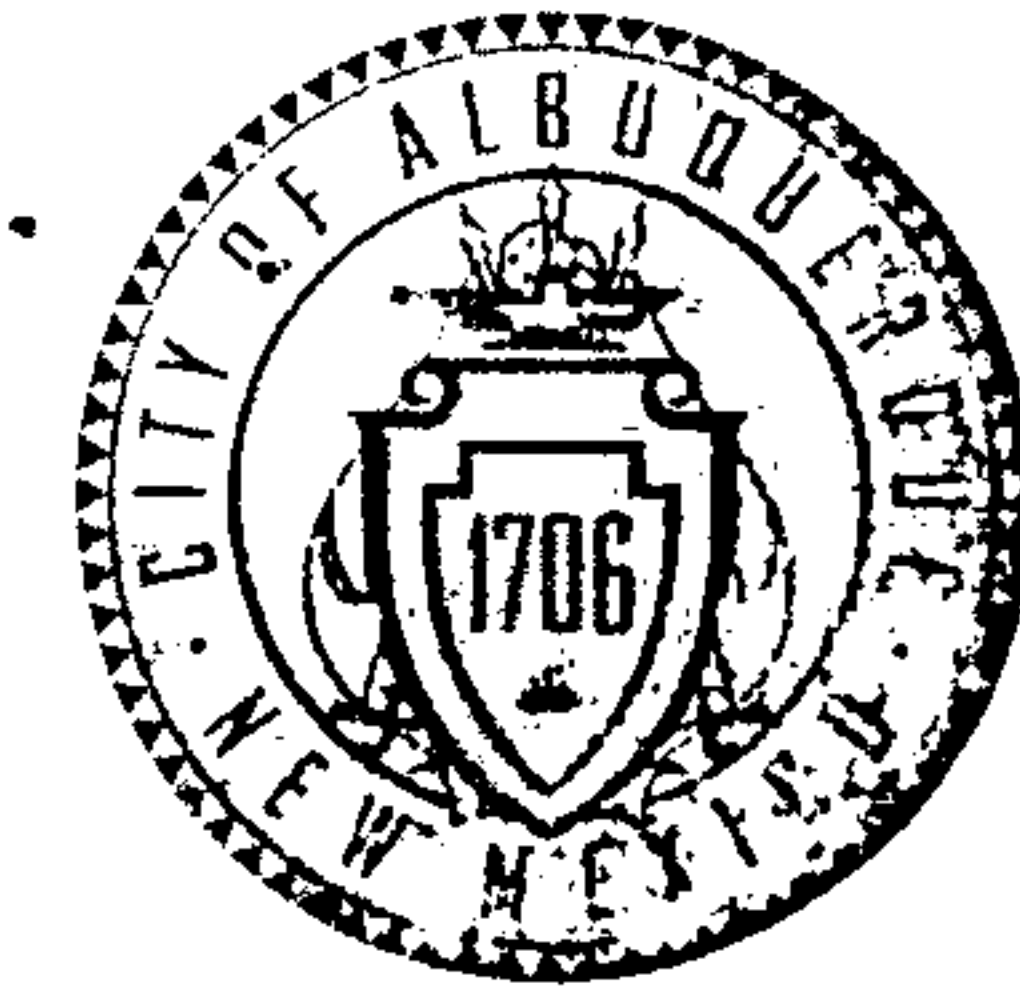


CITY OF ALBUQUERQUE



December 18, 2008

J. Graeme Means, P.E.
Jeffery G. Mortensen, P.E.
High Mesa Consulting Group
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

**Re: Wesst Corp, 609 Broadway Blvd NE,
(J-14/D158)
Approval of Permanent Certificate of Occupancy,
Engineer's Stamp Dated: 3-22-07
Certification dated 12-15-2008**

PO Box 1293

Mr. Means,

Albuquerque

Based upon the information provided in your submittal received 12/18/08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

NM 87103

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

www.cabq.gov

C: CO Clerk—Katrina Sigala
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: WESST CORP ZONE ATLAS/DRNG. FILE #: J14/D158
 DRB #: 1005261 EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: TRACT 1, LANDS OF WESST CORP
 CITY ADDRESS: 609 BROADWAY BLVD NE, ALBUQUERQUE NM

ENGINEERING FIRM: HIGH MESA CONSULTING GROUP CONTACT: GRAEME MEANS, PE 13676
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

OWNER: CITY OF ALBUQUERQUE, DEPT. OF MUNICIPAL DEVELOP. CONTACT: SUZANNE BUSH
 ADDRESS: P.O. BOX 1293 PHONE: 768-3616
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87103

ARCHITECT: STUDIO SOUTHWEST ARCHITECTS INC. CONTACT: RICH BRAUN
 ADDRESS: 2101 MOUNTAIN ROAD NW PHONE: (505) 843-9639
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87104

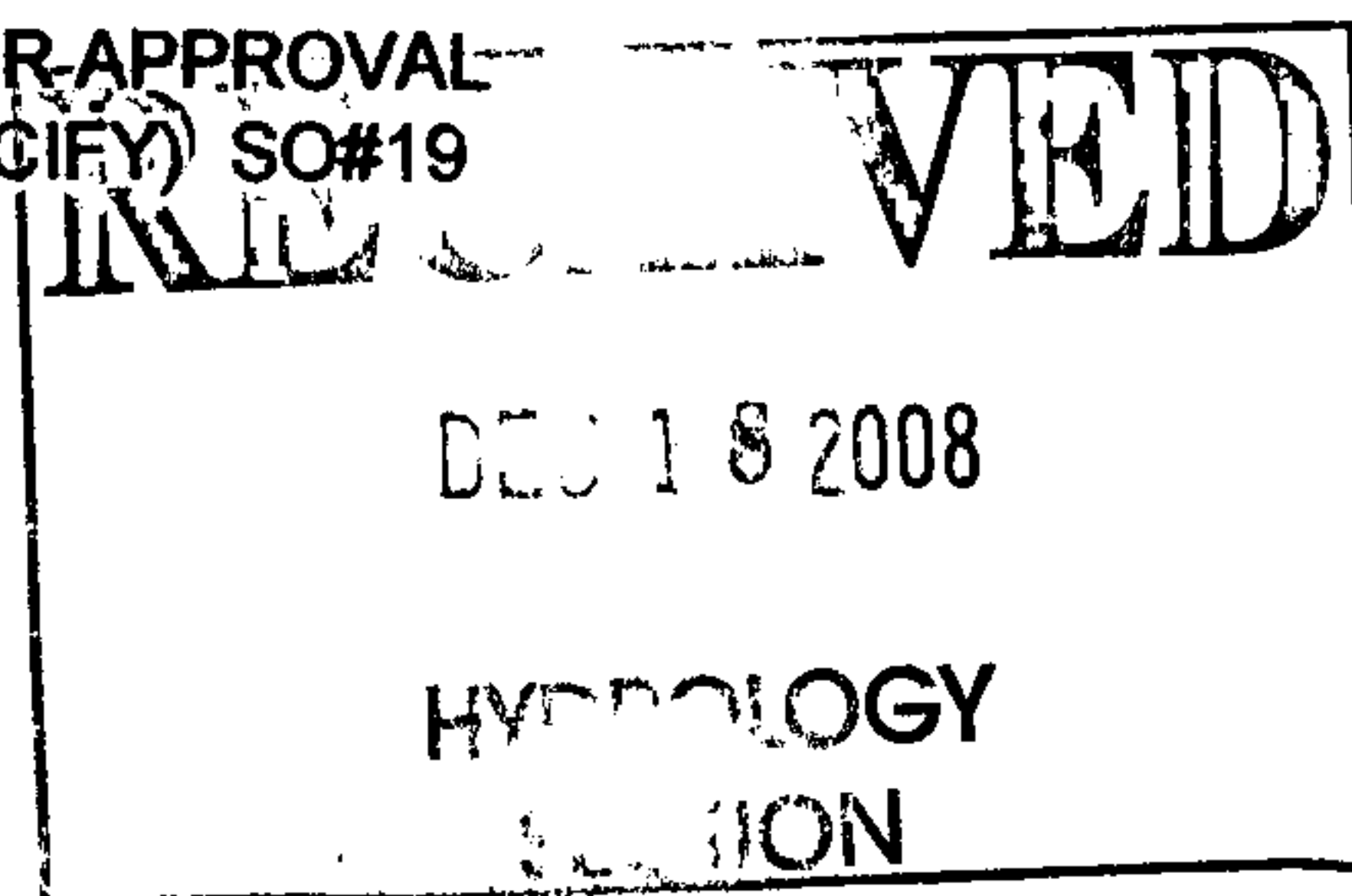
SURVEYOR: HIGH MESA CONSULTING GROUP CONTACT: CHARLES CALA, NMPS 11184
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

CONTRACTOR: GERALD MARTIN, LTD CONTACT: TIM COUGHENOUR
 ADDRESS: PO BOX 91450 PHONE: 263-0225
 CITY, STATE: ABQ, NM ZIP CODE: 87199-1450

- TYPE OF SUBMITTAL:**
- DRAINAGE REPORT
 - DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
 - DRAINAGE PLAN RESUBMITTAL
 - CONCEPTUAL GRADING & DRAINAGE PLAN
 - GRADING PLAN
 - EROSION CONTROL PLAN
 - ENGINEER'S CERTIFICATION (HYDROLOGY)
 - CLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT (TCL)
 - ENGINEER'S CERTIFICATION (TCL)
 - ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
 - OTHER

- CHECK TYPE OF APPROVAL SOUGHT:**
- SIA/FINANCIAL GUARANTEE RELEASE
 - PRELIMINARY PLAT APPROVAL
 - S. DEV. PLAN FOR SUB'D APPROVAL
 - S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
 - SECTOR PLAN APPROVAL
 - FINAL PLAT APPROVAL
 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM.)
 - CERTIFICATE OF OCCUPANCY (TEMP.)
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - OTHER (SPECIFY) SO#19

WAS A PRE-DESIGN CONFERENCE ATTENDED:
 YES
 NO
 COPY PROVIDED



DATE SUBMITTED: 12/18/08 BY: GRAEME MEANS

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



June 28, 2006

Levi Valdez, P.E.
George T. Rodriguez Consultants
12800 San Juan NE
Albuquerque, NM 87123

Re: A-1 Pools Inc, 1315 1st St. NW
Grading and Drainage Plan
Engineer's Stamp dated 06-~~28~~²²-06 (J14-D156)

Dear Mr. Valdez,

P.O. Box 1293

Based upon the information provided in your submittal received 06-09-06, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Albuquerque

Also, prior to Certificate of Occupancy release, the building needs to be provided with a gutter system ensuring that the runoff from the building will reach the pavement and a Engineer Certification of the grading plan per the DPM checklist will be required.

New Mexico 87103

If you have any questions, you can contact me at 924-3977.

www.cabq.gov

Sincerely,

Rudy E. Rael Associate Engineer
Planning Department.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

PROJECT TITLE: A-1 POOLS, INC., (1ST ST. N.W.) ZONE MAP/DRG. FILE # J-14/D156
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT "16-A", BLOCK 14, PARIS ADDITION
CITY ADDRESS: 1315 FIRST STREET N.W., ALBUQUERQUE, NEW MEXICO

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. CONTACT: LEVI VALDEZ
GEORGE T. RODRIGUEZ - CONSULT. PHONE: 610-0593
ADDRESS: 12800 SAN JUAN N.E. ZIP CODE: 87123
CITY, STATE: ALBUQUERQUE, NEW MEXICO

OWNER: ARMANDO CABRERA CONTACT: ARMANDO CABRERA
ADDRESS: _____ PHONE: 363-1391
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: _____

ARCHITECT: ? CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: ASSOCIATED LAND SURVEYORS CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: _____

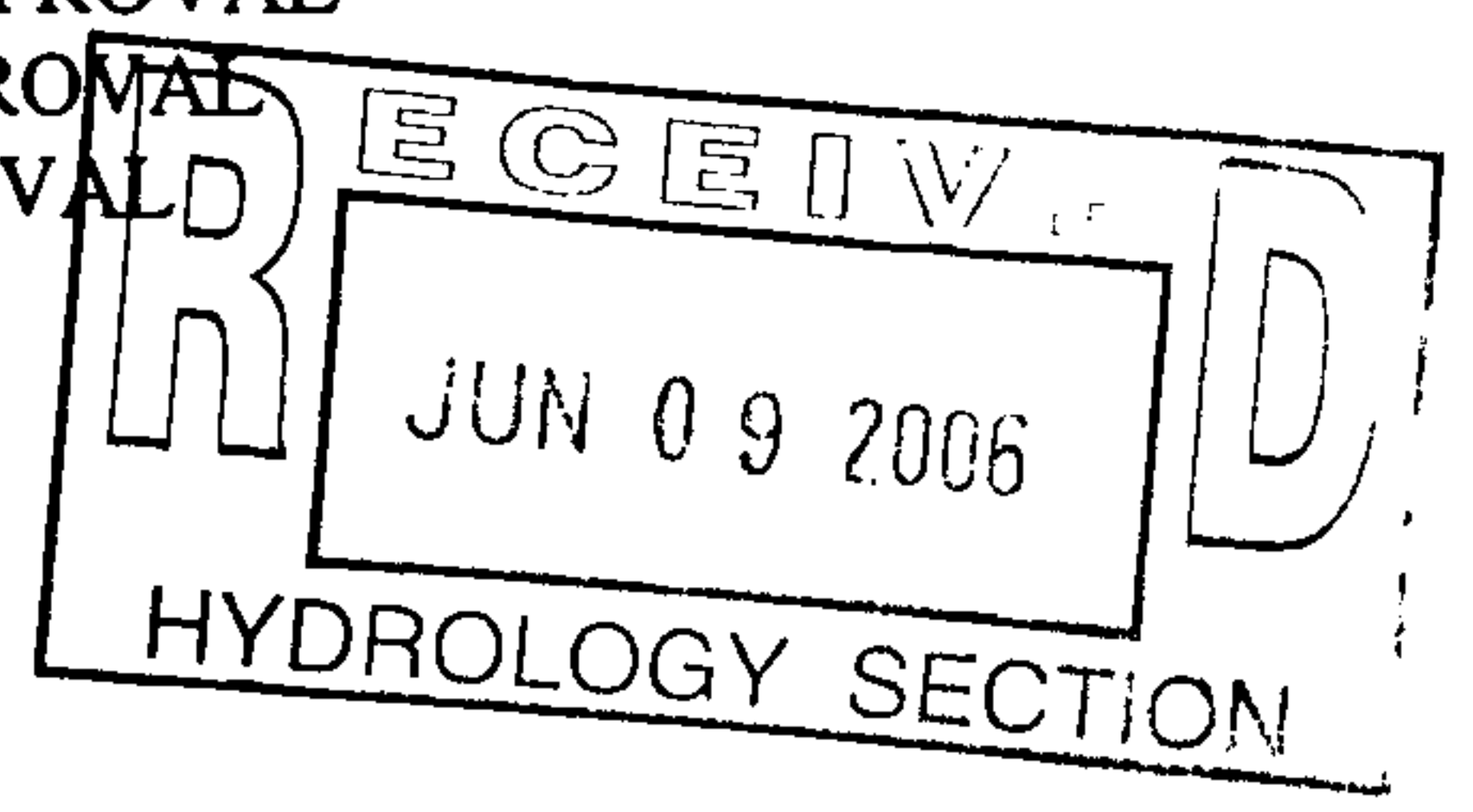
CONTRACTOR: ? CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

- TYPE OF SUBMITTAL:
- DRAINAGE REPORT
 - DRAINAGE PLAN 1ST SUBMITTAL
 - DRAINAGE PLAN RESUBMITTAL
 - CONCEPTUAL G & D PLAN
 - GRADING PLAN
 - EROSION CONTROL PLAN
 - ENGINEER'S CERT (HYDROLOGY)
 - CLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT
 - ENGINEER'S CERT (TCL)
 - ENGINEER'S CERT (DRB SITE PLAN)
 - OTHER

- CHECK TYPE OF APPROVAL SOUGHT:
- SIA/FINANCIAL GUARANTEE RELEASE
 - PRELIMINARY PLAT APPROVAL
 - S. DEV. PLAN FOR SUB'D APPROVAL
 - S. DEV. FOR BLDG. PERMIT APPROVAL
 - SECTOR PLAN APPROVAL
 - FINAL PLAT APPROVAL
 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM)
 - CERTIFICATE OF OCCUPANCY (TEMP)
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - OTHER (SPECIFY)

See paid

WAS A PRE-DESIGN CONFERENCE ATTENDED:
 YES
 NO
 COPY PROVIDED



SUBMITTED BY: GEORGE T. RODRIGUEZ DATE: 06-07-06

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



June 19, 2006

Levi Valdez, P.E.
George T. Rodriguez Development Consultants
12800 San Juan NE
Albuquerque, NM 87123

**Re: A-1 Pools, 1315 First Street NW, Traffic Circulation Layout
Engineer's Stamp dated 6-02-06 (J14-D156)**

Dear Mr. Valdez,

Based upon the information provided in your submittal received 6-09-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show and dimension all drivepads located on the adjacent lots.
2. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
3. The handicapped spaces should be 8.5 foot in width and must include an 8-foot wide van access aisle; all other aisles should be 5 feet in width.
4. What do notes A and B indicate? Provide a legend.
5. Please include two copies of the traffic circulation layout at the next submittal.
6. Show the pedestrian path.
7. If the 6' sidewalk located along the proposed building is flush with the pavement, how is the pedestrian path separated from the vehicle pathway?
8. Please refer to all applicable city standards.
9. All standard parking spaces have a minimum length of 18 feet. The bumper cannot be placed within this 18-foot area. It should be placed so as to allow a two-foot overhang.
10. Do you have a shared access agreement with the adjacent property owner? If so, provide recording information and remove the fencing in this area. You cannot block access to the adjacent lot if this driveway is shared.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

PROJECT TITLE: A-1 POOLS, INC., (1ST ST. N.W.) ZONE MAP/DRG. FILE # J-14/D156
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT "16-A", BLOCK 14, PARIS ADDITION
CITY ADDRESS: 1315 FIRST STREET N.W., ALBUQUERQUE, NEW MEXICO

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. GEORGE T. RODRIGUEZ - CONSULT. CONTACT: LEVI VALDEZ
ADDRESS: 12800 SAN JUAN N.E. PHONE: 610-0593
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87123

OWNER: ARMANDO CABRERA CONTACT: ARMANDO CABRERA
ADDRESS: _____ PHONE: 363-1391
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: _____

ARCHITECT: ? CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

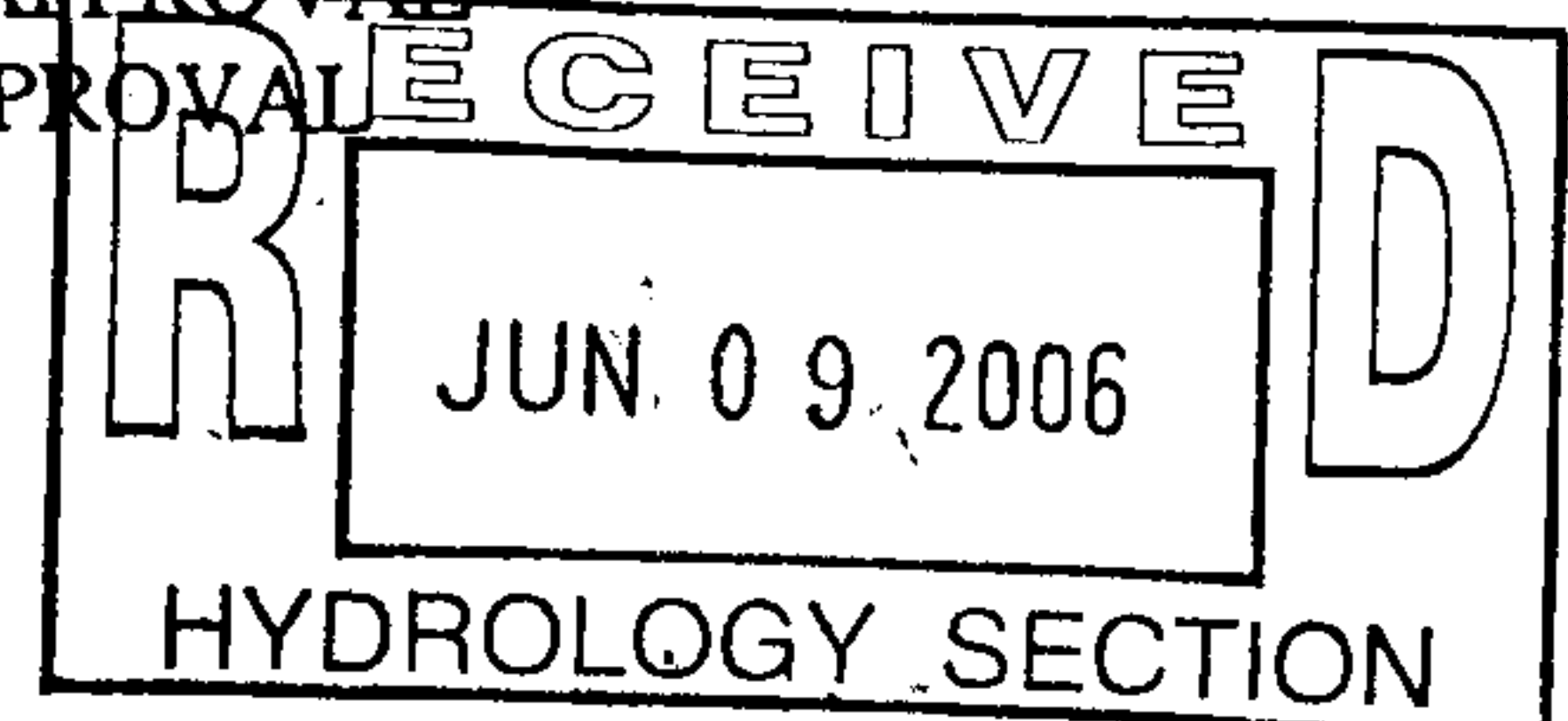
SURVEYOR: ASSOCIATED LAND SURVEYORS CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: _____

CONTRACTOR: ? CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

- TYPE OF SUBMITTAL:
- DRAINAGE REPORT
 - DRAINAGE PLAN 1st SUBMITTAL
 - DRAINAGE PLAN RESUBMITTAL
 - CONCEPTUAL G & D PLAN
 - GRADING PLAN
 - EROSION CONTROL PLAN
 - ENGINEER'S CERT (HYDROLOGY)
 - CLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT
 - ENGINEER'S CERT (TCL)
 - ENGINEER'S CERT (DRB SITE PLAN)
 - OTHER

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 - PRELIMINARY PLAT APPROVAL
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 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM)
 - CERTIFICATE OF OCCUPANCY (TEMP)
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
 YES
 NO
 COPY PROVIDED



SUBMITTED BY: GEORGE T. RODRIGUEZ DATE: 06-07-06

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

PARKING CALCULATIONS

PROVIDE SOLID WASTE APPRVL.

PARKING STALL NEEDS TO BE 8.5 X 20

H.C. PARKING STALL REQUIRED 8.5 W 8' AISLE WIDTH

PEDESTRIAN ACCESS FROM ROAD

[2] copies

[Provide parking calcs

An 8' van access aisle must be provided for the handicapped space

Do you have a shared access easement w/ the adjacent lot? If so, provide recording info and remove the fencing in this area.

- if there is a cross lot easement, can't block the access for the adjacent lot

[Refer to all applicable City Standards
(drivepad, etc)

~~if the~~ 6' sidewalk along the proposed building is flush w/ the pavement, how is the pedestrian path separated from the ~~the~~ vehicle pathway?

Show the pedestrian path

What do notes A and B indicate? Provide a legend.

Show ^{and dimension} all drivepads on the adjacent lots