVENTY-SEVEN (77) AND SEVENTY-EIGHT (78) IN BLOCK NUMBERED SEVEN (7) OF PERFECTO ARMIJO AND BROTHERS ADDITION, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 8, 1887 IN PLAT BOOK D, FOLIO 116; TOGETHER WITH THE EAST ONE-HALF (1/2) OF LOT NUMBERED SEVENTY-SIX (76) IN BLOCK NUMBERED SEVEN (7) OF THE PERFECTO ARMIJO AND BROTHERS ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 8, 1887 IN PLAT BOOK D, FOLIO 116, AS SAID EAST ONE-HALF OF LOT NUMBERED SEVENTY-SIX (76) IS DESIGNATED IN THAT WARRANTY DEED FILED AUGUST 23, 1971 IN BOOK 908, PAGE 744.

BENCHMARK  
THE BASIS OF ELEVATION FOR THIS SURVEY IS ACS BENCHMARK 4-J14, THE PUBLISHED ELEVATION OF WHICH IS 4854.015. SAID BENCHMARK IS LOCATED IN THE SOUTHEAST QUADRANT OF THE INTERSECTION OF ROMA AVENUE NE AND 6TH STREET NE.

NOTE:  
THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION ONLY. SURVEY INFORMATION WAS PROVIDED ELECTRONICALLY BY SURVEYS SOUTHWEST, LTD.

CITY RIGHT-OF-WAY NOTE:  
ALL WORK DONE IN THE CITY OF ALBUQUERQUE RIGHT-OF-WAY REQUIRES AN 8049 PERMIT.

- CONSTRUCTION NOTES:
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 280-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT (2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS, SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
  - ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
  - ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
  - IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
  - SEE ARCHITECTURAL SITE PLAN FOR OTHER SITE RELATED ITEMS.
  - TRENCH DRAIN AT ENTRY PORTALS TO BE ZURN "PERMA-TRENCH" Z-883. CATCH BASINS AT DOWN SPOTS TO BE ZURN CATCH BASIN Z-887 8"x20". DRILL WEEP HOLES IN BOTTOM OF CATCH BASINS SO THAT NO STANDING WATER REMAINS IN BASINS. THESE CAN BE OBTAINED AT CONCRETE SYSTEMS, INC., ALB. 505-884-1134.

- EROSION CONTROL MEASURES:
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
  - THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
  - WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
  - UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RESEEDING ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION; THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

D & P  
ENGINEERS & BUILDERS, INC.  
435 S. GUADALUPE, SUITE 5  
SANTA FE, NM 87501  
505-470-1992 • FAX 505-985-9235 • E-MAIL INFO@D&P.NET

NO. 004471  
REVISION 1  
DATE 4/2/06  
BY APP. JRB  
DESIGNED BY: JRB  
PROJECT: ROMA DEVELOPMENT  
DRAWN BY: MFP  
DATE: 01/06/06  
CHECKED BY: J.R.B.  
SCALE: 1"=10'

ROMA DEVELOPMENT  
GRADING AND DRAINAGE PLAN

APR 2 5 2006  
HYDROLOGY SECTION

SHEET NO.  
C-1

Fire Hydrant  
Approx. 75'-0"  
Located NE Corner  
of 8th / Roma Ave.

Remove Curb Cuts  
-see note 1

General Note:

Project Site  
720 Roma Av. NW

treddesign@earthlink.net

Parking Space  
Asphalt Surface

Driveway  
Asphalt Surface

Roll out  
7'-0" x 5'-0"  
Dumpster

6" Conc. Pad  
Min. 4000 psi

### Solid Waste Bin Detail

scale 1/2" = 1'-0"

-see civil sh.  
for curb detail

- Wheel Chair Ramp  
4" Curb per ANSI 406  
max. slope 1:20

—71"x8"x5" Conc. Parking Bumper  
typ.

GARAGE

8"CMU WALL  
Encroaching on site

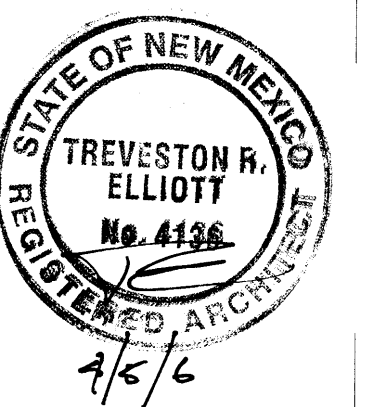
### HC Sign Detail

scale 1/2" = 1'-0"

TRAFFIC CIRCULATION LAYOUT  
APPROVED

JS 4/17/64 \_\_\_\_\_

Signed \_\_\_\_\_ Date \_\_\_\_\_



Date:  
21 December 2005  
Sheet:  
TRAFFIC CONTROL  
LAYOUT

RECEIVED  
NOV 01 2007  
HYDROLOGY SECTION

A-083

## Traffic Control Layout

Scale 1/8" = 1'-0"



Fire Hydrant  
Approx. 75'-0"  
Located NE Corner  
of 8th / Roma Ave.

Remove Curb Cuts  
-see note 1

1. Remove existing driveway entrance's  
Replace with new Conc. Sidewalk.  
Patch Curb and Gutter where required  
Conform to city Specs. Paving Sidewalk Details DWG 2430  
Curb Type Sidewalk

RESIDENCE

-see civil sht.  
for curb detail

- Wheel Chair Ramp  
4" Curb per ANSI 406  
max. slope 1:20

—71"x8"x5" Conc. Parking Bumper  
typ.

8"CMU WALL  
Encroaching on site

16' Public Alley

**Alley to be paved west to 8th Street.**

## Traffic Control Layout

Scale 1/8" = 1'-0"

# VICINITY PLAN

NTS

Parking Space  
Asphalt Surface

Driveway  
Asphalt Surface

### Solid Waste Bin Detail

scale 1/2" = 1'-0"

### HC Sign Detail


scale 1/2" = 1'-0"

treddesign@earthlink.net

716 Roma Avenue

716 Roma Avenue NW  
ALBUQUERQUE, NEW MEXICO 87102

TRAFFIC CIRCULATION LAYOUT  
APPROVED

 4/17/06 \_\_\_\_\_  
Signed Date

RECEIVED  
APR 05 2006  
LAND DEVELOPMENT SECTION

Date:  
21 December 2005  
Sheet:  
TRAFFIC CONTROL  
LAYOUT

A-083