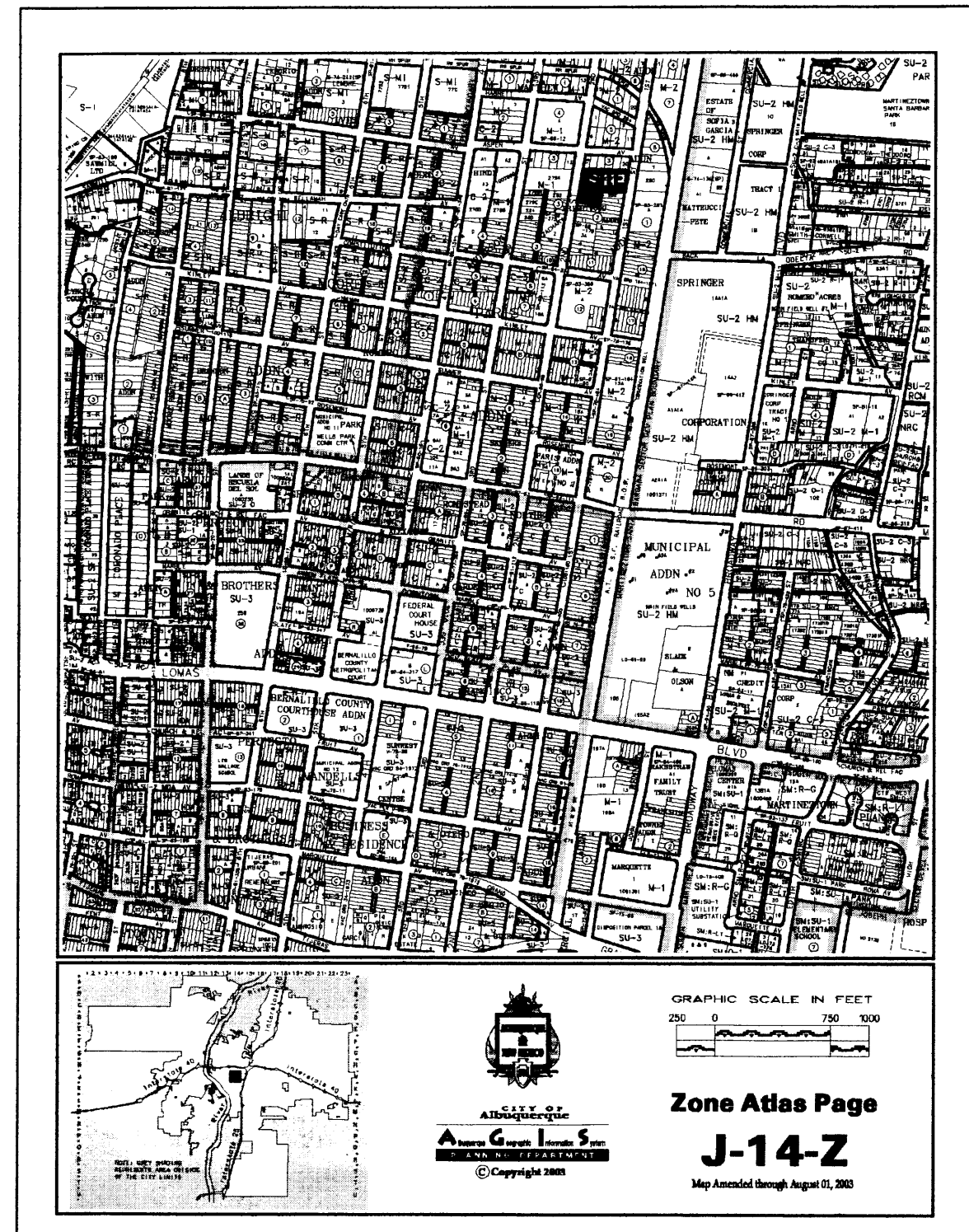


VICINITY MAP (J-14-Z)



LEGAL DESCRIPTION / FLOOD NOTE

A CERTAIN TRACT OF LAND BEING SITUATE IN SECTION 17, TOWNSHIP 10 NORTH, RANGE 3 EAST, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND COMPRISING: PARCEL 1: LOTS NUMBERED FIFTEEN (15) AND SIXTEEN (16) IN BLOCK NUMBERED TWO (2) OF THE BRIGHTWOOD ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON THE 21ST DAY OF JUNE, 1922; AND PARCEL 2: ALL THAT PORTION OF LOT "C" OF THE LANDS OF ISABEL DOW, AS SHOWN ON THE MAP OF SAID LANDS, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 2, 1927 AT 11:40 AM, WHICH LIES EAST OF THE EAST LINE OF NORTH SECOND STREET IN THE CITY OF ALBUQUERQUE, AS ESTABLISHED BY DEED RECORDED IN BOOK 107, AT PAGE 27, OF THE RECORDS OF SAID OFFICE; AND PARCEL 3: A TRACT OF LAND COMPRISING THE EASTERLY 10.00 FEET OF THAT PORTION OF TRACT "C" OF THE LANDS OF ISABEL DOW, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID LANDS, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON THE 2ND DAY OF MAY, 1927, ACQUIRED BY THE CITY OF ALBUQUERQUE BY DEED RECORDED IN BOOK 107, PAGE 27, OF THE RECORDS OF SAID COUNTY OFFICE; AND PARCEL 4: LOT LETTERED "B" OF THE LANDS OF ISABEL DOW AS SHOWN AND DESIGNATED ON THE MAP OF SAID LANDS FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 2, 1927, ALSO DESCRIBED AS TRACT 282, AMENDED MAP NO. 37, SURVEY OF MIDDLE RIO GRANDE CONSERVANCY DISTRICT; AND PARCEL 5: TRACT 287, AS THE SAME IS SHOWN AND DESIGNATED ON THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT MAP 37.

The above described property is located within Zone "X" (No flood hazard)", Community Panel No. 350002 0332 E, dated November 19, 2003, and is not located within a Special Flood Hazard Boundary indicated by FEMA Flood Insurance Rate Maps. Determination of Flood Hazard is by graphic plotting only. NOTE: First Street and Second Street rights-of-way lie in Zone "AO", subject to 1-foot flood depths.

- WM WATER METER
- MH SANITARY SEWER MANHOLE
- WV WATER VALVE
- GV GAS VALVE
- OVERHEAD POWER LINE
- EXISTING CONTOURS @ 0.5 FT. INTERVALS
- 4950 INDEX CONTOURS @ 2.5 FT. INTERVALS
- 56 PROPOSED CONTOURS @ 1.0' INTERVALS
- 58.0 PROPOSED SPOT ELEVATION
- FLOW LINE
- PROPOSED RETAINER
- TC TOP OF CONCRETE FLOW LINE
- FL FLOWLINE
- TSW TOP OF SIDEWALK
- RIM RIM OF MANHOLE
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- SPOT ELEVATION UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO GRAVEL SURFACE
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NOTICE TO CONTRACTOR

PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACES AND ARE PROVIDED FOR THE PURPOSE OF SHOWING FLOW ROUTING.

CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHTS-OF-WAY DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED IN PUBLIC RIGHT-OF-WAY.

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ALL IMPROVEMENTS WITHIN CITY OF ALBUQUERQUE RIGHT OF WAY MUST BE CONSTRUCTED BY CITY OF ALBUQUERQUE WORK ORDER.

BENCH MARK

Basis of elevations: ACS STATION 24-J14
1 3/4" Aluminum disk epoxied to top of curb over drain inlet
in NNE quadrant of intersection of Constitution Avenue and Fourth Street, NW
ELEV. 4958.365 (NGVD 1929)
TBM: "+ on top of curb, located approx. 50' south of SW property corner.
ELEV. 4957.66

DRAINAGE CONCEPT

THE SITE HAS BEEN DESIGNED TO SPLIT FLOWS TO ALLOW FOR DRAINAGE TO BOTH FIRST AND SECOND STREET. THE IMPERMIABLE SURFACES (BUILDING AND PAVED PARKING) WILL DRAIN TO FIRST STREET TO KEEP FROM ADDING EXCESS WATER TO THE GRAVEL YARD AREA. THE GRAVEL YARD AREA WILL CONTINUE TO DRAIN TO SECOND STREET. ALL EXCESS RUNOFF WILL BE DISCHARGED THRU EXISTING OR NEW DRIVE PADS. LANDSCAPE ISLANDS ARE DESIGNED TO CAPTURE RAINFALL ONTO THE ISLAND BUT NOT TO RECEIVE RUNOFF FROM THE REST OF THE SITE.

DRAINAGE NOTES:

- ROOF DRAINAGE CONVEYED TO NORTH AND SOUTH PARKING LOTS VIA GUTTER AND DOWNSPOUT. SEE ROOF PLAN FOR LOCATIONS.
- ALL ELEVATIONS GIVEN ARE TO TOP OF PROPOSED GRADE

CURRENT SITE DRAINAGE CONDITIONS

THE ENTIRE SITE CURRENTLY FREE DISCHARGES TO SECOND ST. NW

OFFSITE FLOW INFORMATION

NO OFFSITE FLOWS ARE KNOWN TO EXIST

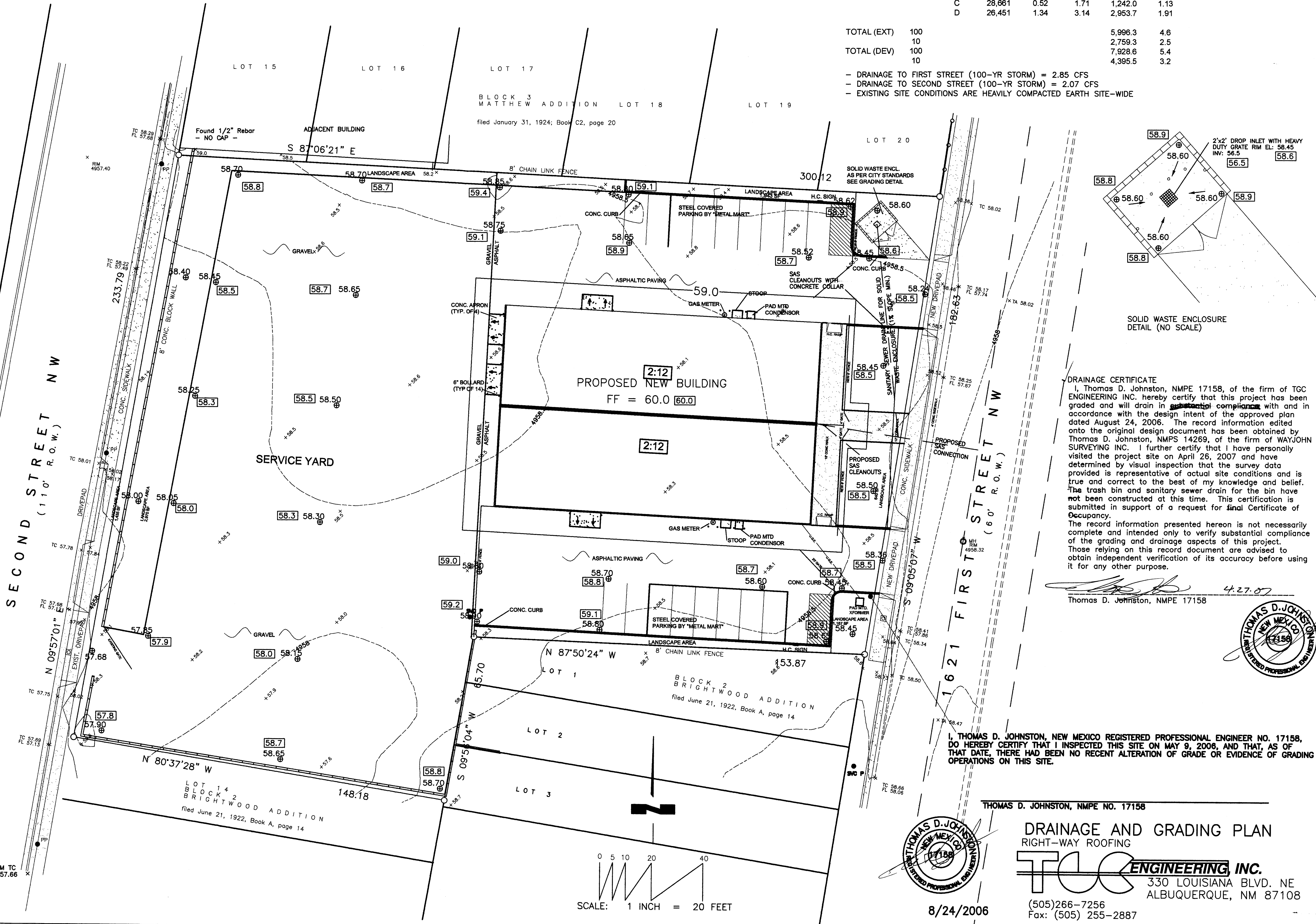
ONSITE HYDROLOGY

DRAINAGE DATA - RIGHTWAY ROOFING

THIS SITE LIES WITHIN PRECIPITATION ZONE 2

Condition	Return Table 4 (Years)	Treatment Type	Area (sq. ft.)	Precip. (in.)	Runoff Table A-9 (cfs/ac)	Volume (cu. ft.)	Rate (cfs)
EXISTING	100	A	0	0.53	1.56	0.0	0.00
		B	0	0.78	2.28	0.0	0.00
		C	63,677	1.13	3.14	5,996.3	4.59
		D	0	2.12	4.70	0.0	0.00
EXISTING	10	A	0	0.13	0.38	0.0	0.00
		B	0	0.28	0.95	0.0	0.00
		C	63,677	0.52	1.71	2,759.3	2.50
		D	0	1.34	3.14	0.0	0.00
DEVELOPED	100	A	0	0.53	1.56	0.0	0.00
		B	8,565	0.78	2.28	556.7	0.45
		C	28,661	1.13	3.14	2,698.9	2.07
		D	26,451	2.12	4.70	4,673.0	2.85
DEVELOPED	10	A	0	0.13	0.38	0.0	0.00
		B	8,565	0.28	0.95	199.9	0.19
		C	28,661	0.52	1.71	1,242.0	1.13
		D	26,451	1.34	3.14	2,953.7	1.91
TOTAL (EXT)	100					5,996.3	4.6
	10					2,759.3	2.5
TOTAL (DEV)	100					7,928.6	5.4
	10					4,395.5	3.2

- DRAINAGE TO FIRST STREET (100-YR STORM) = 2.85 CFS
- DRAINAGE TO SECOND STREET (100-YR STORM) = 2.07 CFS
- EXISTING SITE CONDITIONS ARE HEAVILY COMPACTED EARTH SITE-WIDE



DRAINAGE CERTIFICATE
I, Thomas D. Johnston, NMPE 17158, of the firm of TGC ENGINEERING INC. hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated August 24, 2006. The record information edited onto the original design document has been obtained by Thomas D. Johnston, NMPS 14269, of the firm of WAYJOHN SURVEYING INC. I further certify that I have personally visited the project site on April 26, 2007 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. The trash bin and sanitary sewer drain for the bin have not been constructed at this time. This certification is submitted in support of a request for final Certificate of Occupancy. The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

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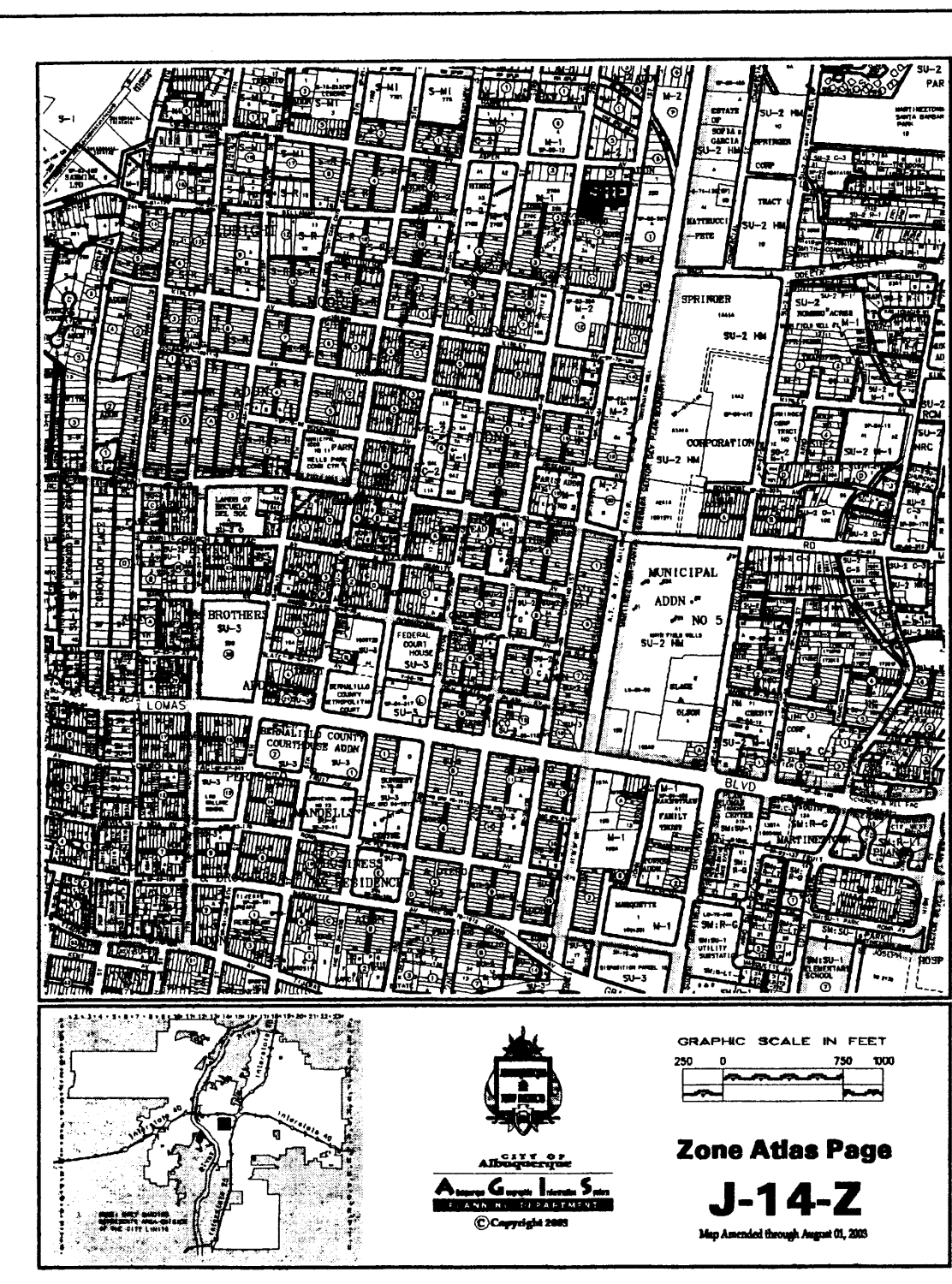
THOMAS D. JOHNSTON, NMPE NO. 17158

DRAINAGE AND GRADING PLAN
RIGHT-WAY ROOFING

TGC ENGINEERING INC.
330 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87108
(505)266-7256
Fax: (505) 255-2887

8/24/2006

VICINITY MAP (J-14-Z)



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NOTICE TO CONTRACTOR

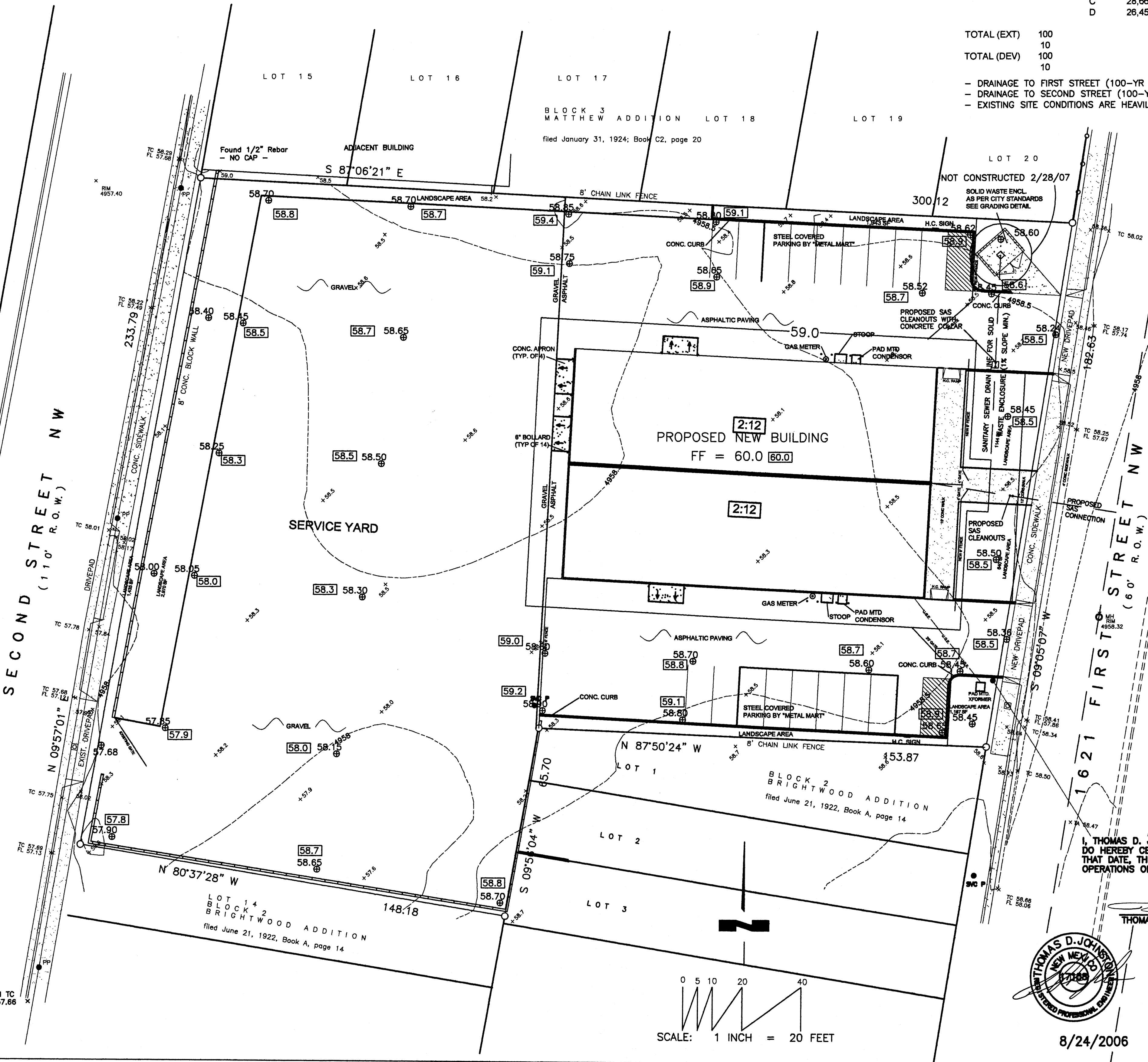
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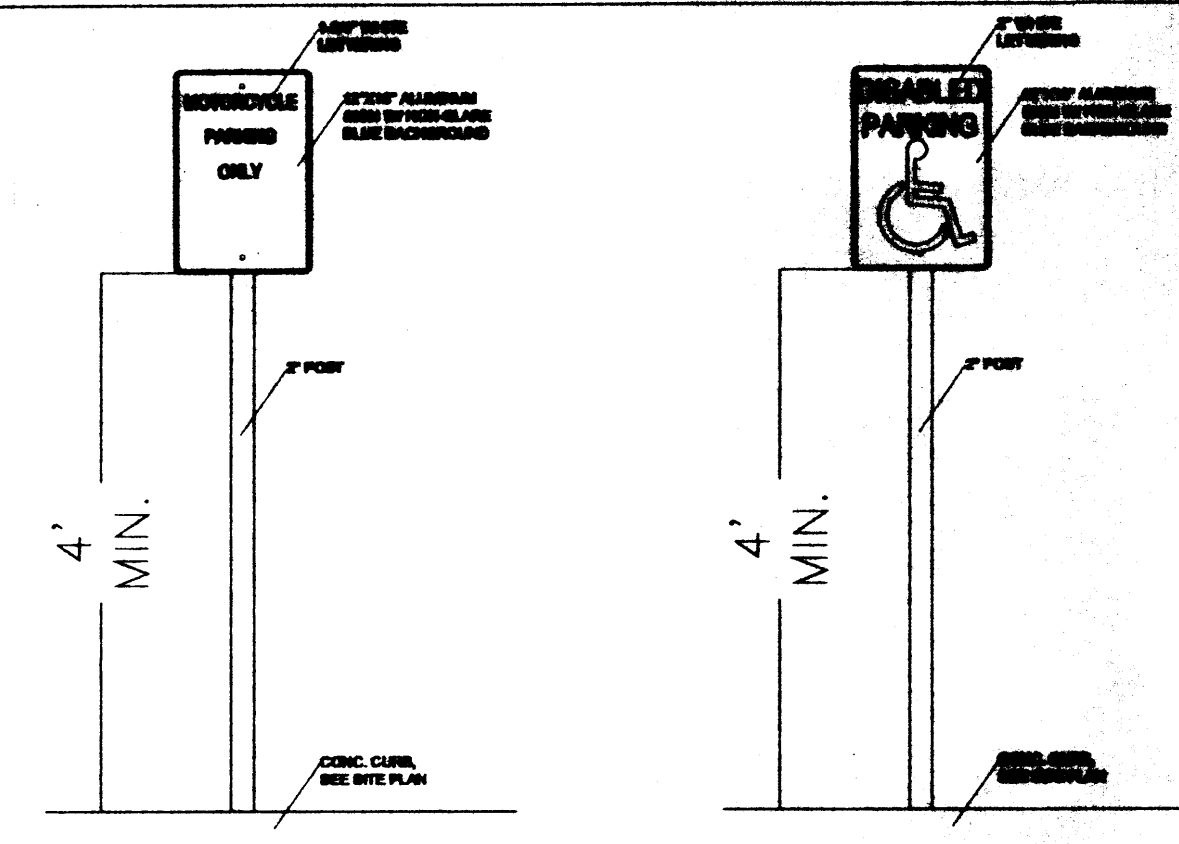
Thomas D. Johnston, NMPE 17158
THOMAS D. JOHNSTON
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
3-01-2007

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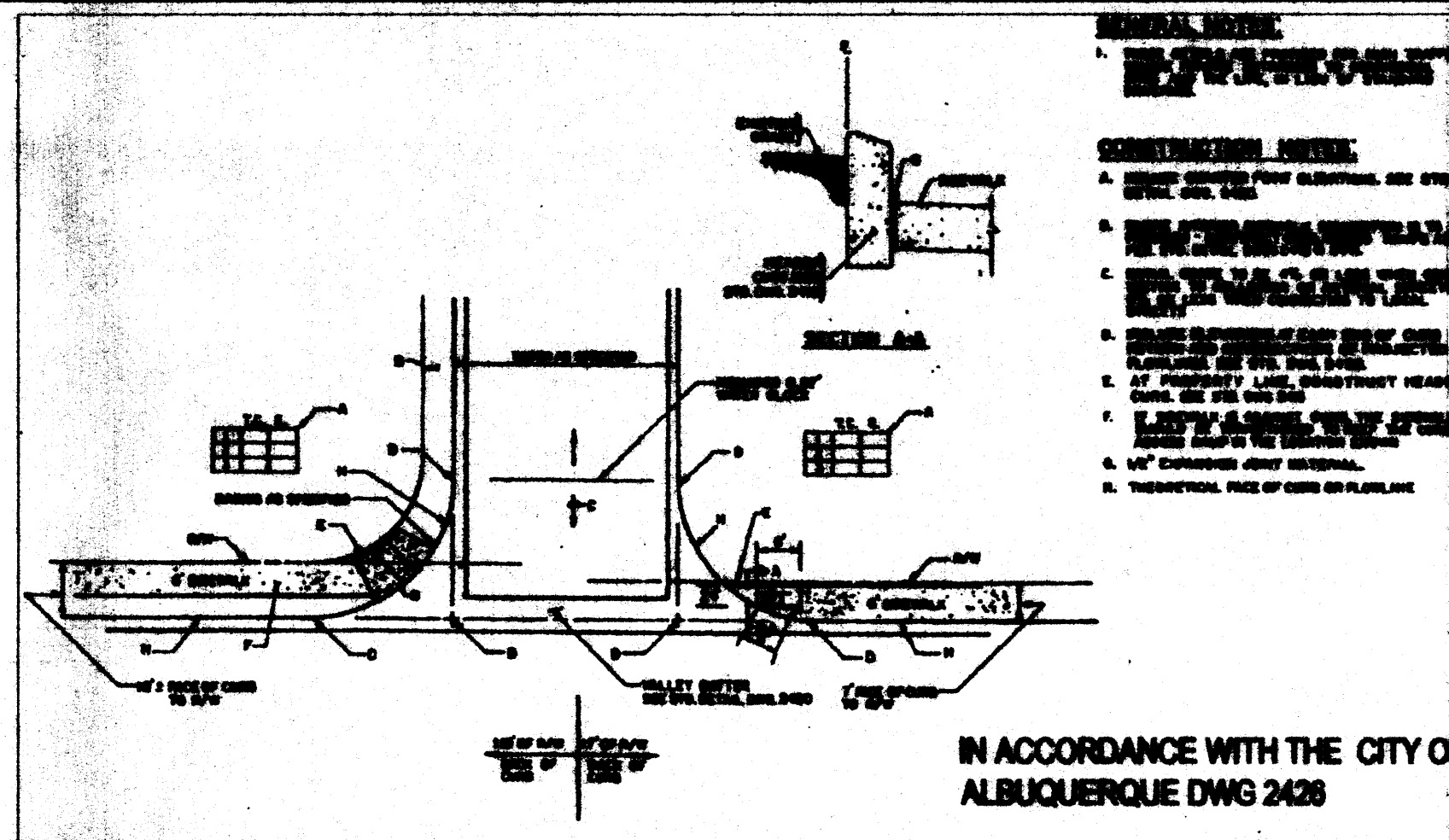
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DRAINAGE AND GRADING PLAN
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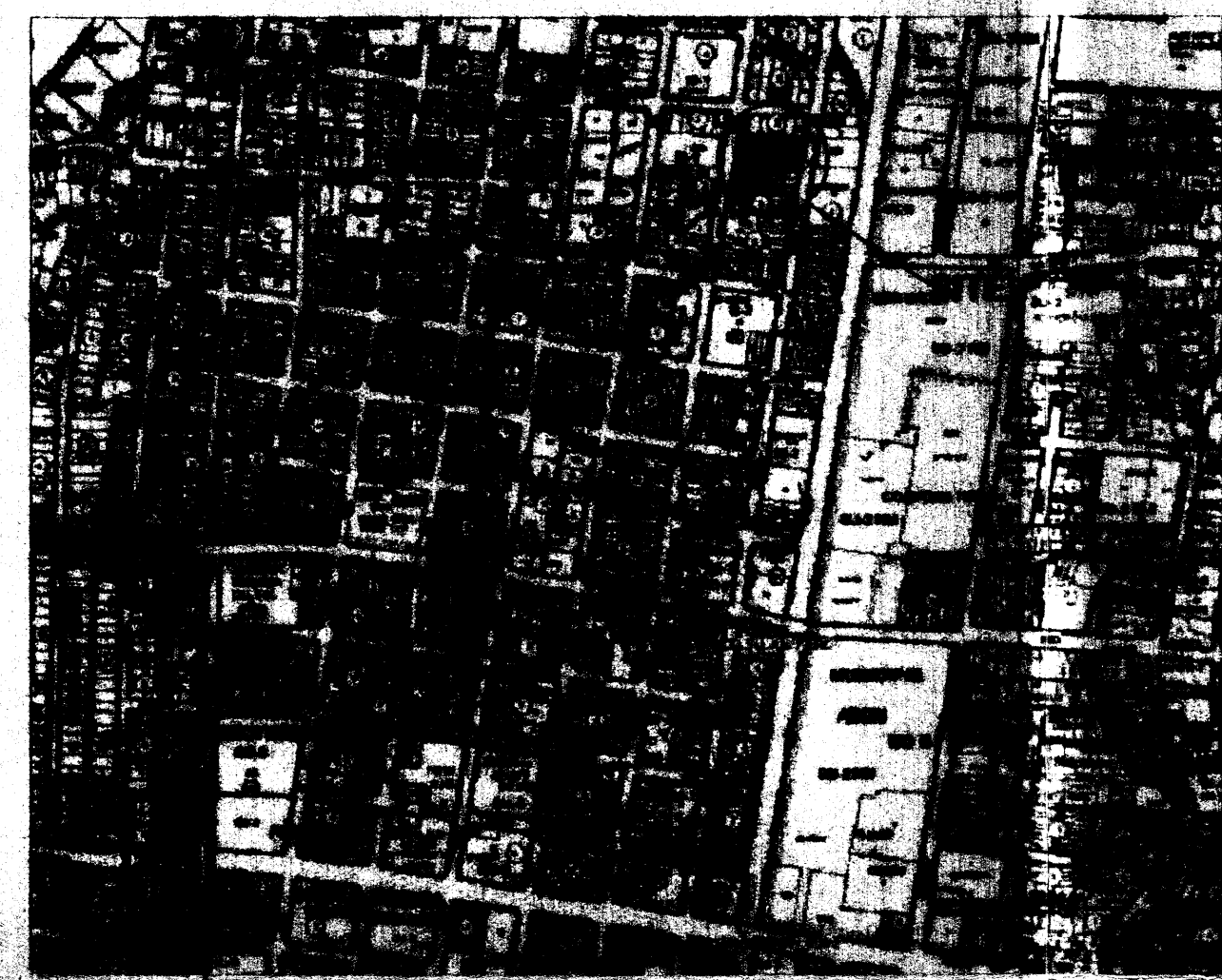
RECEIVED
MAR 01 2007
HYDROLOGIST SECTION



SIGN DETAIL
SCALE: 3/4" = 1'-0"



- GENERAL NOTES:**
1. SHOWN FROM THESE DIMENSIONS SHALL BE SUBMITTED TO THE CITY ENGINEERING FOR APPROVAL.
 2. SHOWN FROM THESE DIMENSIONS SHALL BE SUBMITTED TO THE CITY ENGINEERING FOR APPROVAL.
 3. USE 1/2" TOP, 7/8" BOTTOM ON SHOWN FROM THESE DIMENSIONS.
 4. ALL DIMENSIONS SHALL BE A MIN. THICKNESS OF 1/2" AND SHALL BE CONSTRUCTED FROM BACK OF CURB TO FL.
 5. SHOWN FROM THESE DIMENSIONS SHALL BE A MIN. THICKNESS OF 1/2" AND SHALL BE CONSTRUCTED FROM BACK OF CURB TO FL.
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VICINITY MAP
PAGE J-442 N.T.S.

GENERAL NOTES:

1. PROVIDE 6" CONCRETE FILLED BOLLARDS AT LOCATIONS INDICATED ON SITE PLAN AROUND ALL ROLLUP DOOR RAMPS, CONDENSOR PAD, AND GAS METER.
2. PREMIS IDENTIFICATION SHALL CONSIST OF 6" HIGH (MIN.) NUMBERS ON A CONTRASTING BACKGROUND PLACED IN A LOCATION THAT IS PLAINLY VISIBLE FROM THE STREET.
3. THERE SHALL BE NO RACK STORAGE ABOVE 12' IN WAREHOUSE AREA.

LEGAL:

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TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: *[Signature]* Date: _____

- INDEX OF DRAWINGS:**
- C-1 SITE PLAN & PROJECT DATA
 - C-2 OFFICE AND WAREHOUSE
 - C-3 LANDSCAPE PLAN
 - C-4 FLOOR PLAN & DETAILS
 - C-5 ELEVATIONS & SCHEDULES
 - C-6 REFLECTED CEILING & FLOOR SCHEDULE
 - C-7 ELECTRICAL PLAN
 - C-8 PLUMBING PLAN
- 13 PAGES OF SHOP DRAWINGS FROM "TENDRUM"

PROJECT DATA:

PROJECT: RIGHT WAY ROOFING
1001 FIRST STREET NW
ALBUQUERQUE, NEW MEXICO 87102

OWNER: JIMM BANCHEZ
1001 FIRST STREET NW ON
ALBUQUERQUE, NM 87102
(505) 241-9400

ARCHITECT: GARLAN BRYAN ARCHITECT
1500 SAN MATEO BLVD. NE
SUITE W-1
ALBUQUERQUE, NM 87110
(505) 241-0804

CONTRACTOR: HOMER DANIELLE
2 GRAYLANDS RD.
LOS LUNAS, NM 87051
LCS00007

ZONING: M-2

BUILDING CODE: INTERNATIONAL BUILDING CODE (IBC) 2006
NEW MEXICO BUILDING CODE (COMMERCIAL)

ACCESSIBILITY CODE: ICC/ANSI A 117.1-2003

SEISMIC DESIGN CATEGORY: D

SEISMIC FACTOR: CAT II, (S_E) 1.25

CONST. TYPE: I-B

BUILDING AREA: 2,800 OFFICE
4,000 SF WAREHOUSE
2,000 SF WAREHOUSE FOR FUTURE EXPANSION

ALLOWABLE AREA: 24,000 SF

CONSTRUCTION TYPE: 1001 KCB 2002.1 USING TYPE V-B CONSTRUCTION AND 8 OCCUPANCY WITH A LIMITATION OF 2 FLOORS AND 4,000 SF (MOST RESTRICTIVE) AND APPLYING THE 475 AREA INCREASE DUE TO PROTECTED- 12,000 SF, WHICH IS UNDER THE AREA OF 1000 BUILDING. NO FIRE SEPARATION IS REQUIRED BETWEEN 8 & A-2. THE REQUIREMENT FOR A 1 HOUR SEPARATION BETWEEN TENANT SPACES MUST STILL BE MET.

FINISH: 25'4"

OCCUPANCY: 8-OFFICE, 30- LOW HAZARD STORAGE

OCCUPANT LOAD: OFFICE AREAS 2,800 SF / 100-40
WAREHOUSE 4,000 SF / 100-4
TOILETS/CL. 24 OCCUPANTS

PICTURE COUNT: REQUIRED-MALE: 2 LAV, 2 W.C.
FEMALE: 2 LAV, 2 W.C.
PROVIDED-MALE: 2 LAV, 2 W.C.
FEMALE: 2 LAV, 2 W.C.
UNSEX: 2 LAV, 2 W.C.

PARKING: REQUIRED PARKING- 14 SPACES, 1 OF WHICH MUST BE H.C.+ 1 MOTORCYCLE
PROVIDED PARKING- 20 SPACES, 2 OF WHICH 23 SPACES 18 H.C.+ 2 MOTORCYCLE

EXECUTIVE SUMMARY:

THE ADDITION OF A 10,000 SF BUILDING THAT WILL HOUSE 2 TENANT SPACES EACH HAVING APPROXIMATELY 1,000 SF OF OFFICE SPACE, AND 4,000 SF OF WAREHOUSE SPACE. EACH HAVING ADEQUATE PARKING AND TOILET ROOMS AND EACH HAVING A SMALL KITCHETTE WITHOUT COOKING FACILITIES. A ONE HOUR SEPARATION WALL BETWEEN TENANT SPACES IS REQUIRED, HOWEVER NO FIRE SEPARATION BETWEEN OFFICE AND WAREHOUSE IS REQUIRED (SEE ABOVE) THE INTENT ALSO INCLUDES CONCRETE DRIVE PADS, LANDSCAPE AREAS, PARKING, AND A NEW SECURITY FENCE. THIS PROJECT DOES NOT EFFECT ADJACENT PROPERTIES.

DESIGN DATA:

SOIL BEARING CAPACITY: 1,000 PSF
CONCRETE: 3,000 PSI FRESH
ROOF LOADING: 20 PSF + 20 PSF SNOW LOAD
PRE-ENGINEERED METAL BUILDING-SEE ATTACHED
PRE-ENGINEERED WOOD TRUSSES (OFFICE FRAMING)

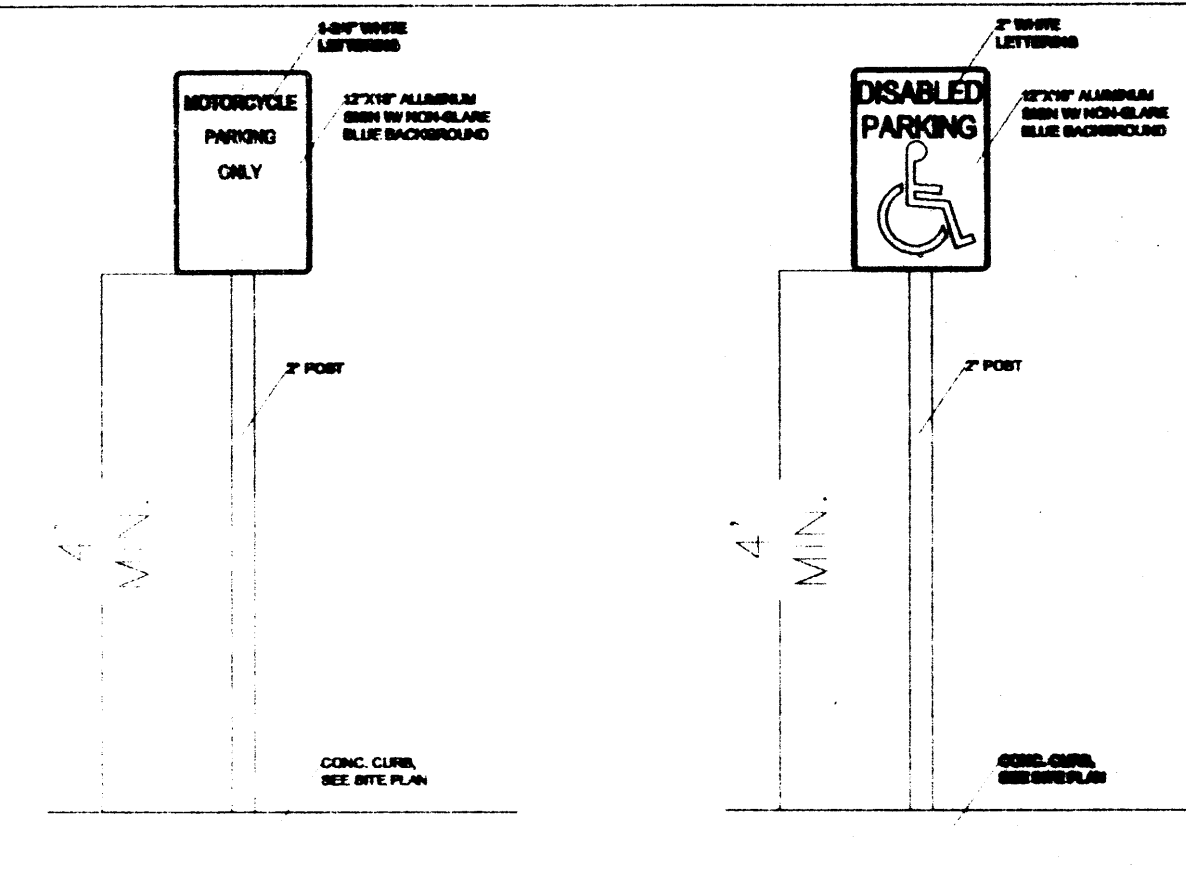
RIGHT WAY ROOFING DATE: 03/08/08

C-1 SITE PLAN & PROJECT DATA

Garlan Bryan, Architect
2403 SAN MATEO BLVD. N.E.
ALBUQUERQUE, NEW MEXICO

Garlan Bryan, Architect
2403 SAN MATEO BLVD. N.E.
ALBUQUERQUE, NEW MEXICO

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MAP 2 2 2007
HYDROLOGY SECTION

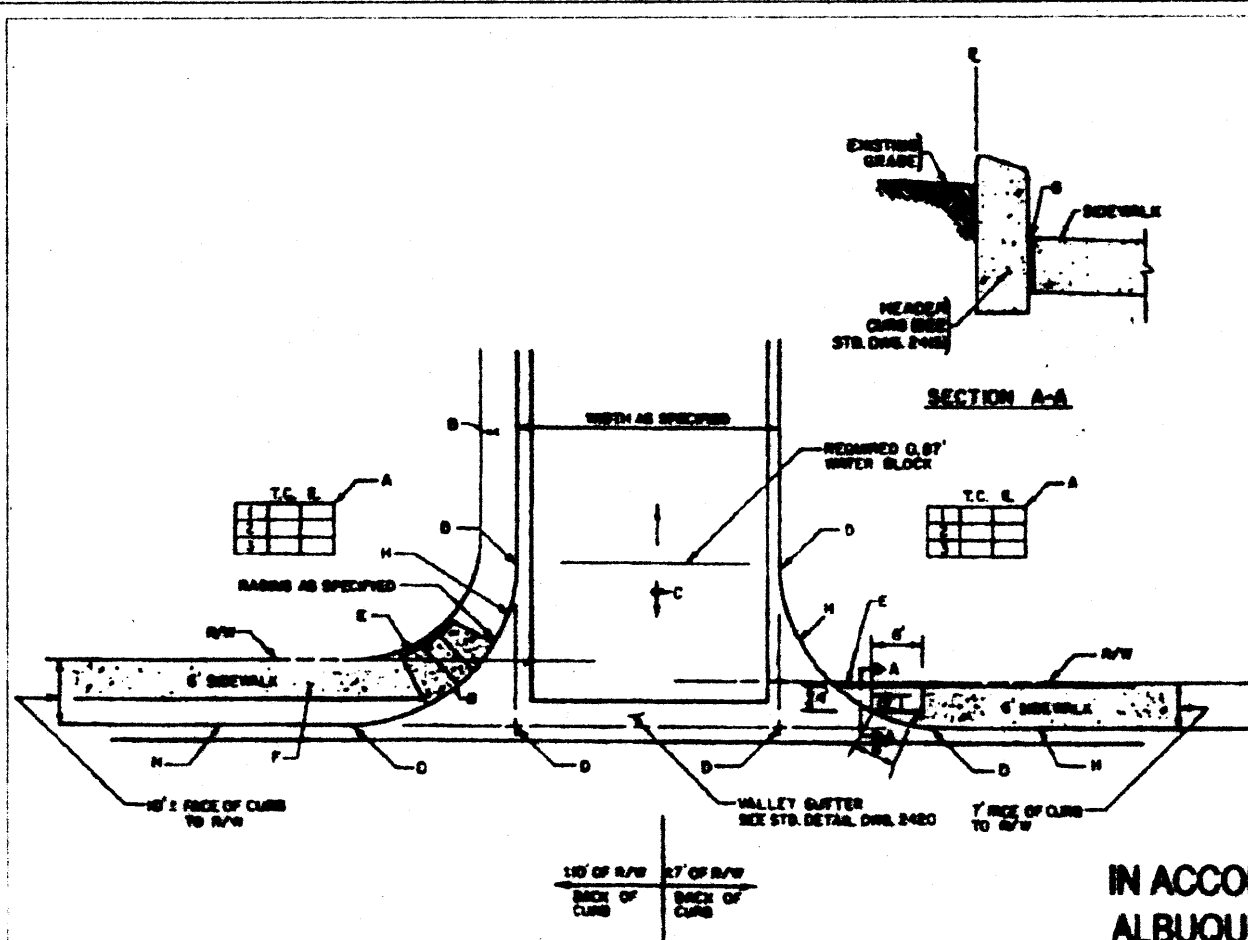


SIGN DETAIL

SCALE: 3/4" = 1'-0"

SIGN DETAIL

SCALE: 3/4" = 1'-0"



IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DWG 2426

GENERAL NOTES:

1. THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER PRIOR TO APPROVAL.
2. REQUEST FOR SIDEWALK VARIANCES SHALL BE SUBMITTED TO THE DEVELOPMENT REVIEW.
3. SIDEWALK SHALL BE 12" MIN. WIDE AND SHALL BE CONSTRUCTED FROM BACK OF CURB TO F.L.
4. SIDEWALK SHALL BE 12" MIN. WIDE AND SHALL BE CONSTRUCTED FROM BACK OF CURB TO F.L.
5. SIDEWALK SHALL BE 12" MIN. WIDE AND SHALL BE CONSTRUCTED FROM BACK OF CURB TO F.L.
6. SIDEWALK SHALL BE 12" MIN. WIDE AND SHALL BE CONSTRUCTED FROM BACK OF CURB TO F.L.
7. SIDEWALK SHALL BE 12" MIN. WIDE AND SHALL BE CONSTRUCTED FROM BACK OF CURB TO F.L.
8. SIDEWALK SHALL BE 12" MIN. WIDE AND SHALL BE CONSTRUCTED FROM BACK OF CURB TO F.L.
9. SIDEWALK SHALL BE 12" MIN. WIDE AND SHALL BE CONSTRUCTED FROM BACK OF CURB TO F.L.
10. SIDEWALK SHALL BE 12" MIN. WIDE AND SHALL BE CONSTRUCTED FROM BACK OF CURB TO F.L.

- A. CURB TYPE: SIDEWALK
- B. OFFSET SIDEWALK
- C. 12" EXP JOINT ADJACENT TO FIELD CONDITIONS ON REPLACEMENT WORK
- D. CURB AND GUTTER
- E. SLOPE TO BE ADJUSTED TO PROVIDE A UNIFORM TRANSITION BETWEEN SIDEWALK AND DRIVEWAY (NOT TO EXCEED 1:10)
- F. TOP OF DRIVEWAY
- G. TOP OF CURB
- H. PROPERTY LINE
- I. VARIABLE WIDTH
- J. SLOPE 1:50
- K. THE FINISH GRADE ELEVATION DIFFERENCE BETWEEN TOP OF DRIVEWAY AT PROPERTY LINE AND TOP OF CURB AS DETERMINED BY A SLOPE OF 1:50 FROM TOP OF CURB TO TOP OF DRIVEWAY, AND ANY DEVIATION FROM THIS SLOPE MUST BE APPROVED BY THE CITY ENGINEER.
- L. SIDEWALK SHALL BE 12" MIN. WIDE AND SHALL BE CONSTRUCTED FROM BACK OF CURB TO F.L.
- M. SIDEWALK SHALL BE 12" MIN. WIDE AND SHALL BE CONSTRUCTED FROM BACK OF CURB TO F.L.
- N. SIDEWALK SHALL BE 12" MIN. WIDE AND SHALL BE CONSTRUCTED FROM BACK OF CURB TO F.L.
- O. SIDEWALK SHALL BE 12" MIN. WIDE AND SHALL BE CONSTRUCTED FROM BACK OF CURB TO F.L.

CURB CUT NOTES:

1. DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER PRIOR TO APPROVAL.
2. REQUEST FOR SIDEWALK VARIANCES SHALL BE SUBMITTED TO THE DEVELOPMENT REVIEW.
3. SIDEWALK SHALL BE 12" MIN. WIDE AND SHALL BE CONSTRUCTED FROM BACK OF CURB TO F.L.
4. SIDEWALK SHALL BE 12" MIN. WIDE AND SHALL BE CONSTRUCTED FROM BACK OF CURB TO F.L.
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10. SIDEWALK SHALL BE 12" MIN. WIDE AND SHALL BE CONSTRUCTED FROM BACK OF CURB TO F.L.



WICITY MAP
PAGE J-44Z N.T.S.

GENERAL NOTES:

1. PROVIDE 6" CONCRETE FILLED BOLLARDS AT LOCATIONS INDICATED ON SITE PLAN AROUND ALL ROLLUP DOOR RAMPS, CONDENSOR PAD, AND GAS METER.
2. PREMIS IDENTIFICATION SHALL CONSIST OF 6" HIGH (MIN.) NUMBERS ON A CONTRASTING BACKGROUND PLACED IN A LOCATION THAT IS PLAINLY VISIBLE FROM THE STREET.
3. THERE SHALL BE NO RACK STORAGE ABOVE 12' IN WAREHOUSE AREA.

LEGAL:

A CERTAIN TRACT OF LAND BEING SITUATE IN SECTION 17, TOWNSHIP 10 NORTH, RANGE 3 EAST, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND COMPRISING: PARCEL 1: LOTS NUMBERED FIFTEEN (15) AND SIXTEEN (16) IN BLOCK NUMBERED TWO (2) OF THE BRIGHTWOOD ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON THE 21ST DAY OF JUNE, 1922; AND PARCEL 2: ALL THAT PORTION OF LOT "C", OF THE LANDS OF ISABEL DOW, AS SHOWN ON THE MAP OF SAID LANDS, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 2, 1927, AT 11:40 AM, WHICH LIES EAST OF THE EAST LINE OF NORTH SECOND STREET IN THE CITY OF ALBUQUERQUE, AS ESTABLISHED BY DEED RECORDED IN BOOK 107, AT PAGE 27, OF THE RECORDS OF SAID OFFICE; AND PARCEL 3: A TRACT OF LAND COMPRISING THE EASTERLY 10.00 FEET OF THAT PORTION OF TRACT "C" OF THE LANDS OF ISABEL DOW, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID LANDS, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON THE 2ND DAY OF MAY, 1927, ACQUIRED BY THE CITY OF ALBUQUERQUE BY DEED RECORDED IN BOOK 107, PAGE 27, OF THE RECORDS OF SAID COUNTY OFFICE; AND PARCEL 4: LOT LETTERED "B" OF THE LANDS OF ISABEL DOW AS SHOWN AND DESIGNATED ON THE MAP OF SAID LANDS FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 2, 1927, ALSO DESCRIBED AS TRACT 282, AMENDED MAP NO. 37 SURVEY OF MIDDLE RIO GRANDE CONSERVANCY DISTRICT; AND PARCEL 5: TRACT 287, AS THE SAME IS SHOWN AND DESIGNATED ON THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT MAP 37.

TRAFFIC CIRCULATION LAYOUT
APPROVED

Signed: *[Signature]* Date: *[Date]*

- INDEX OF DRAWINGS:
- C1 SITE PLAN & PROJECT DATA
 - C2 GRADING AND DRAINAGE
 - L1 LANDSCAPE PLAN
 - F1 FOUNDATION PLAN & DETAILS
 - F2 FLOOR PLAN & WALL SECTIONS
 - A1 ELEVATIONS & SCHEDULES
 - R1 REFLECTED CEILING & FINISH SCHEDULE
 - E1 ELECTRICAL PLAN
 - M1 MECHANICAL PLAN
 - P1 PLUMBING PLAN
- 13 PAGES OF SHOP DRAWINGS FROM "TECHNICAL"

PROJECT DATA:

PROJECT: RIGHT WAY ROOFING
1021 FIRST STREET NW
ALBUQUERQUE, NEW MEXICO 87102

OWNER: JOHN SANCHEZ
1021 FIRST STREET NW
ALBUQUERQUE, NM 87102
(505) 247-3889

ARCHITECT: GARLAN BRYAN ARCHITECT
Rm 203, 2403
2403 SAN MATEO BLVD. NE
SUITE 203
ALBUQUERQUE, NM 87110
(505) 984-8884

CONTRACTOR: HOMES BY DANIELLE
2 GRASSLANDS RD.
LOS LUNAS, NM 87051
LIC88887

ZONING: M-2

BUILDING CODE: INTERNATIONAL BUILDING CODE (IBC) 2003
NEW MEXICO BUILDING CODE (COMMERCIAL)

ACCESSIBILITY CODE: ICC/ANSI A 117.1-2003

SEISMIC DESIGN CATEGORY: D

SEISMIC FACTOR: CAT II, (S) 1.25

CONST. TYPE: S-B

BUILDING AREA: 2,000 OFFICE
6,000 SF WAREHOUSE
2,000 SF MAINTENANCE FOR FUTURE EXPANSION

ALLOWABLE AREA: 25,000 SF

UNAPPROVED USE: IAW ICB 302.3.1 USING TYPE V-B CONSTRUCTION AND B OCCUPANCY WITH A LIMITATION OF 2 FLOORS AND 6,000 S.F. (MOST RESTRICTIVE) AND APPLYING THE 47% AREA INCREASE DUE TO FRONTAGE- 13,250 SF. WHICH IS UNDER THE AREA OF THIS BUILDING. NO FIRE SEPARATION IS REQUIRED BETWEEN B & A2. THE REQUIREMENT FOR A 1 HOUR SEPARATION BETWEEN TENANT SPACES MUST STILL BE MET.

BUILDING HEIGHT: 28'-0"

OCCUPANCY: B-OFFICE, B-LOW HAZARD STORAGE

OCCUPANT LOAD: OFFICE AREAS 2,000 SF / 100-20
WAREHOUSE 6,000 SF / 600-4
TOILETS/COR.
TOTAL = 24 OCCUPANTS

PICTURE COUNT: REQUIRED MALE: 2 LAV, 2 W.C.
FEMALE: 2 LAV, 2 W.C.
PROVIDED: MALE: 2 LAV, 2 W.C.
FEMALE: 2 LAV, 2 W.C.
UNSEX: 2 LAV, 2 W.C.

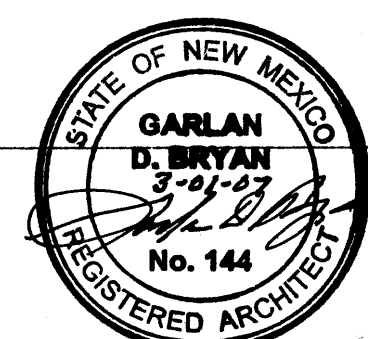
PARKING: REQUIRED PARKING- 14 SPACES, 1 OF WHICH MUST BE H.C. + 1 MOTORCYCLE
PROVIDED PARKING- 10 SPACES, 2 OF WHICH IS H.C. + 2 MOTORCYCLE

EXECUTIVE SUMMARY:

THE ADDITION OF A 10,000 SF BUILDING THAT WILL HOUSE 2 TENANT SPACES EACH HAVING ROUGHLY 1,000 SF OF OFFICE SPACE, AND 4,000 SF OF WAREHOUSE SPACE. EACH HAVING ADEQUATE PARKING AND TOILET ROOMS AND EACH HAVING A SMALL KITCHENETTE WITHOUT COOKING FACILITIES. A ONE HOUR SEPARATION WALL BETWEEN TENANT SPACES IS REQUIRED, HOWEVER NO USE SEPARATION BETWEEN OFFICE AND WAREHOUSE IS REQUIRED (SEE ABOVE) THE INTENT ALSO INCLUDES CONCRETE DRIVE PADS, LANDSCAPE AREAS, PARKING, AND A NEW SECURITY FENCE. THIS PROJECT DOES NOT EFFECT ADJACENT PROPERTIES.

DESIGN DATA:

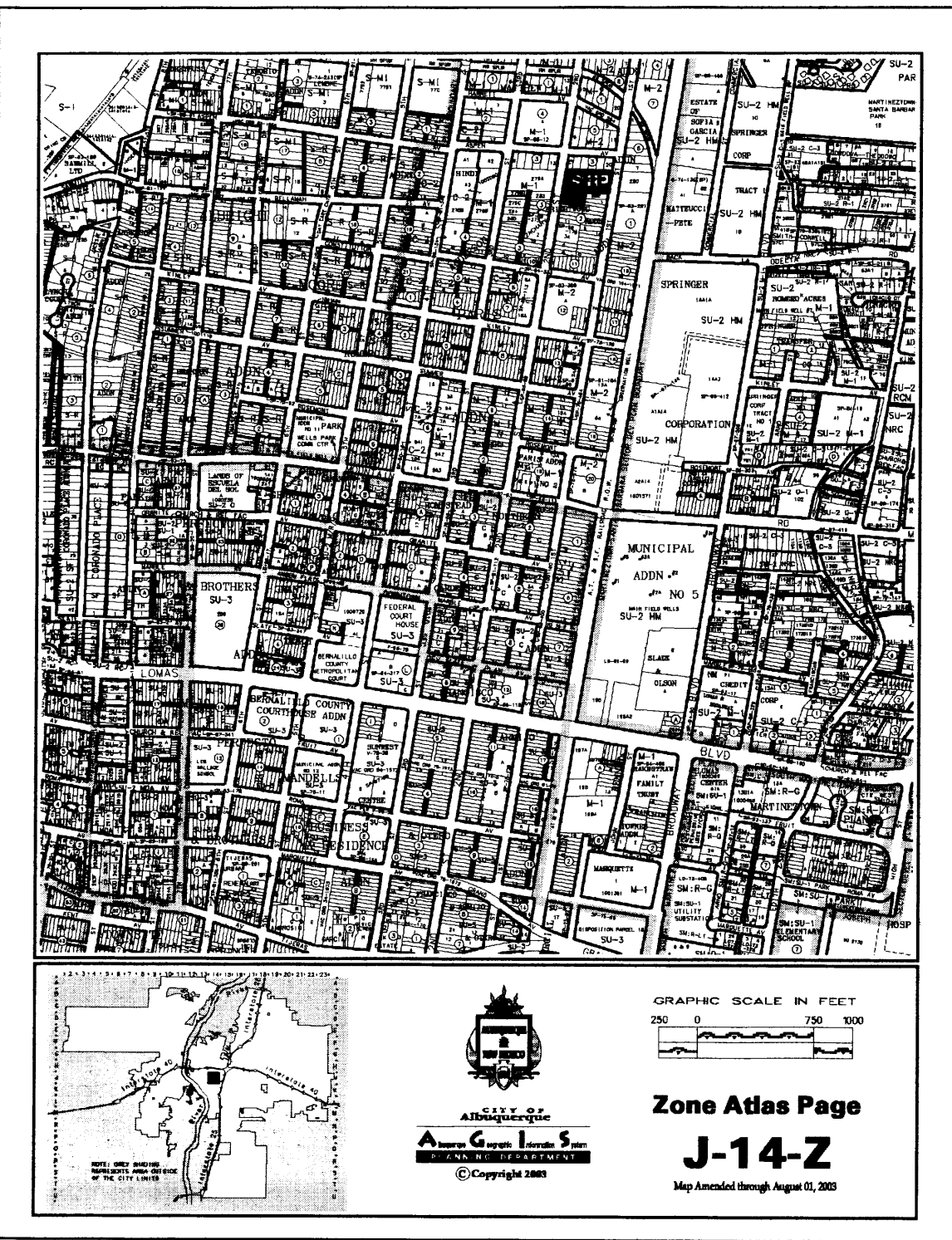
SOIL BEARING PRESSURE: 1,000 PSF
CONCRETE: 3,000 PSI RED MAX
ROOF LOADING: 20 PSF + 30 PSF SNOW LOAD
PRE-ENGINEERED METAL BUILDING-SEE ATTACHED
PRE-ENGINEERED WOOD TRUSSES (OFFICE FRAMING)



RIGHT WAY ROOFING		DATE: 8/30/06	
GARLAN BRYAN, ARCHITECT 2403 SAN MATEO BLVD. N.E. ALBUQUERQUE, NEW MEXICO			
C-1 SITE PLAN & PROJECT DATA			

RECEIVED
MAR 01 2007
HYDROLOGY SECTION

VICINITY MAP (J-14-Z)



LEGAL DESCRIPTION / FLOOD NOTE

A CERTAIN TRACT OF LAND BEING SITUATE IN SECTION 17, TOWNSHIP 10 NORTH, RANGE 3 EAST, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND COMPRISING: PARCEL 1: LOTS NUMBERED FIFTEEN (15) AND SIXTEEN (16) IN BLOCK NUMBERED TWO (2) OF THE BRIGHTWOOD ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON THE 21ST DAY OF JUNE, 1922; AND PARCEL 2: ALL THAT PORTION OF LOT "C", OF THE LANDS OF ISABEL DOW, AS SHOWN ON THE MAP OF SAID LANDS, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 2, 1927 AT 11:40 AM, WHICH LIES EAST OF THE EAST LINE OF NORTH SECOND STREET IN THE CITY OF ALBUQUERQUE, AS ESTABLISHED BY DEED RECORDED IN BOOK 107, AT PAGE 27, OF THE RECORDS OF SAID OFFICE; AND PARCEL 3: A TRACT OF LAND COMPRISING THE EASTERLY 10.00 FEET OF THAT PORTION OF TRACT "C" OF THE LANDS OF ISABEL DOW, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID LANDS, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON THE 2ND DAY OF MAY, 1927, ACQUIRED BY THE CITY OF ALBUQUERQUE BY DEED RECORDED IN BOOK 107, PAGE 27, OF THE RECORDS OF SAID COUNTY OFFICE; AND PARCEL 4: LOT LETTERED "B" OF THE LANDS OF ISABEL DOW AS SHOWN AND DESIGNATED ON THE MAP OF SAID LANDS FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 2, 1927, ALSO DESCRIBED AS TRACT 282, AMENDED MAP NO. 37 SURVEY OF MIDDLE RIO GRANDE CONSERVANCY DISTRICT; AND PARCEL 5: TRACT 287, AS THE SAME IS SHOWN AND DESIGNATED ON THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT MAP 37.

The above described property is located within Zone "X" (No flood hazard)", Community Panel No. 350002 0332 E, dated November 19, 2003, and is not located within a Special Flood Hazard Boundary indicated by FEMA Flood Insurance Rate Maps. Determination of Flood Hazard is by graphic plotting only. NOTE: First Street and Second Street rights-of-way lie in Zone "AO", subject to 1-foot flood depths.

- WM WATER METER
- SH SANITARY SEWER MANHOLE
- WV WATER VALVE
- GV GAS VALVE
- OVERHEAD POWER LINE
- EXISTING CONTOURS @ 0.5 FT. INTERVALS
- INDEX CONTOURS @ 2.5 FT. INTERVALS
- 56 PROPOSED CONTOURS @ 1.0' INTERVALS
- 58.0 PROPOSED SPOT ELEVATION
- FLOW LINE
- PROPOSED RETAINER
- TC TOP OF CONCRETE FLOW LINE
- FL FLOWLINE
- TSW TOP OF SIDEWALK
- RIM RIM OF MANHOLE
- BURIED TELEPHONE LINE
- SPOT ELEVATION UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO GRAVEL SURFACE
- TC TOP OF CURB
- FL FLOWLINE
- BSW BACK OF SIDEWALK

NOTICE TO CONTRACTOR

PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACES AND ARE PROVIDED FOR THE PURPOSE OF SHOWING FLOW ROUTING.

CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHTS-OF-WAY DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED IN PUBLIC RIGHT-OF-WAY.

CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO ANY GRADING OR CONSTRUCTION.

SITE IS SUBJECT TO NPDES SWPPP REQUIREMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ACQUIRING THE NECESSARY PERMITS FROM THE EPA AND FOR MAINTAINING ALL SEDIMENT CONTROL MEASURES AND DOCUMENTATION AS REQUIRED BY THE PERMIT.

ALL IMPROVEMENTS WITHIN CITY OF ALBUQUERQUE RIGHT OF WAY MUST BE CONSTRUCTED BY CITY OF ALBUQUERQUE WORK ORDER.

BENCH MARK

Basis of elevations: ACS STATION 24-J14
1 3/4" Aluminum disk exposed to top of curb over drain inlet in NNE quadrant of intersection of Constitution Avenue and Fourth Street, NW
ELEV. 4958.365 (NGVD 1929)
TBM: "X" on top of curb, located approx. 50' south of SW property corner.
ELEV. 4957.66

DRAINAGE CONCEPT

THE SITE HAS BEEN DESIGNED TO SPLIT FLOWS TO ALLOW FOR DRAINAGE TO BOTH FIRST AND SECOND STREET. THE IMPERMIABLE SURFACES (BUILDING AND PAVED PARKING) WILL DRAIN TO FIRST STREET TO KEEP FROM ADDING EXCESS WATER TO THE GRAVEL YARD AREA. THE GRAVEL YARD AREA WILL CONTINUE TO DRAIN TO SECOND STREET. ALL EXCESS RUNOFF WILL BE DISCHARGED THRU EXISTING OR NEW DRIVE PADS. LANDSCAPE ISLANDS ARE DESIGNED TO CAPTURE RAINFALL ONTO THE ISLAND BUT NOT TO RECEIVE RUNOFF FROM THE REST OF THE SITE.

DRAINAGE NOTES:

- ROOF DRAINAGE CONVEYED TO NORTH AND SOUTH PARKING LOTS VIA GUTTER AND DOWNSPOUT. SEE ROOF PLAN FOR LOCATIONS.
- ALL ELEVATIONS GIVEN ARE TO TOP OF PROPOSED GRADE

CURRENT SITE DRAINAGE CONDITIONS

THE ENTIRE SITE CURRENTLY FREE DISCHARGES TO SECOND ST. NW

OFFSITE FLOW INFORMATION

NO OFFSITE FLOWS ARE KNOWN TO EXIST

ONSITE HYDROLOGY

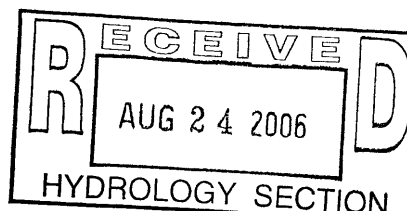
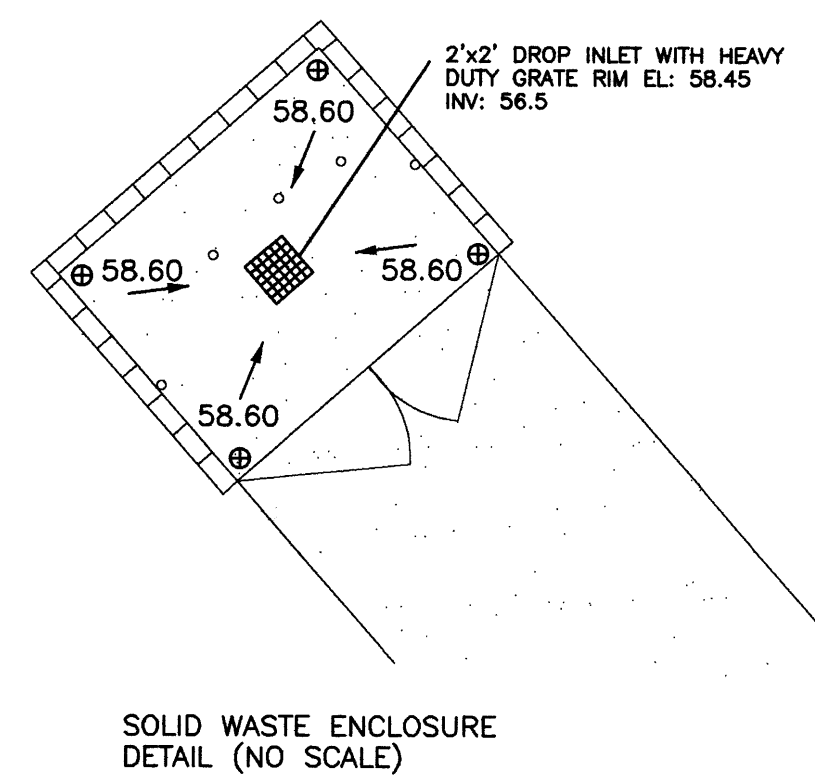
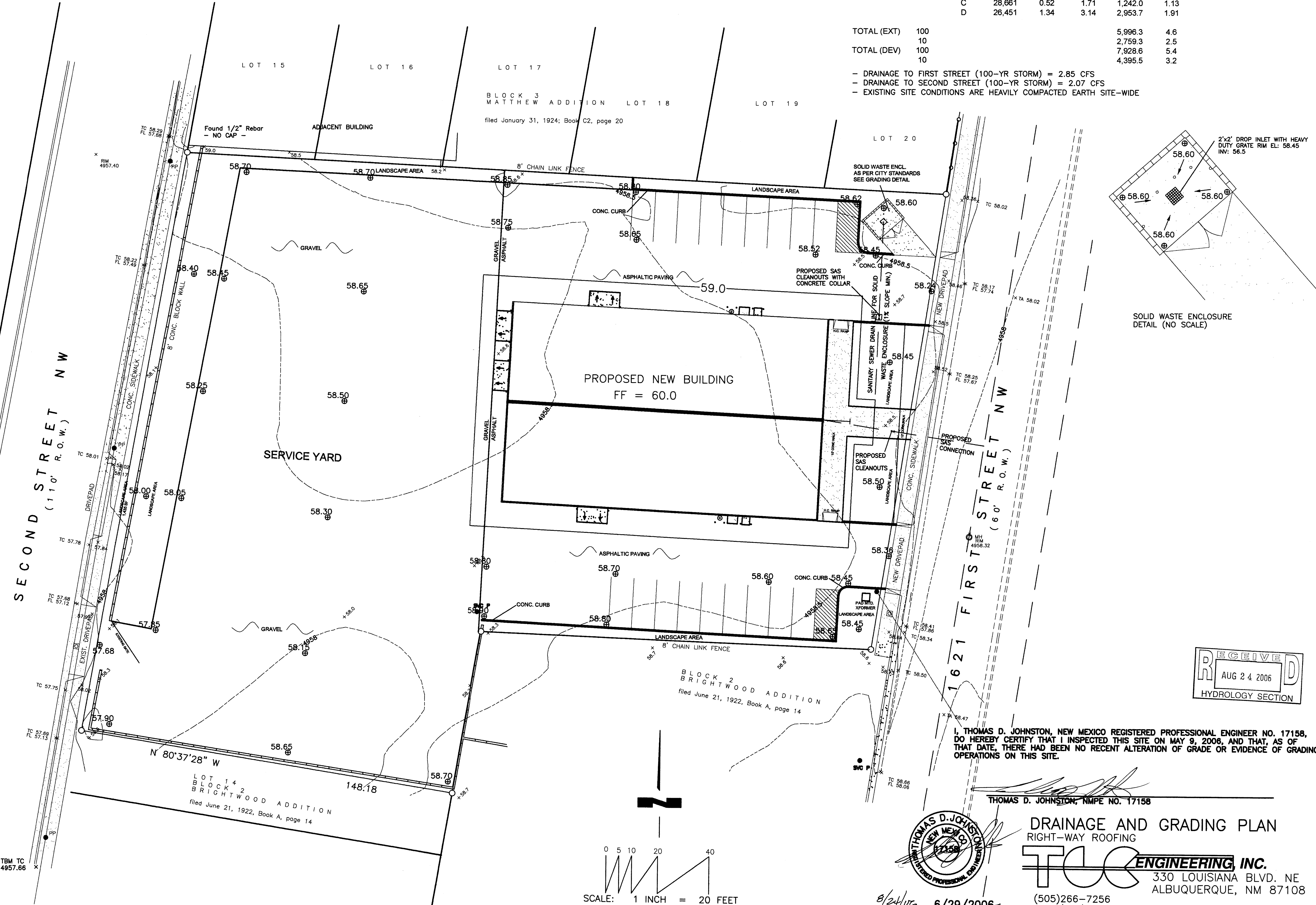
DRAINAGE DATA - RIGHTWAY ROOFING

THIS SITE LIES WITHIN PRECIPITATION ZONE 2

Condition	Return Table 4 (Years)	Treatment Type	Area (sq. ft.)	Precip. (in.)	Runoff Table A-9 (cfs/ac)	Volume (cu. Ft.)	Rate (cfs)
EXISTING	100	A	0	0.53	1.56	0.0	0.00
		B	0	0.78	2.28	0.0	0.00
		C	63,677	1.13	3.14	5,996.3	4.59
		D	0	2.12	4.70	0.0	0.00
EXISTING	10	A	0	0.13	0.38	0.0	0.00
		B	0	0.28	0.95	0.0	0.00
		C	63,677	0.52	1.71	2,759.3	2.50
		D	0	1.34	3.14	0.0	0.00
DEVELOPED	100	A	0	0.53	1.56	0.0	0.00
		B	8,565	0.78	2.28	556.7	0.45
		C	28,661	1.13	3.14	2,698.9	2.07
		D	26,451	2.12	4.70	4,673.0	2.85
DEVELOPED	10	A	0	0.13	0.38	0.0	0.00
		B	8,565	0.28	0.95	199.9	0.19
		C	28,661	0.52	1.71	1,242.0	1.13
		D	26,451	1.34	3.14	2,953.7	1.91

TOTAL (EXT) 100 5,996.3 4.6
10 2,759.3 2.5
TOTAL (DEV) 100 7,928.6 5.4
10 4,395.5 3.2

- DRAINAGE TO FIRST STREET (100-YR STORM) = 2.85 CFS
- DRAINAGE TO SECOND STREET (100-YR STORM) = 2.07 CFS
- EXISTING SITE CONDITIONS ARE HEAVILY COMPACTED EARTH SITE-WIDE



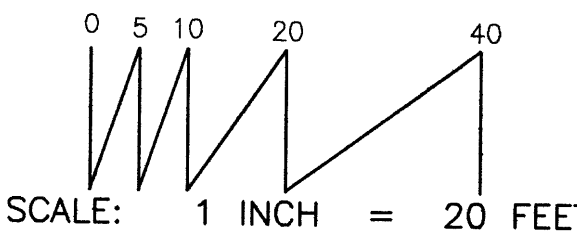
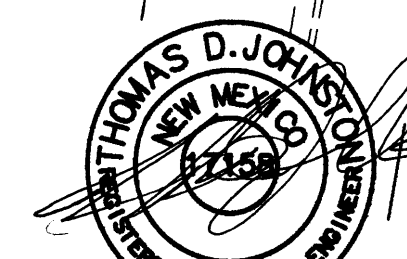
I, THOMAS D. JOHNSTON, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 17158, DO HEREBY CERTIFY THAT I INSPECTED THIS SITE ON MAY 9, 2006, AND THAT, AS OF THAT DATE, THERE HAD BEEN NO RECENT ALTERATION OF GRADE OR EVIDENCE OF GRADING OPERATIONS ON THIS SITE.

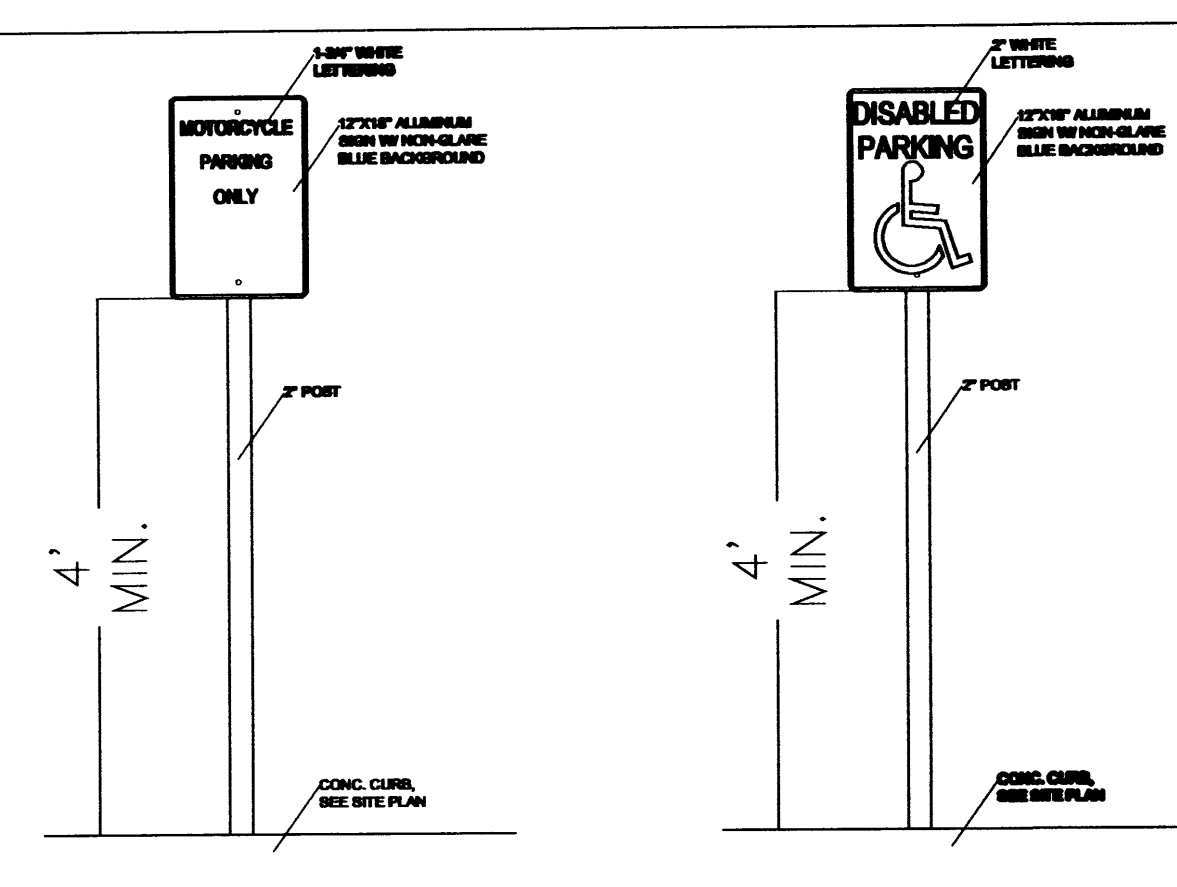
THOMAS D. JOHNSTON, NMPE NO. 17158

DRAINAGE AND GRADING PLAN
RIGHT-WAY ROOFING

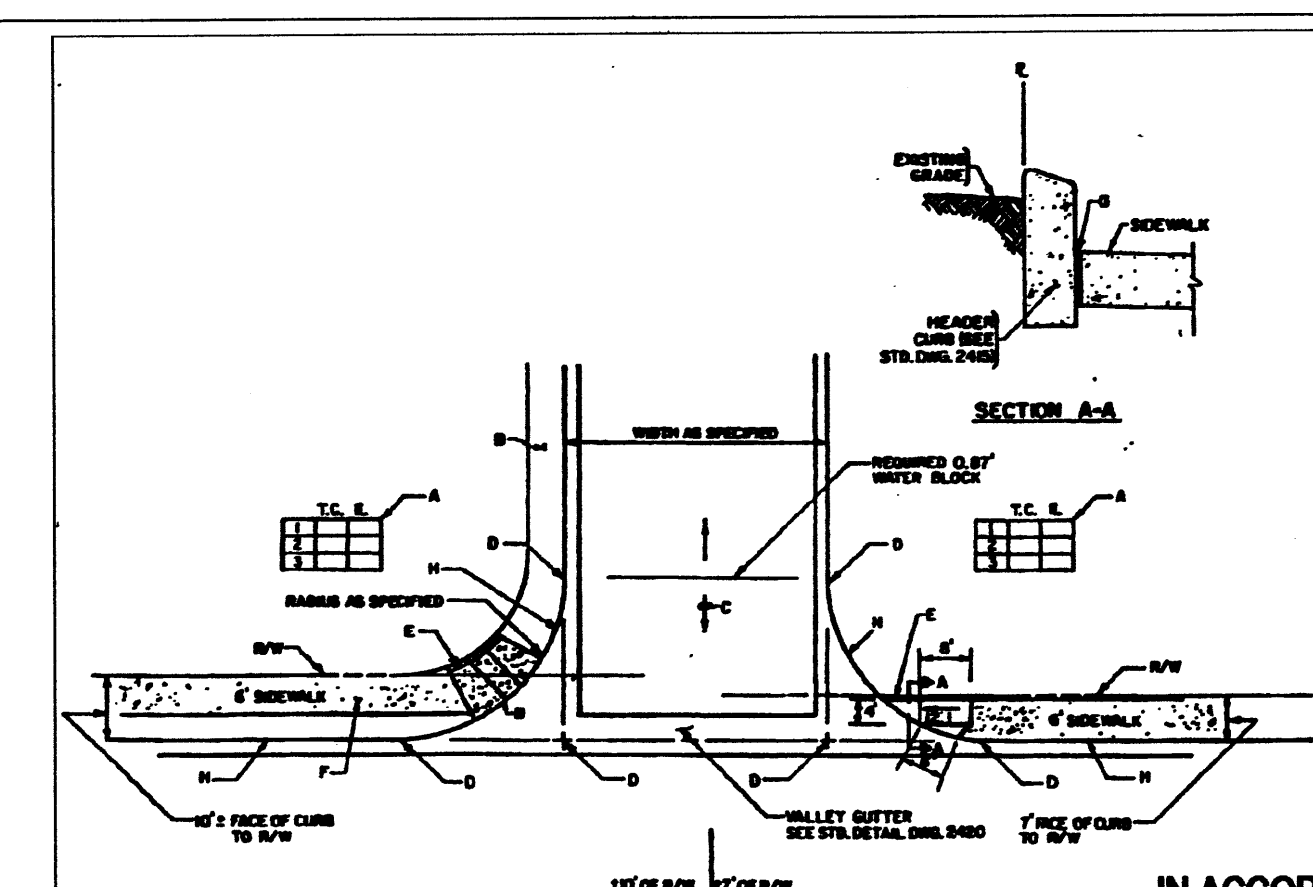
TDC ENGINEERING, INC.
330 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87108

(505)266-7256
Fax: (505) 255-2887



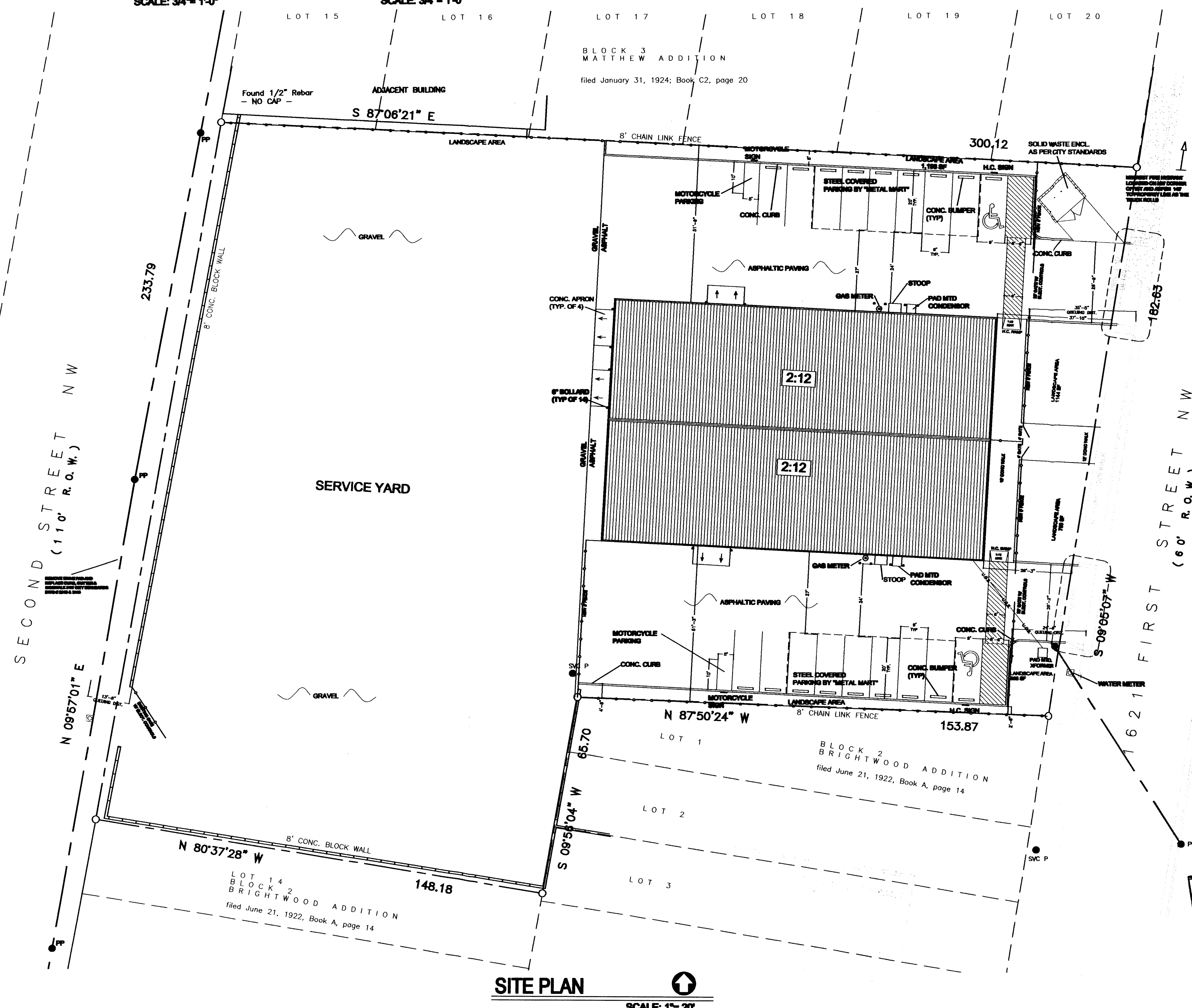


SIGN DETAIL
SCALE: 3/4" = 1'-0"



GENERAL NOTES:
1. THESE DETAILS ARE PROVIDED FOR ROAD TRAFFIC ONLY. OTHER DETAILS OR VARIATIONS SHALL BE SUBMITTED TO THE CITY ENGINEER PRIOR TO APPROVAL.
2. REQUEST FOR SIDEWALK VARIANCES SHALL BE SUBMITTED TO THE CITY ENGINEER PRIOR TO APPROVAL.
3. USE 1/2" EXP. JT. WHERE SIDEWALK OR DRIVEPAD ABUTS IMMOVABLE OBJECTS.
4. ALL DRIVEPADS SHALL BE A MIN. THICKNESS OF 6" AND SHALL BE CONSTRUCTED FROM BACK OF CURB TO FIL.
5. DRIVEPADS MORE THAN 18" SHALL HAVE A 1/2" EXP. JT. AT MIDPOINT.
6. SIDEWALK AT THE BACK OF CURB SHALL BE USED ONLY WHERE VARIANCES IS APPROVED.
7. FOR SIDEWALK WIDTH, SEE CHAPTER 23 OF THE TRAFFIC DEVELOPMENT PROCESS MANUAL.
8. SUBGRADE UNDER SIDEWALK & DRIVEPAD SHALL BE COMPACTED AS PER SECTION 301.
9. ADA - AMERICANS WITH DISABILITIES ACT.
A. CURB TYPE SIDEWALK
B. OFFSET SIDEWALK
C. 1/2" EXP. JOINT ADJACENT TO FIELD CONDITIONS ON REPLACEMENT WORK
D. CURB AND GUTTER
E. SLOPE TO BE ADJUSTED TO PROVIDE A UNIFORM TRANSITION BETWEEN SIDEWALK AND DRIVEPAD. (NOT TO EXCEED 1:10)
F. TOP OF DRIVEPAD
G. TOP OF CURB
H. PROPERTY LINE
I. VARIABLE WIDTH
K. SLOPE 1:50
L. THE FINISH GRADE ELEVATION DIFFERENCE BETWEEN TOP OF DRIVEPAD AT PROPERTY LINE AND TOP OF CURB AS DETERMINED BY A SLOPE OF 1:50 FROM TOP OF CURB TO TOP OF DRIVEPAD, AND ANY DEVIATION FROM THIS SLOPE MUST BE APPROVED BY THE CITY ENGINEER.
M. SAW CUT EXISTING CONCRETE FROM BACKSIDE OF CURB WITH SLOPE TOWARD FLOWLINE.
N. EXPOSED CUT EDGES SHALL BE GROUND SMOOTH ROUNDED TO REMOVE SHARP EDGES.
P. OUTSIDE EDGES OF SIDEWALK
Q. SLOPE REQUIRED TO MEET GIVEN OR SET BOUNDARY ELEVATION (PROPERTY LINE OR B.O.C. ETC.)

CONSTRUCTION NOTES:
A. INCLUDE QUANTIFIED POINT ELEVATIONS, SEE STD. DETAIL DWG. 2426.
B. WHERE STRONG SIDEWALK CONNECTION IS TO BE MADE, THE SIDEWALK SHALL BE 1/2" EXP. JT. AT MIDPOINT.
C. METAL CURB TO BE 4" OR LESS WHEN ONLY RETURN AND INTERSECTIONS OF SIDEWALKS TO BE MADE. SEE STD. DWG. 2426.
D. AT PROPERTY LINE, CONSTRUCT CURB TYPE SIDEWALK. SEE STD. DWG. 2426.
E. IF SIDEWALK IS ADJACENT TO THE SIDEWALK, THE SLOPE SHALL BE ADJUSTED TO MEET THE CURB. SEE STD. DWG. 2426.
F. 1/4" EXPANSION JOINT MATERIAL.
G. THEORETICAL FACE OF CURB ON FLOWLINE.



SITE PLAN
SCALE: 1" = 20'



VICINITY MAP
PAGE J-14-Z N.T.S.

GENERAL NOTES:
1. PROVIDE 6" CONCRETE FILLED BOLLARDS AT LOCATIONS INDICATED ON SITE PLAN AROUND ALL ROLLUP DOOR RAMPS, CONDENSOR PAD, AND GAS METER.
2. PREMIS IDENTIFICATION SHALL CONSIST OF 6" HIGH (MIN.) NUMBERS ON A CONTRASTING BACKGROUND PLACED IN A LOCATION THAT IS PLAINLY VISIBLE FROM THE STREET.
3. THERE SHALL BE NO RACK STORAGE ABOVE 12' IN WAREHOUSE AREA.

LEGAL:
A CERTAIN TRACT OF LAND BEING SITUATE IN SECTION 17, TOWNSHIP 10 NORTH, RANGE 3 EAST, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND COMPRISING:
PARCEL 1: LOTS NUMBERED FIFTEEN (15) AND SIXTEEN (16) IN BLOCK NUMBERED TWO (2) OF THE BRIGHTWOOD ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON THE 21ST DAY OF JUNE, 1922;
AND PARCEL 2: ALL THAT PORTION OF LOT "C", OF THE LANDS OF ISABEL DOW, AS SHOWN ON THE MAP OF SAID LANDS, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 2, 1927 AT 11:40 AM, WHICH LIES EAST OF THE EAST LINE OF NORTH SECOND STREET IN THE CITY OF ALBUQUERQUE, AS ESTABLISHED BY DEED RECORDED IN BOOK 107, AT PAGE 27, OF THE RECORDS OF SAID OFFICE;
AND PARCEL 3: A TRACT OF LAND COMPRISING THE EASTERLY 10.00 FEET OF THAT PORTION OF TRACT "C" OF THE LANDS OF ISABEL DOW, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID LANDS, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON THE 2ND DAY OF MAY, 1927, ACQUIRED BY THE CITY OF ALBUQUERQUE BY DEED RECORDED IN BOOK 107, PAGE 27, OF THE RECORDS OF SAID COUNTY OFFICE;
AND PARCEL 4: LOT LETTERED "B" OF THE LANDS OF ISABEL DOW AS SHOWN AND DESIGNATED ON THE MAP OF SAID LANDS FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 2, 1927, ALSO DESCRIBED AS TRACT 282, AMENDED MAP NO. 37 SURVEY OF MIDDLE RIO GRANDE CONSERVANCY DISTRICT;
AND PARCEL 5: TRACT 287, AS THE SAME IS SHOWN AND DESIGNATED ON THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT MAP 37.

TRAFFIC CIRCULATION LAYOUT
APPROVED
4/3 3/31/06
Signed _____ Date _____

INDEX OF DRAWINGS:

C-1	SITE PLAN & PROJECT DATA
C-2	GRADING AND DRAINAGE
L-1	LANDSCAPE PLAN
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A-1	FLOOR PLAN & WALL SECTIONS
A-2	ELEVATIONS & SCHEDULES
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E-1	ELECTRICAL PLAN
M-1	MECHANICAL PLAN
P-1	PLUMBING PLAN

13 PAGES OF SHOP DWGS FROM "TRIMARCH"

PROJECT DATA:

PROJECT: RIGHT WAY ROOFING
1621 FIRST STREET NW
ALBUQUERQUE, NEW MEXICO 87102

OWNER: JOHN SANCHEZ
1621 FIRST STREET NW
ALBUQUERQUE, NM 87102
(505) 247-3400

ARCHITECT: GARLAN BRYAN ARCHITECT
NM REG. #144
2403 SAN MATEO BLVD. NE
SUITE W-1
ALBUQUERQUE, NM 87110
505-884-8884

CONTRACTOR: HOMES BY DANIELLE
2 GRASSLANDS RD.
LOS LUNAS, NM 87031
LIC#88807

ZONING: M-2

BUILDING CODE: INTERNATIONAL BUILDING CODE (IBC) 2003
NEW MEXICO BUILDING CODE (COMMERCIAL)

ACCESSIBILITY CODE: ICC/ANSI A 117.1-2003

SEISMIC DESIGN CATEGORY: D

SEISMIC FACTOR: CAT III, (IE) 1.25

CONST. TYPE: I-B

BUILDING AREA: 2,000 OFFICE
8,000 SF WAREHOUSE
2,000 SF MAZANINE FOR FUTURE EXPANSION

ALLOWABLE AREA: 23,000 SF

NONSEPERATED USE: IAW ICB 302.3.1 USING TYPE V-B CONSTRUCTION AND B OCCUPANCY WITH A LIMITATION OF 2 FLOORS AND 8,000 SF (MOST RESTRICTIVE) AND APPLYING THE 47% AREA INCREASE DUE TO FRONTAGE= 13,230 SF. WHICH IS UNDER THE AREA OF THIS BUILDING. NO FIRE SEPERATION IS REQUIRED BETWEEN B & A2. THE REQUIREMENT FOR A 1 HOUR SEPERATION BETWEEN TENANT SPACES MUST STILL BE MET.

BUILDING HEIGHT: 26'-5"

OCCUPANCY: B-OFFICE, S2-LOW HAZARD STORAGE

OCCUPANT LOAD: OFFICE AREAS 2,000 SF / 100=20
WAREHOUSE 8,000 SF / 600=4
TOILET/CIRC. TOTAL= 24 OCCUPANTS

FIXTURE COUNT: REQUIRED-MALE: 2 LAV, 2 W.C.
FEMALE: 2 LAV, 2 W.C.
PROVIDED- MALE: 2 LAV, 2 W.C.
FEMALE: 2 LAV, 2 W.C.
UNISEX: 2 LAV, 2W.C.

PARKING: REQUIRED PARKING- 14 SPACES, 1 OF WHICH MUST BE H.C.+ 1 MOTORCYCLE
PROVIDED PARKING- 18 SPACES, 2 OF WHICH IS H.C.+ 2 MOTORCYCLE

EXECUTIVE SUMMARY:
THE ADDITION OF A 10,000 SF BUILDING THAT WILL HOUSE 2 TENANT SPACES EACH HAVING ROUGHLY 1,000 SF OF OFFICE SPACE, AND 4,000 SF OF WAREHOUSE SPACE. EACH HAVING ADEQUATE PARKING AND TOILET ROOMS AND EACH HAVING A SMALL KITCHENETTE WITHOUT COOKING FACILITIES. A ONE HOUR SEPERATION WALL BETWEEN TENANT SPACES IS REQUIRED, HOWEVER NO USE SEPERATION BETWEEN OFFICE AND WAREHOUSE IS REQUIRED (SEE ABOVE) THE INTENT ALSO INCLUDES CONCRETE DRIVE PADS, LANDSCAPE AREAS, PARKING, AND A NEW SECURITY FENCE. THIS PROJECT DOES NOT EFFECT ADJACENT PROPERTIES.

DESIGN DATA:
SOIL BEARING PRESSURE: 1,000 PSF
CONCRETE: 3,000 PSI RED-MIX
ROOF LOADING: 25PSF + 20PSF SNOW LOAD
PRE-ENGINEERED METAL BUILDING-SEE ATTACHED
PRE-ENGINEERED WOOD TRUSSES (OFFICE FRAMING)

RIGHT WAY ROOFING	DATE: 8/30/06
GARLAN BRYAN, ARCHITECT 2403 SAN MATEO BLVD. N.E. ALBUQUERQUE, NEW MEXICO	
C-1	SITE PLAN & PROJECT DATA