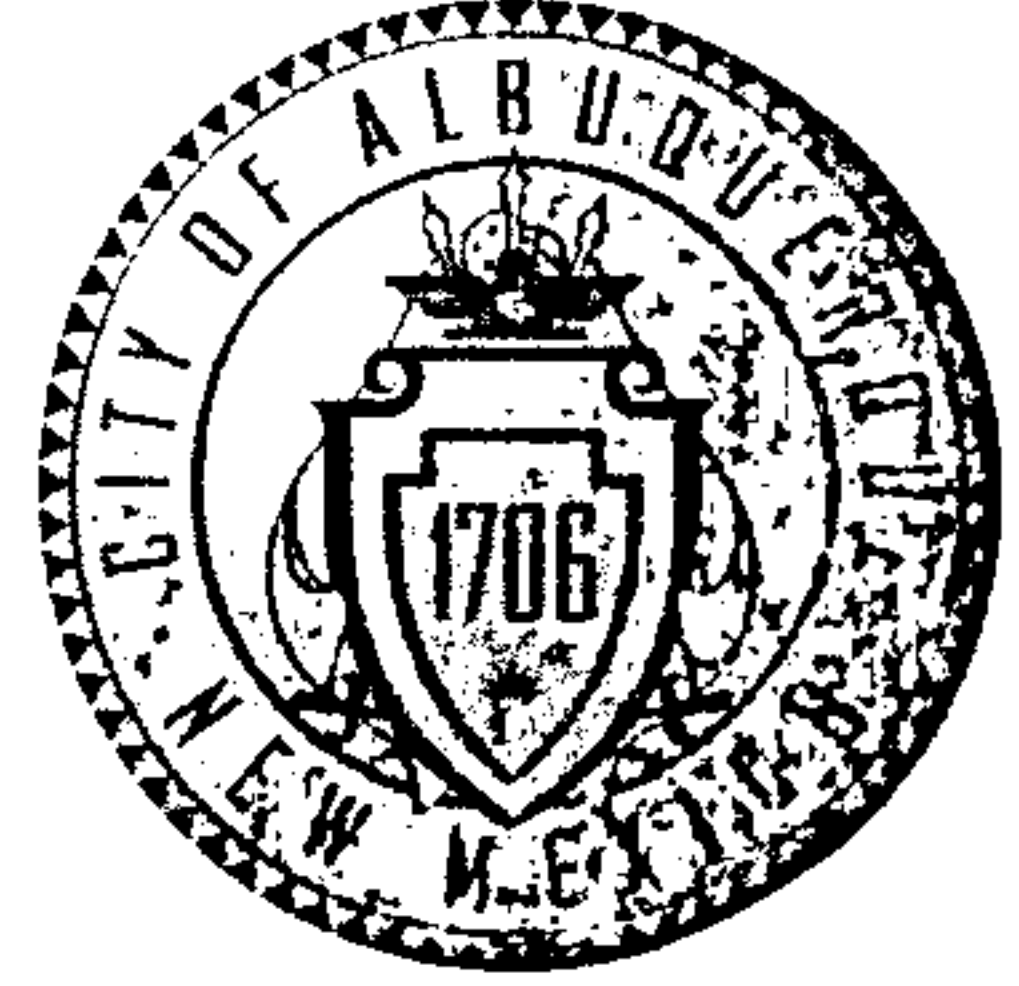


CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

December 12, 2008

Shary R. Adams, Registered Architect
2101 Mountain Road NW
Albuquerque, NM 87104

Re: Certification Submittal for Final Building Certificate of Occupancy for
Wesst Corp, [J-14 / D158]
609 Broadway Blvd. NE
Architect's Stamp Dated 12/10/08

Dear Mr. Adams:

PO Box 1293

The TCL / Letter of Certification submitted on December 11, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

NM 87103

www.cabq.gov

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: WESST CORP ZONE ATLAS/DRNG. FILE #: J14/D158
DRB #: 1005261 EPC #: WORK ORDER #:

LEGAL DESCRIPTION: TRACT 1, LANDS OF WESST CORP
CITY ADDRESS: 609 BROADWAY BLVD NE, ALBUQUERQUE NM

ENGINEERING FIRM: HIGH MESA CONSULTING GROUP CONTACT: GRAEME MEANS, PE 13676
ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

OWNER: CITY OF ALBUQUERQUE, DEPT. OF MUNICIPAL DEVELOP. CONTACT: SUZANNE BUSH
ADDRESS: P.O. BOX 1293 PHONE: 768-3616
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87103

ARCHITECT: STUDIO SOUTHWEST ARCHITECTS INC. CONTACT: SHARY ADAMS
ADDRESS: 2101 MOUNTAIN ROAD NW PHONE: (505) 843-9639
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87104

SURVEYOR: HIGH MESA CONSULTING GROUP CONTACT: CHARLES CALA, NMPS 11184
ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

CONTRACTOR: GERALD MARTIN, LTD CONTACT: TIM COUGHENOUR
ADDRESS: PO BOX 91450 PHONE: 263-0225
CITY, STATE: ABQ, NM ZIP CODE: 87199-1450

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☒ ARCHITECT'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

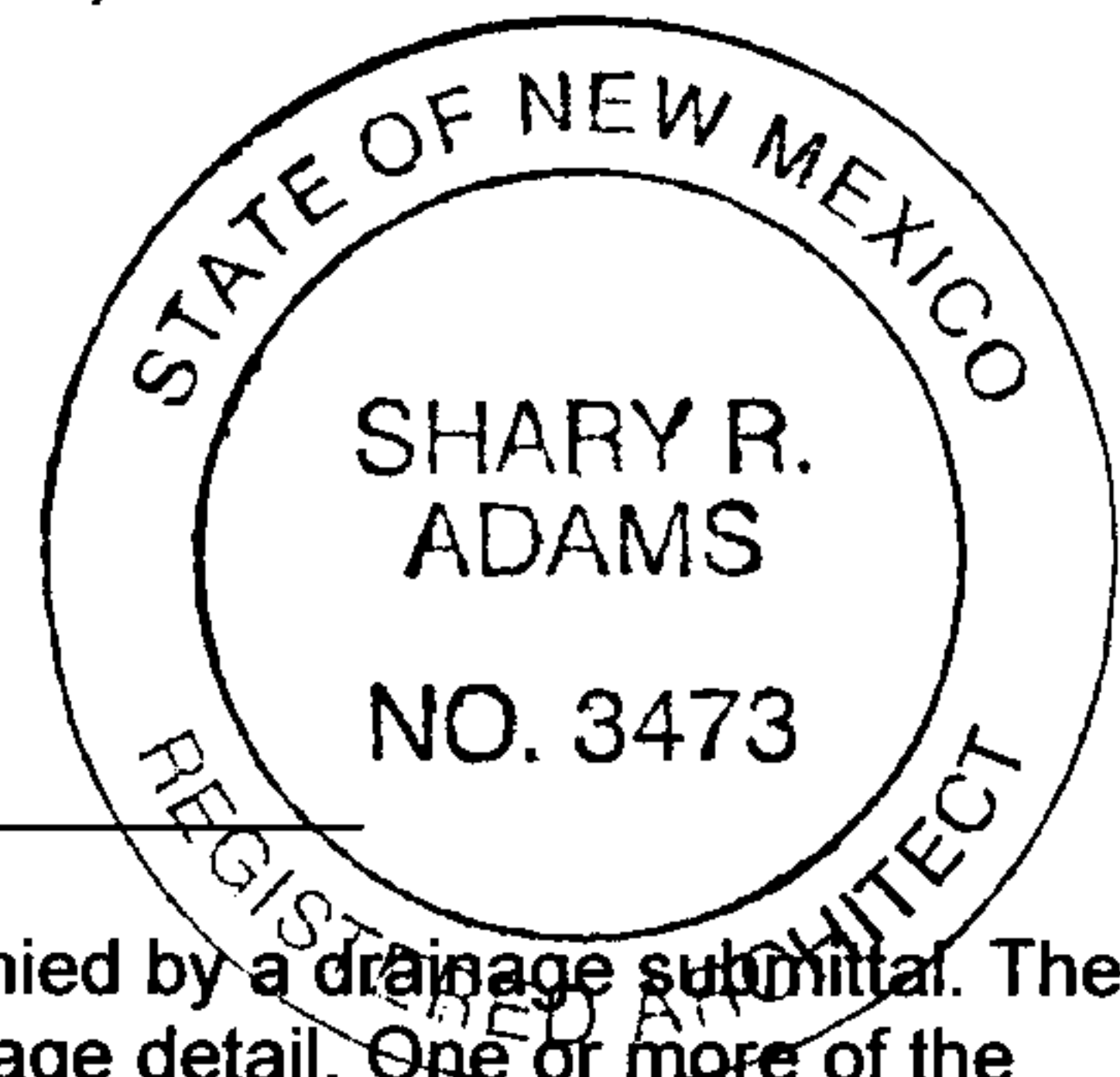
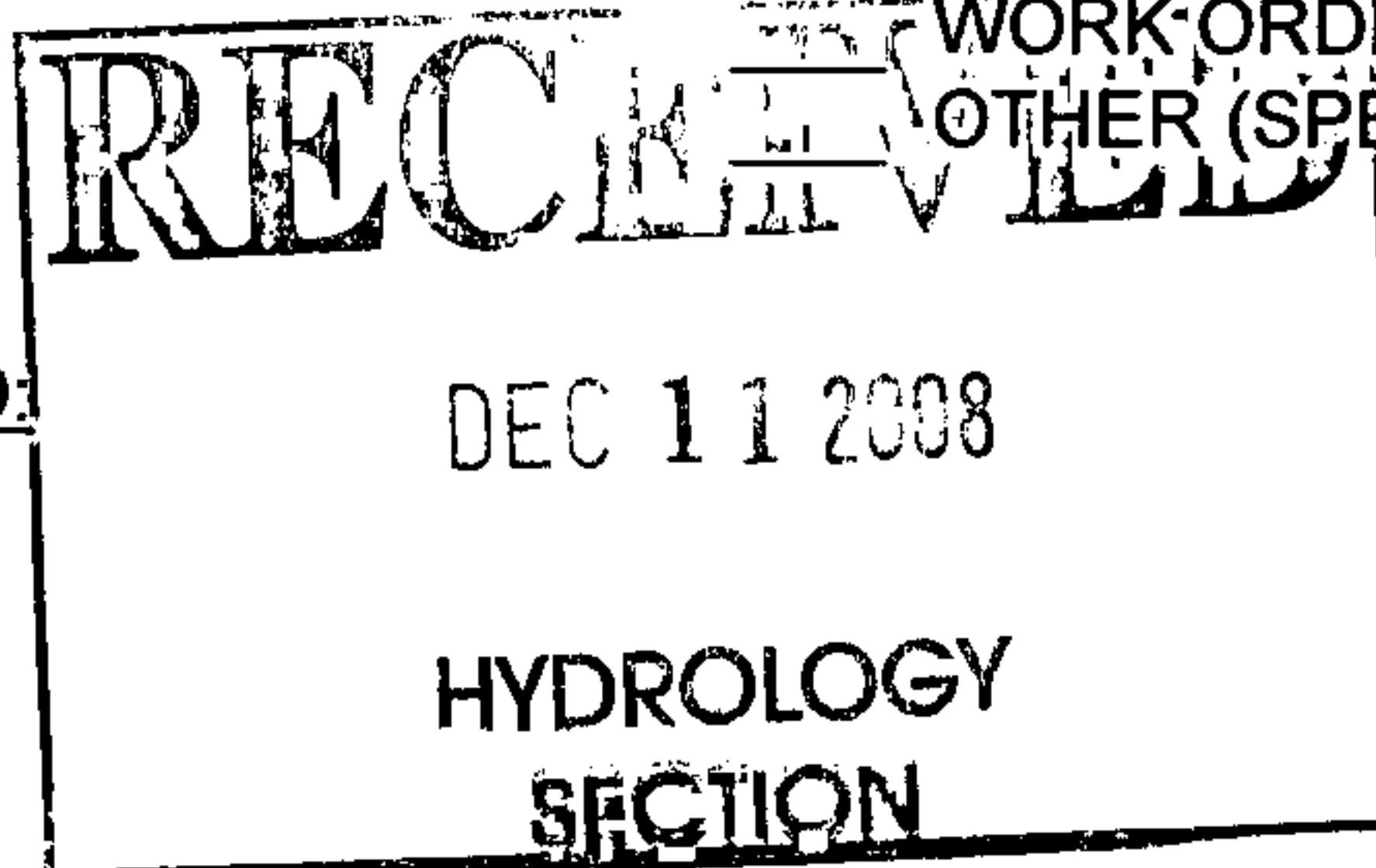
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) SO#19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 12/11/08 BY: SHARY ADAMS, AIA, LEED AP



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



Studio Southwest
Architects Inc.

TRAFFIC CERTIFICATION

I, SHARY ADAMS, NMRA NO. 3473, OF THE FIRM STUDIO SOUTHWEST ARCHITECTS, INC., HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE TCL APPROVED PLAN DATED MARCH 22, 2007. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY SHARY ADAMS OF THE FIRM STUDIO SOUTHWEST ARCHITECTS, INC. I FURTHER CERTIFY THAT I HAVE PERSONNALLY VISITED THE PROJECT SITE ON DECEMBER 8, 2008 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY (PERMANENT).

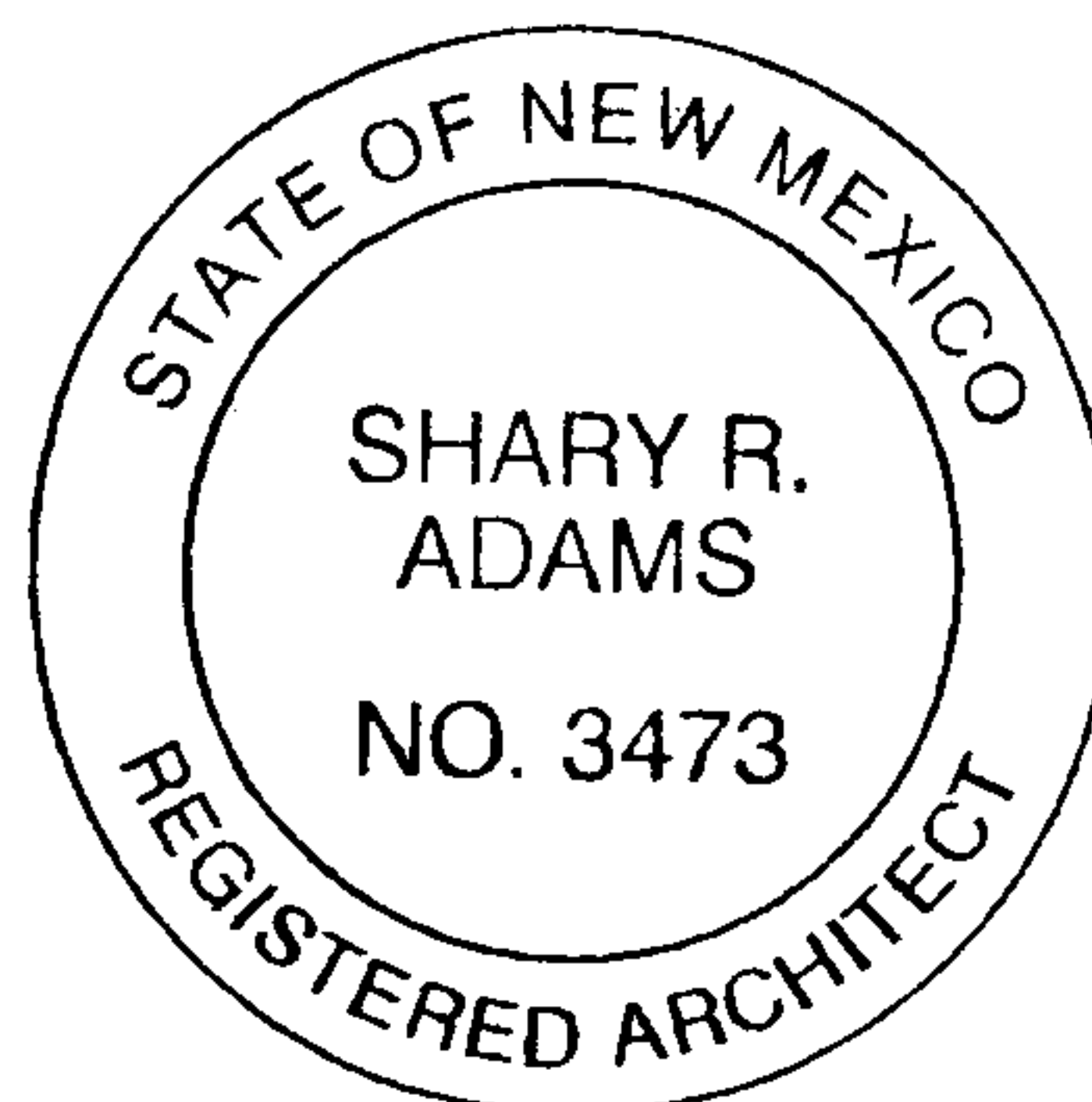
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

A handwritten signature in black ink, appearing to read "Shary R. Adams", written over a horizontal line.

Signature of Architect

12/10/2008

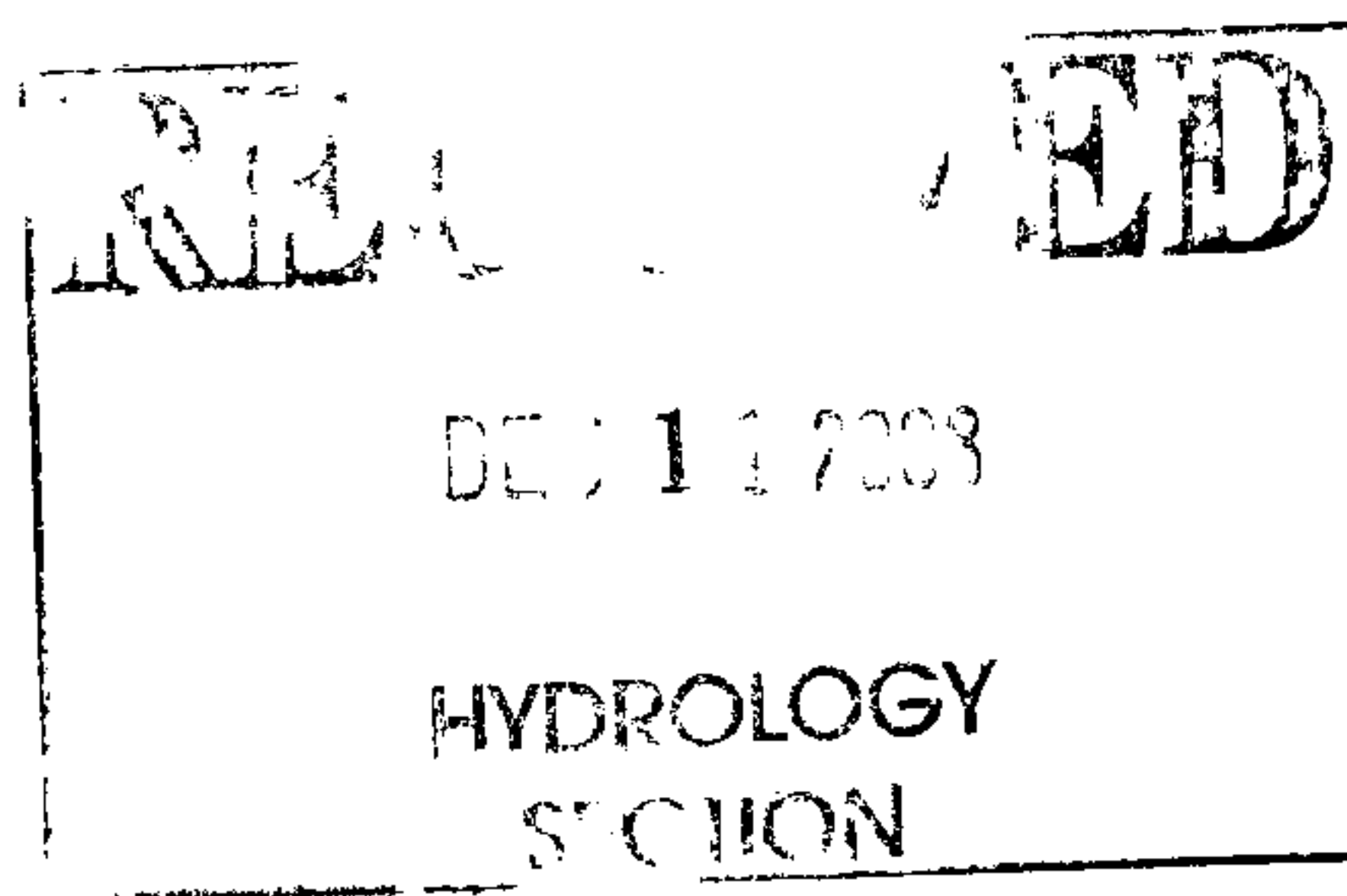
Date



Albuquerque
2101 Mountain Road NW
Albuquerque, NM 87104
T 505.843.9639
F 505.843.9683
mail@studioswarch.com

Santa Fe
130 Grant Avenue, Suite 102
Santa Fe, NM 87501
T 505.982.7191
F 505.992.0585
mail@studioswarch.com

www.studioswarch.com



Project No. 0618
WESST Corp



Studio Southwest Architects, Inc.
2101 Mountain Road NW
Albuquerque NM 87104
(505) 843.9639 Phone
(505) 843.9683 Fax
Email: dellin@studioswarch.com

Letter of Transmittal

to: Nilo E. Salgado-Fernandez, PE
City of Albuquerque
Development and Building Services, Planning Dept
600 2nd St NW
Albuquerque, NM 87103
(505) 924-3860 phone

date: December 11, 2008

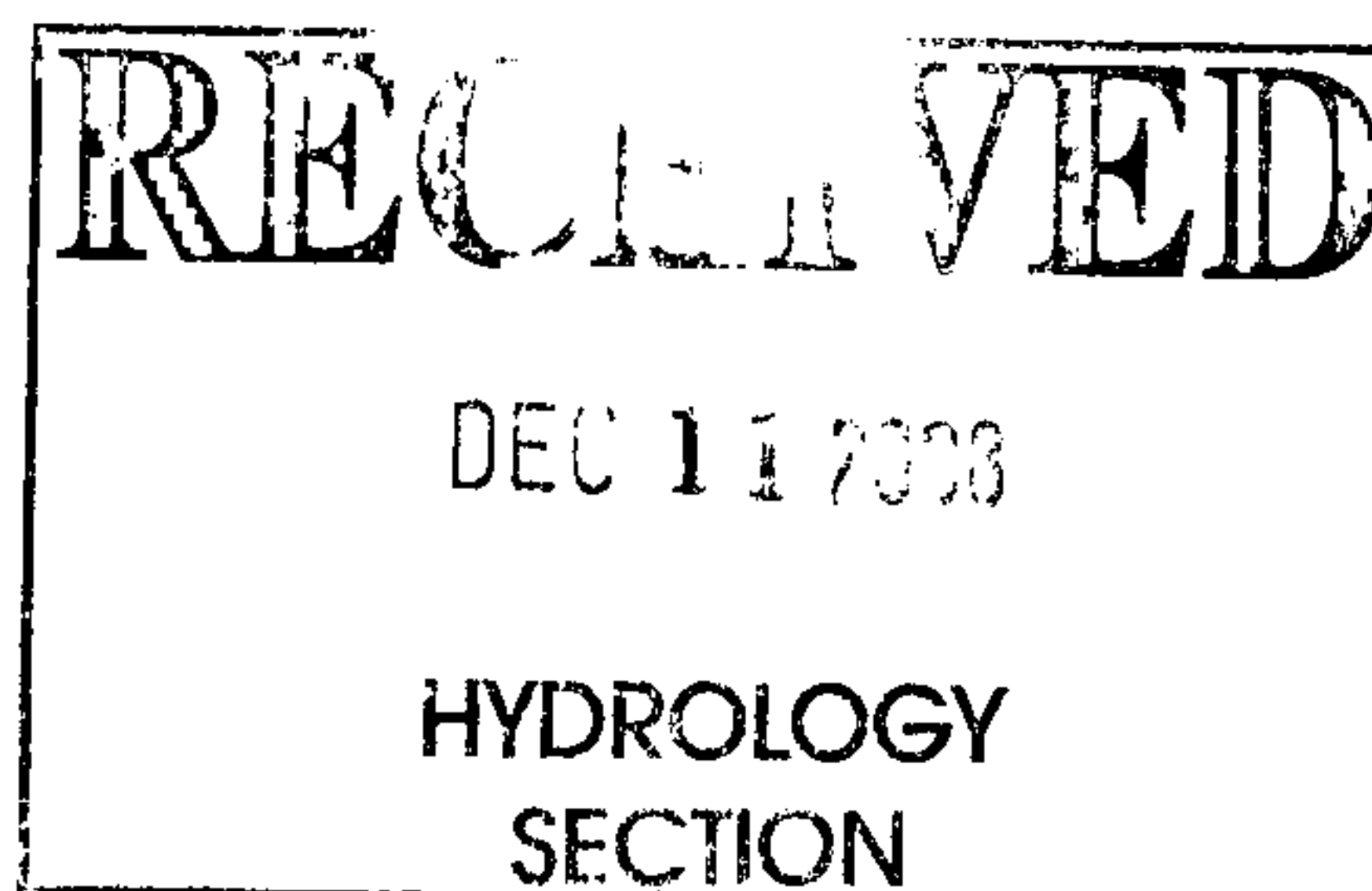
via: courier

re: Certificate of Occupancy

copies	date	description
1		Traffic Circulation Layout
1	12/11/08	Drainage Information Sheet
1	12/10/08	Traffic Certification Letter

remarks:

Provided for fulfillment of requirements for Certificate of Occupancy.



copy to: Studio SW file

signed: Delia Barrett for Dave Ellin

p:\0618 wesstcorp\10-construction administration\s-punch list, cert of substantial completion\tm to planning (traffic & drainage).doc

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: WESST CORP (NEWBATION) ZONE ATLAS/DRNG. FILE #: J14/D158
 DRB #: 1005261 EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOTS 1 AND 2, BLOCK 2, BRATINA ADDITION NO.2; LOTS 1-10 INCLUSIVE, LOTS 19, 20 AND 21, FRANCHINI ADDITION, AND LOT 1, TOWNES ADDITION
 CITY ADDRESS: 609 BROADWAY BLVD NE, ALBUQUERQUE NM

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC., INC. CONTACT: GRAEME MEANS, PE 13676
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

OWNER: CITY OF ALBUQUERQUE, DEPT. OF MUNICIPAL DEVELOP. CONTACT: SUZANNE BUSH
 ADDRESS: P.O. BOX 1293 PHONE: 768-3616
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87103

ARCHITECT: STUDIO SOUTHWEST ARCHITECTS INC. CONTACT: RICH BRAUN
 ADDRESS: 2101 MOUNTAIN ROAD NW PHONE: (505) 843-9639
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87104

SURVEYOR: JEFF MORTENSEN & ASSOC., INC. CONTACT: CHARLES CALA, NMPS 11184
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ OTHER (SPECIFY) *SO#19*

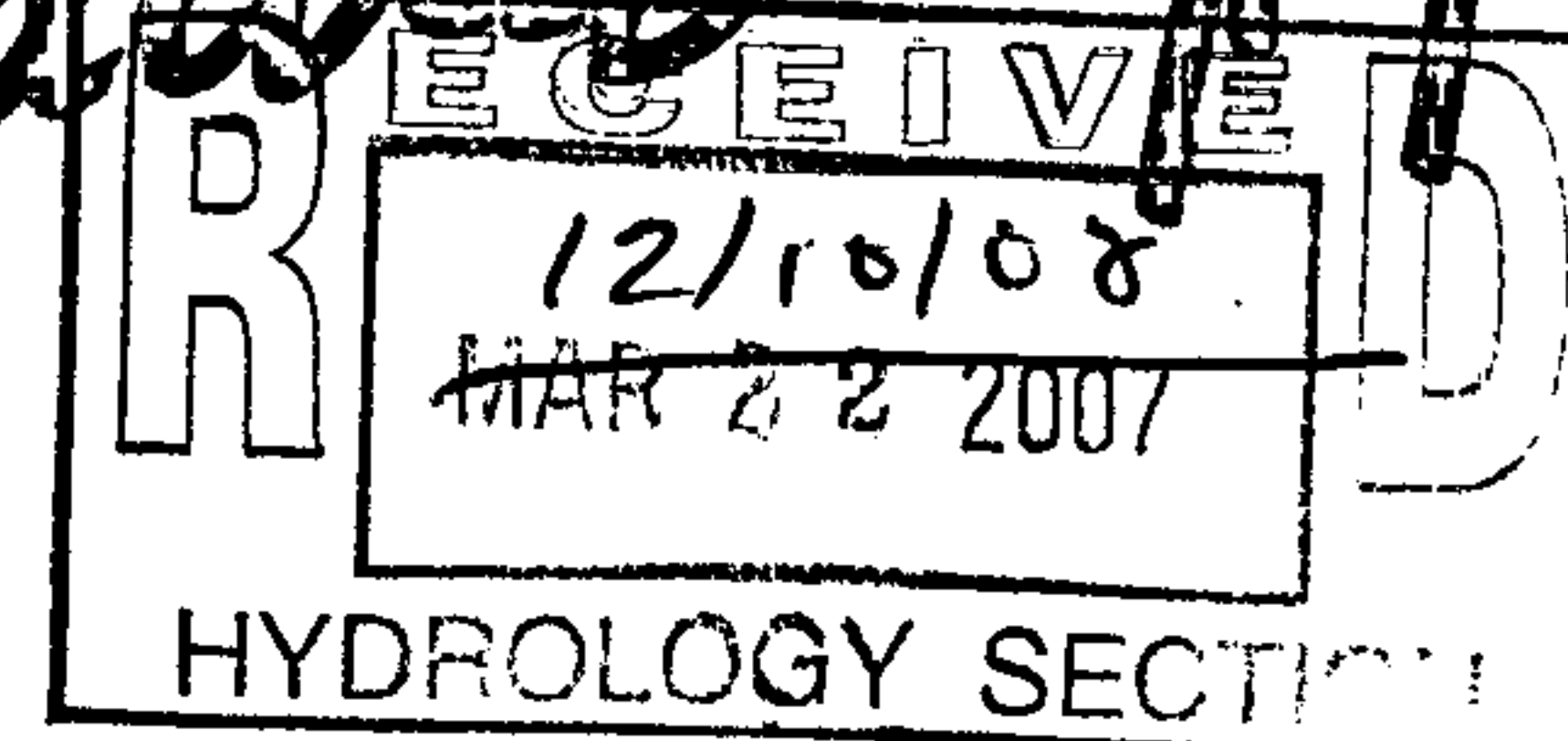
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 03/22/2007 BY: GRAEME MEANS

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.





**Studio Southwest
Architects Inc.**

December 9, 2008

Attn: Russ Duve
Gerald Martin
General Contractor
8501 Jefferson NE 87113

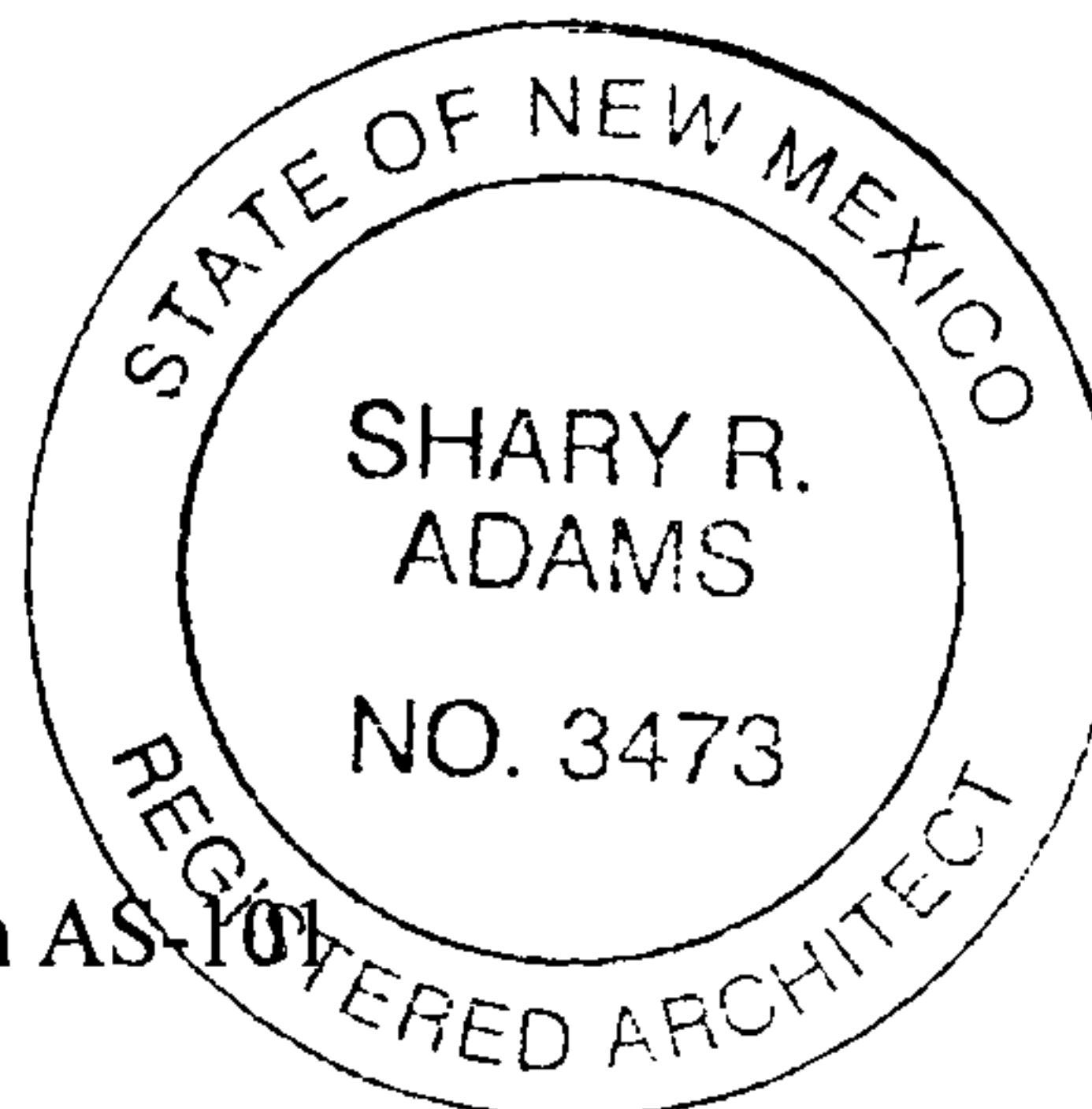
Re: WESST Corp Enterprise Center
609 Broadway Blvd NE
Site Compliance for COA Transportation Dept.

Dear Mr. Duve:

This letter is in response to the City of Albuquerque's request for Architect's inspection of the site plan. Studio Southwest Architects, Inc. reinspected the WESST Corp site on December 8, 2008 and provided a punch list to Gerald Martin General Contractor for interior items. The exterior items noted on the November 4, 2008 punch list are now complete. The site is in compliance with the Architectural Site Plan AS-101 (attached).

Sincerely,

Shary Adams, AIA, LEED AP
Principal



Attachment: Architectural Site Plan AS-101

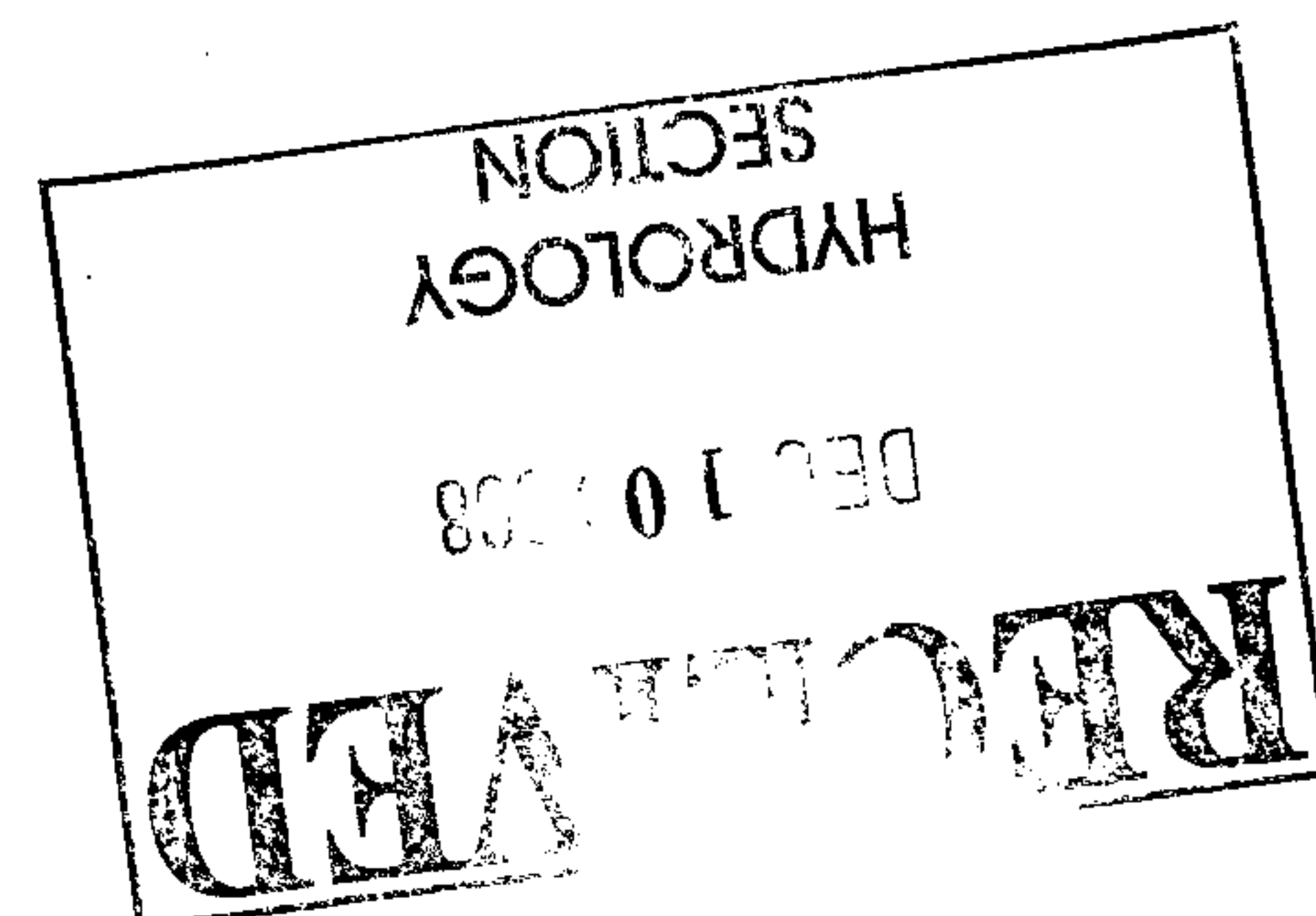
cc: City of Albuquerque Transportation Department

p:\0618 wesstcorp\01-correspondence\5-contractors\081208 ltr to r duve (as-101 site compliance).doc

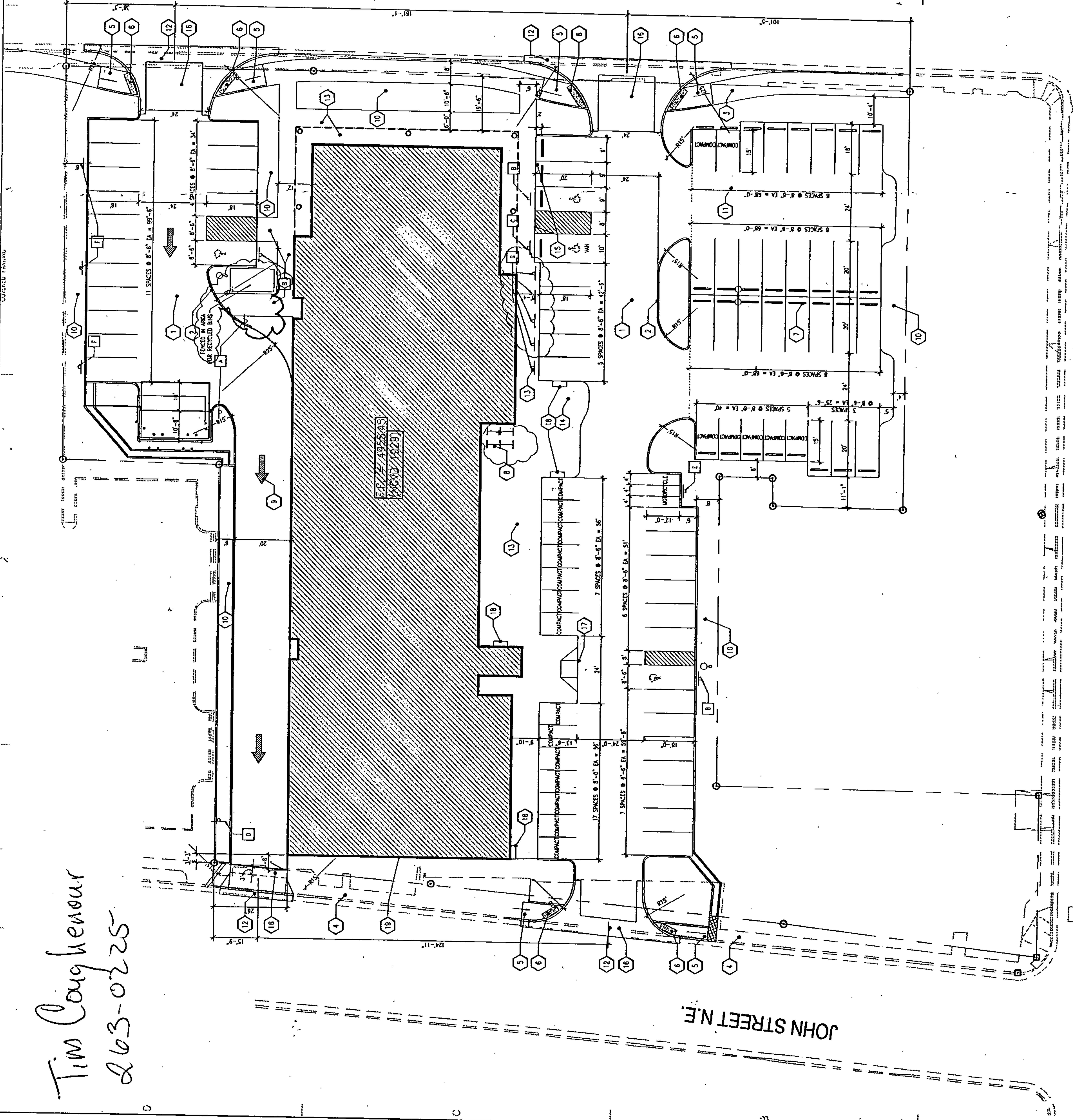
Albuquerque
2101 Mountain Road NW
Albuquerque, NM 87104
T 505.843.9639
F 505.843.9683
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130 Grant Avenue, Suite 102
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T 505.982.7191
F 505.992.0585
mail@studioswarch.com

www.studioswarch.com

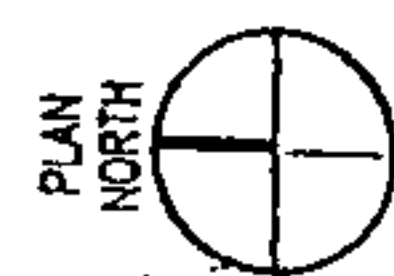


Tim Coughenour
263-0225

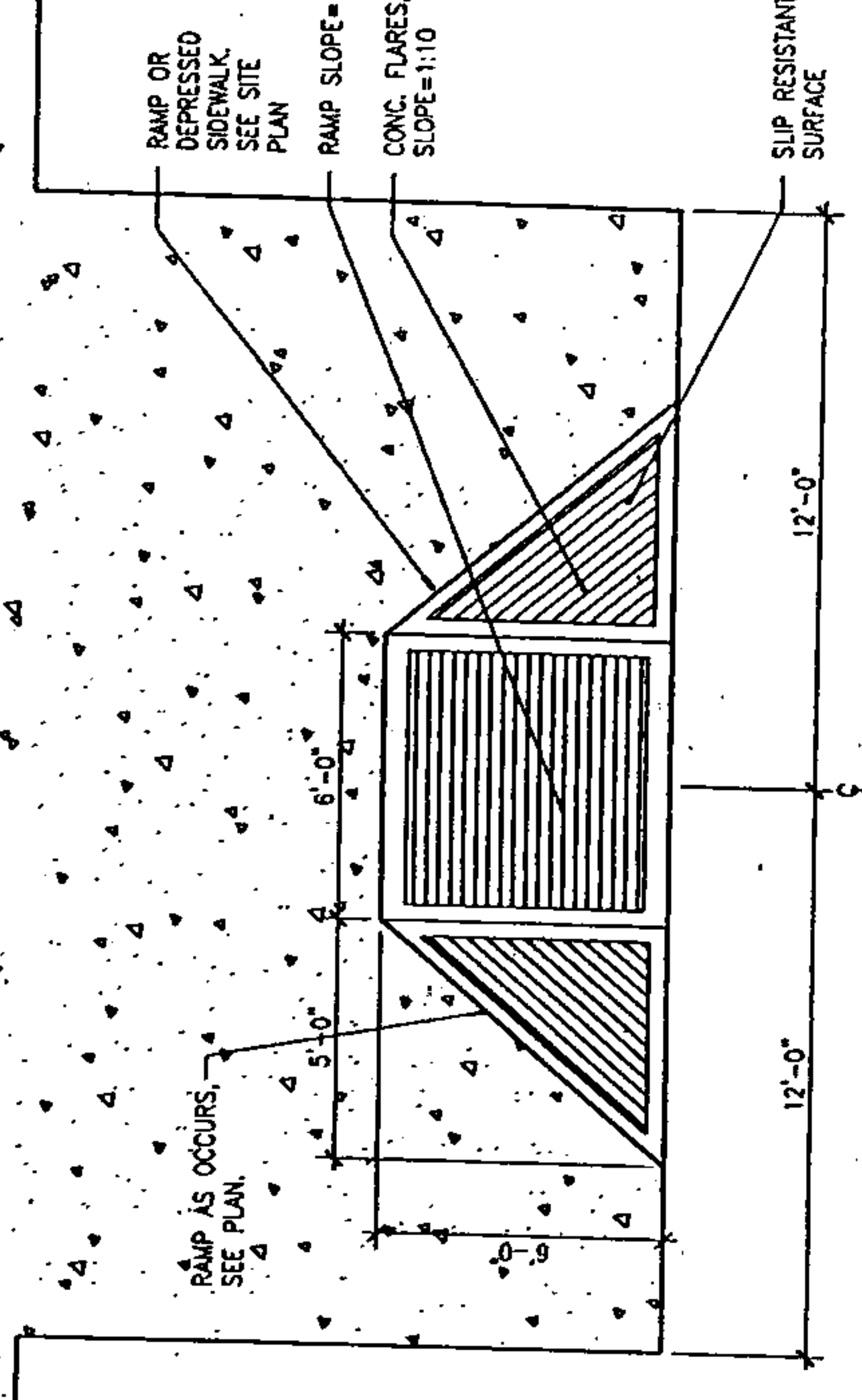


A1 ARCHITECTURAL SITE PLAN
1" = 20'-0"

ROMA AVENUE N.E.



A4 CURB RAMP
1/4" = 1'-0"



A5 CURB RAMP
1/4" = 1'-0"



SW ARCHITECTS
2100 SOUTHVIEW AVENUE, N.E.
SUITE 200
ALBUQUERQUE, NM 87104
TEL: 505.263.0225
FAX: 505.263.0226
WWW.SWARCHITECTS.COM

DESIGNED BY: Tim Coughenour
DRAWN BY: Tim Coughenour
CHECKED BY: Tim Coughenour
DATE: 02/15/07

CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
DOCUMENTS - 02/15/07
WEST CORP ENTERPRISE CENTER
ARCHITECTURAL SITE PLAN
Design Review Committee City Engineer Approval

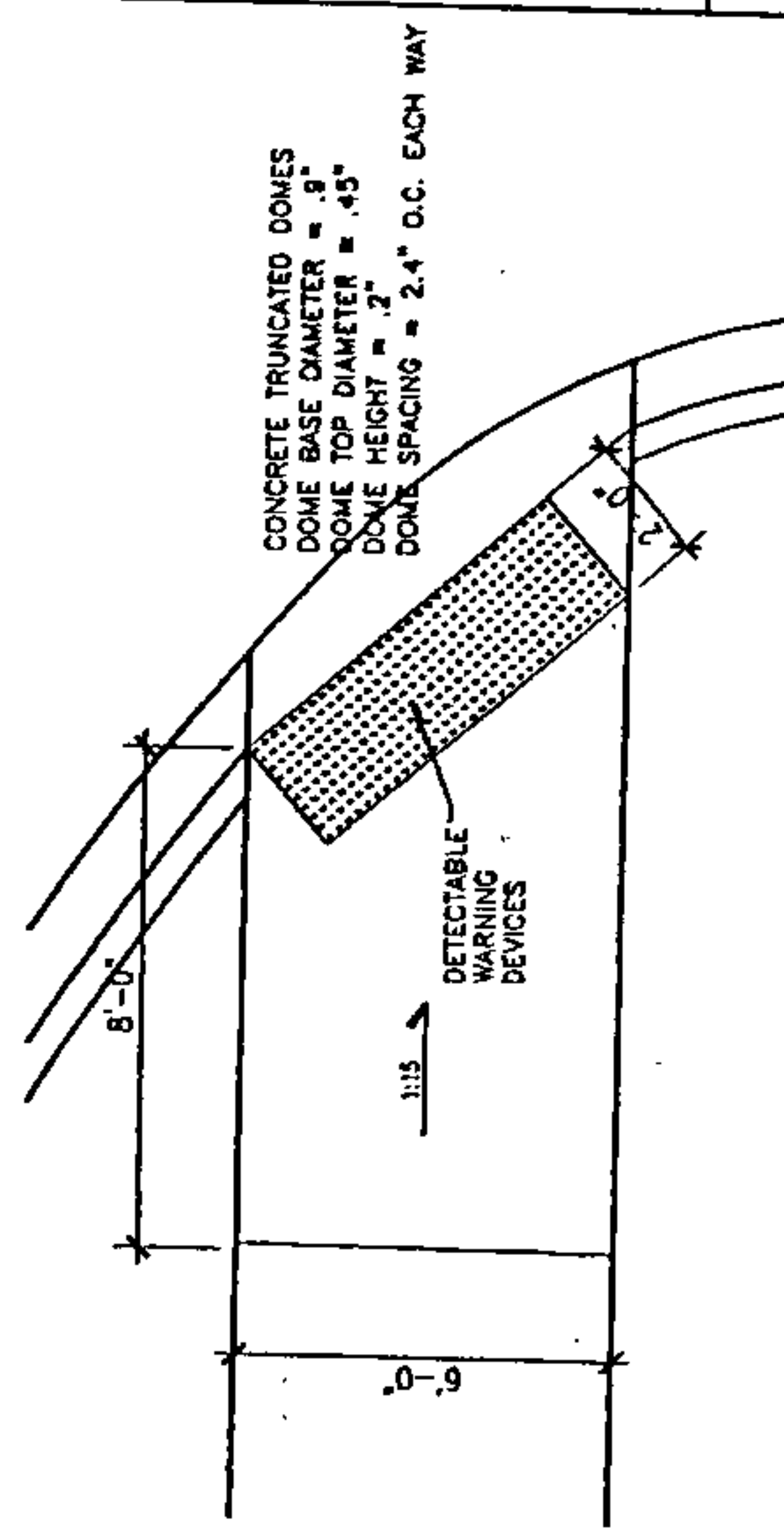
No.	Date	REVISIONS
AS1-5	01-02-08	SITE PLAN REVISIONS SA
REV-1	11-08-07	2ND FLR PLAN REVS SA
AS1-3	10-15-07	2ND FLR PLAN REVS SA
AS1-3	10-15-07	REVISIONS

Checked By: _____
Drawn By: _____
DATE: _____
DESIGNED BY: _____
DATE: _____

City Project No. EDA Project No. Zone Map No. Sheet 37 of 109
7777 E. 11th Ave. N.E. 87109



ENGINEER'S SEAL



B5 CURB RAMP
1/4" = 1'-0"

OSHEET KEYNOTES

- 1) ASPHALT PAVING
- 2) CURB AND GUTTER. REFER TO CIVIL
- 3) NEW 4" CONCRETE SIDEWALK. REFER TO CIVIL
- 4) EXISTING SIDEWALK
- 5) CURB RAMP. MAXIMUM SLOPE OF 15:1. REFER TO BS/A-100.
- 6) TRUNCATED DOWNS. REFER TO BS/A-100.
- 7) 12" WIDE CONCRETE WHEEL STOP, 11".
- 8) 12" WIDE CONCRETE WHEEL STOP, 11".
- 9) DISCREETLY-APPROXIMATE. REFER TO BS/AS-501
- 10) LANDSCAPE AREA
- 11) GRAVEL SURFACE
- 12) VALLEY GUTTER. REFER TO CIVIL
- 13) 12" WIDE CONCRETE WHEEL STOP, 11".
- 14) FLAG POLE. REFER TO C3/AS-501
- 15) FLAG POLE. REFER TO C3/AS-501
- 16) FLAG POLE. REFER TO C3/AS-501
- 17) CURB RAMP. REFER TO DTL A4/AS101
- 18) 5'-0" WIDE BENCH
- 19) FIRE DEPT CONNECTION

SIGN TYPES

A) REFER TO SHEET AS-501 FOR SIGN TYPE DETAILS.

A	ONE WAY	D	DO NOT ENTER
B	HANDICAP ACCESSIBLE PARKING	E	MOTORCYCLE PARKING
C	VAN ACCESSIBLE PARKING	F	EMPLOYEE PARKING
G	FUEL EFFICIENT VEHICLES		

- GENERAL NOTES
- A) COORDINATE WITH MECHANICAL, ELECTRICAL & PLUMBING.
 - B) ALL KEYED NOTES MAY NOT BE USED.

AS-BUILT INFORMATION		FIELD NOTES		BENCH-MARKS		HYDROLOGY	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
CONTRACTOR	DATE	BY	DATE	CONTRACTOR	DATE	CONTRACTOR	DATE
INSPECTOR	DATE	BY	DATE	INSPECTOR	DATE	INSPECTOR	DATE
REVISION	DATE	BY	DATE	REVISION	DATE	REVISION	DATE
CORRECTED BY	DATE	CORRECTED BY	DATE	CORRECTED BY	DATE	CORRECTED BY	DATE
RECORDED BY	DATE	RECORDED BY	DATE	RECORDED BY	DATE	RECORDED BY	DATE
MICRO-FILM INFORMATION		MICRO-FILM INFORMATION		MICRO-FILM INFORMATION		MICRO-FILM INFORMATION	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

November 13, 2008

Shary R. Adams, Registered Architect,
Studio SW Architects Inc.
2101 Mountain Road NW
Albuquerque, NM 87104

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Wesst Corp Enterprised Center, [J-14 / D158]
609 Broadway Blvd NE
Architect's Stamp Dated 11/06/08

Dear Mr. Adams:

Based on the information provided on your submittal dated November 12, 2008, the above referenced project is approved for a 90-day Temporary C.O.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

A Temporary C.O. has been issued allowing the outstanding **Approved Site Plan (with Transportation approval box dated 3/22/07)** and **Sample language (see attachment for appropriate language for certification)** issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an **exact** copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3620.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: West Corp Enterprise Center ZONE MAP: J-14/D158
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
 CITY ADDRESS: 609 Broadway NE

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Studio Southwest Arch. CONTACT: Shary Adams
 ADDRESS: 2101 Mountain Rd NW PHONE: 843 9639
 CITY, STATE: ABA NM ZIP CODE: 87104

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

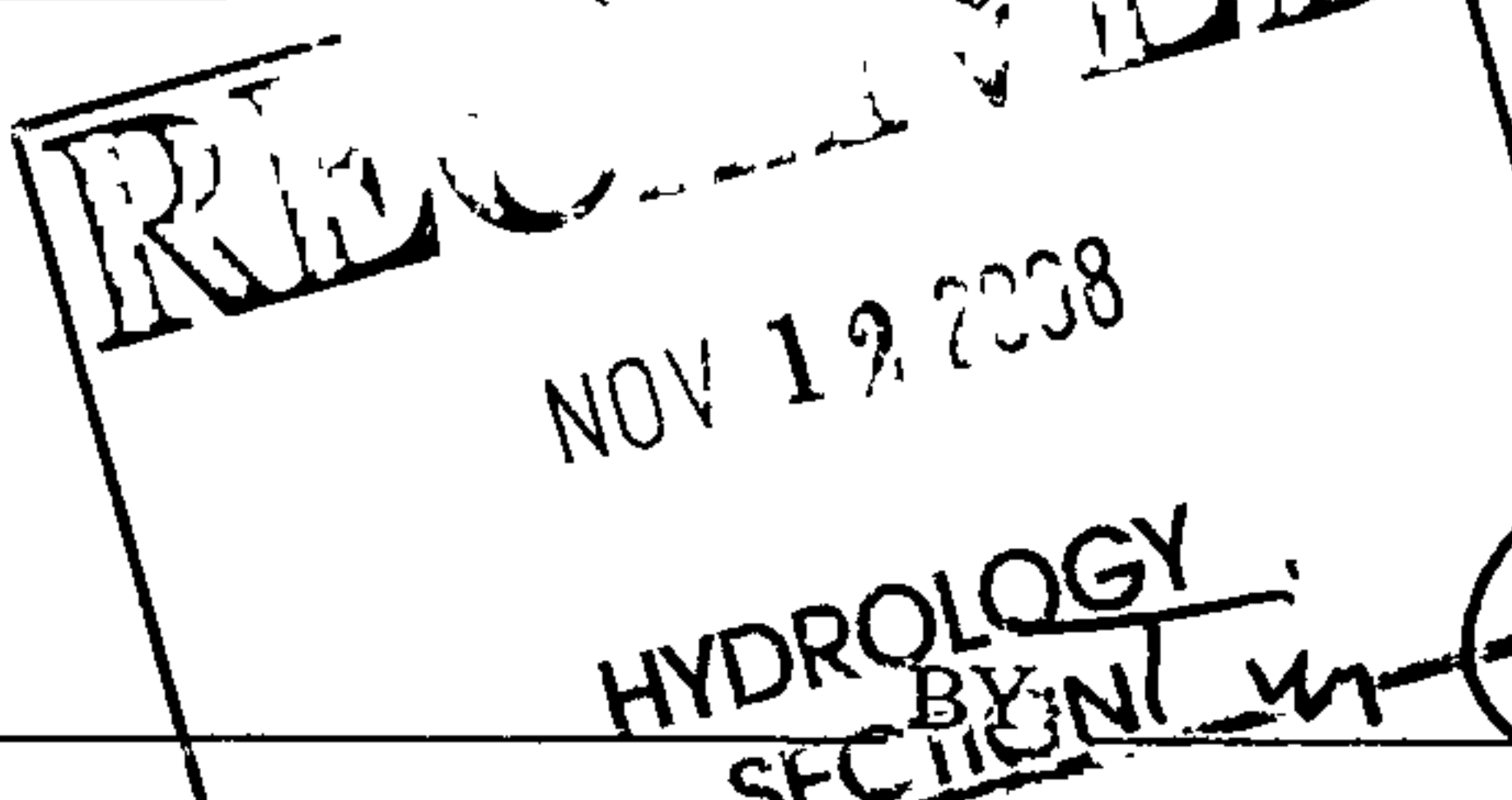
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 11-12-08

263-0225


 HYDROLOGY
 BY m. Coughenour
 SECTION 11

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

PLEASE CALL
when REVIEWED





**Studio Southwest
Architects Inc.**

November 6, 2008

Attn: Russ Duve
Gerald Martin
General Contractor
8501 Jefferson NE 87113

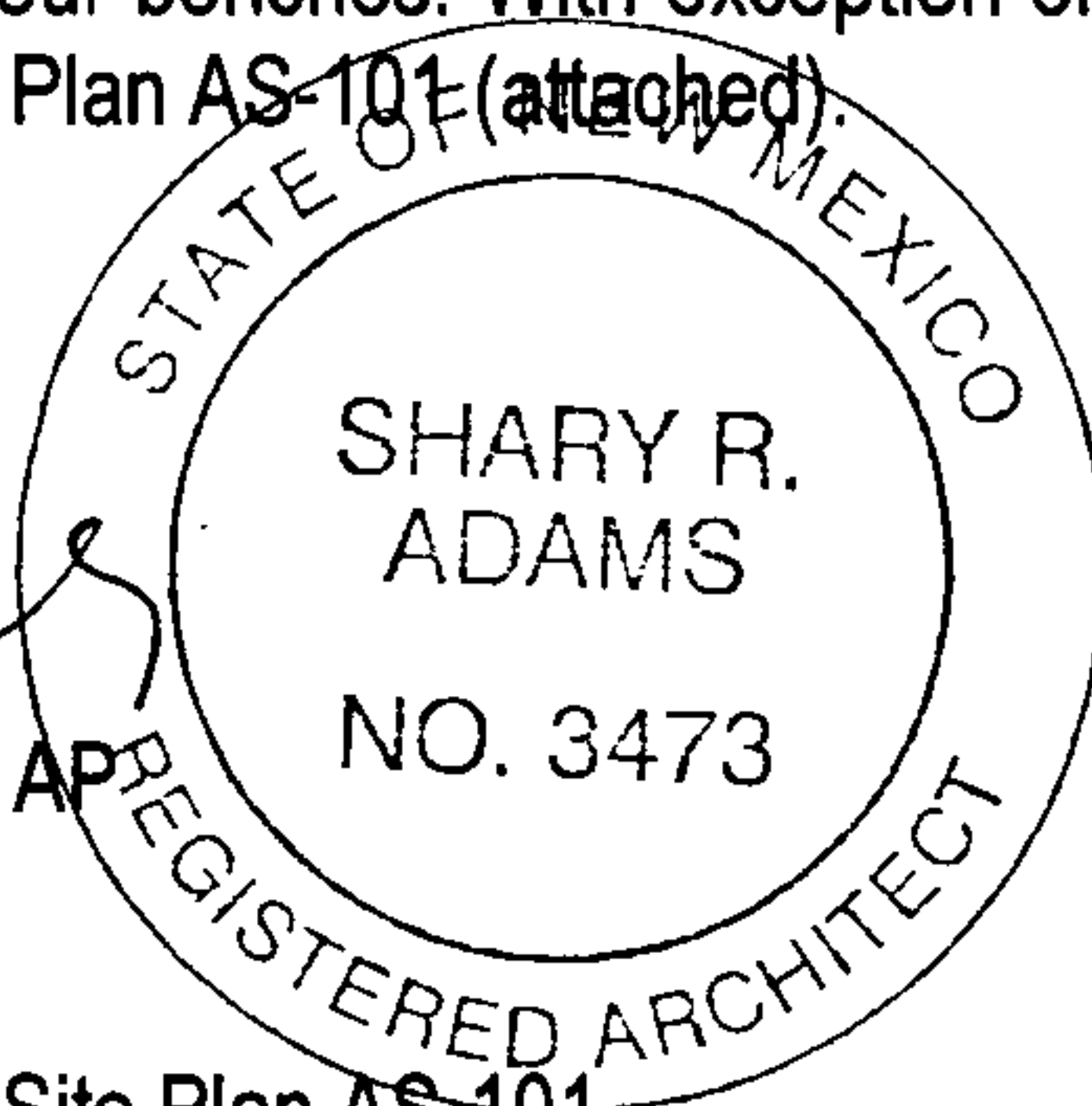
Re: WESST Corp Enterprise Center
609 Broadway Blvd NE
Site Compliance for COA Transportation Dept.

Dear Mr. Duve:

This letter is in response to the City of Albuquerque's request for Architect's inspection of the site plan. Studio Southwest Architects, Inc. inspected the WESST Corp site on November 4, 2008 and provided a punch list to Gerald Martin General Contractor. The missing items shown on the punch list include bike rack for 20 bicycles and four benches. With exception of the punch list items, the site is in compliance with the Architectural Site Plan AS-101 (attached).

Sincerely,

Shary Adams, AIA, LEED AP
Principal



Attachment: Architectural Site Plan AS-101

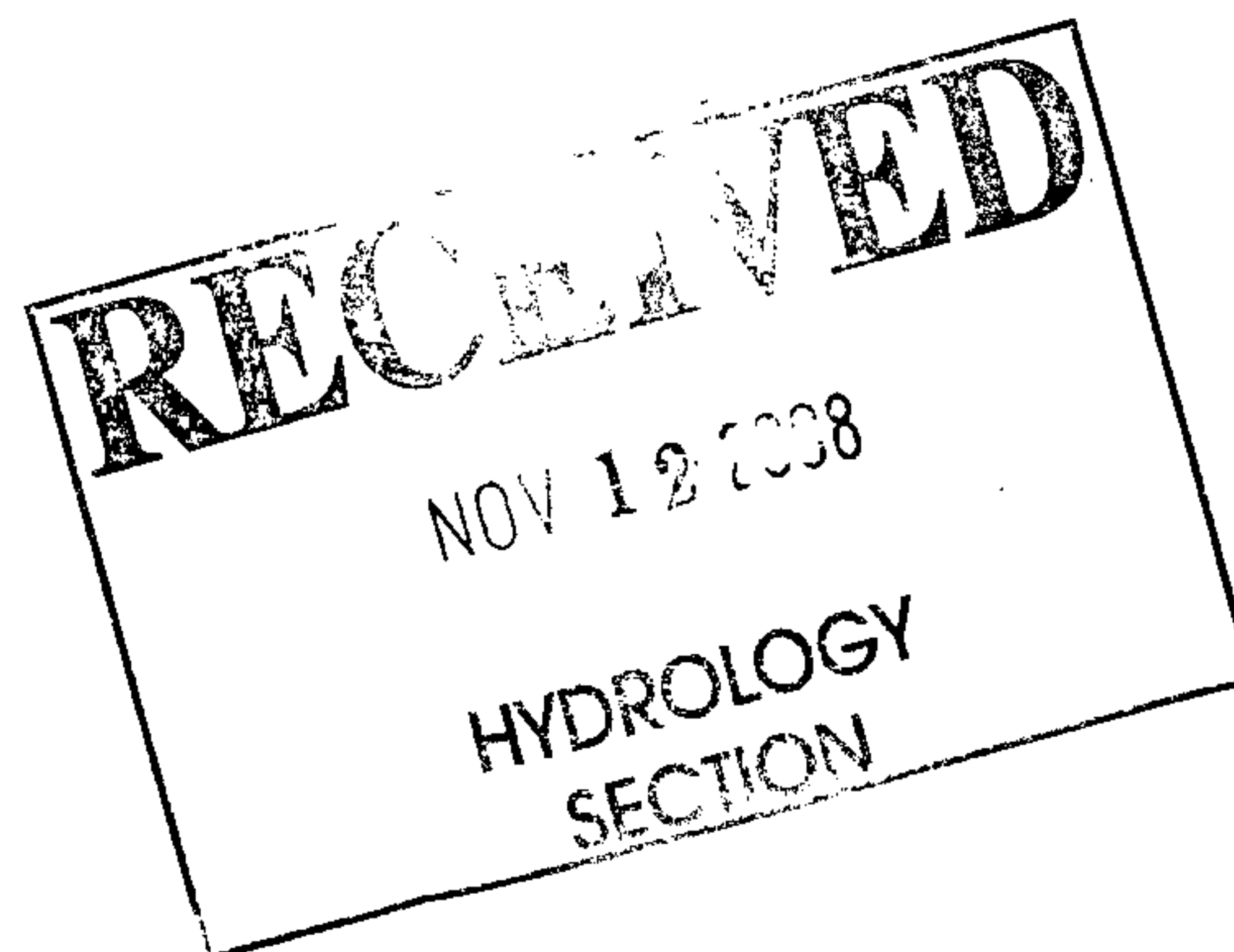
cc: City of Albuquerque Transportation Department

p:\0618 wesstcorp\01-correspondence\5-contractors\site compliance.doc

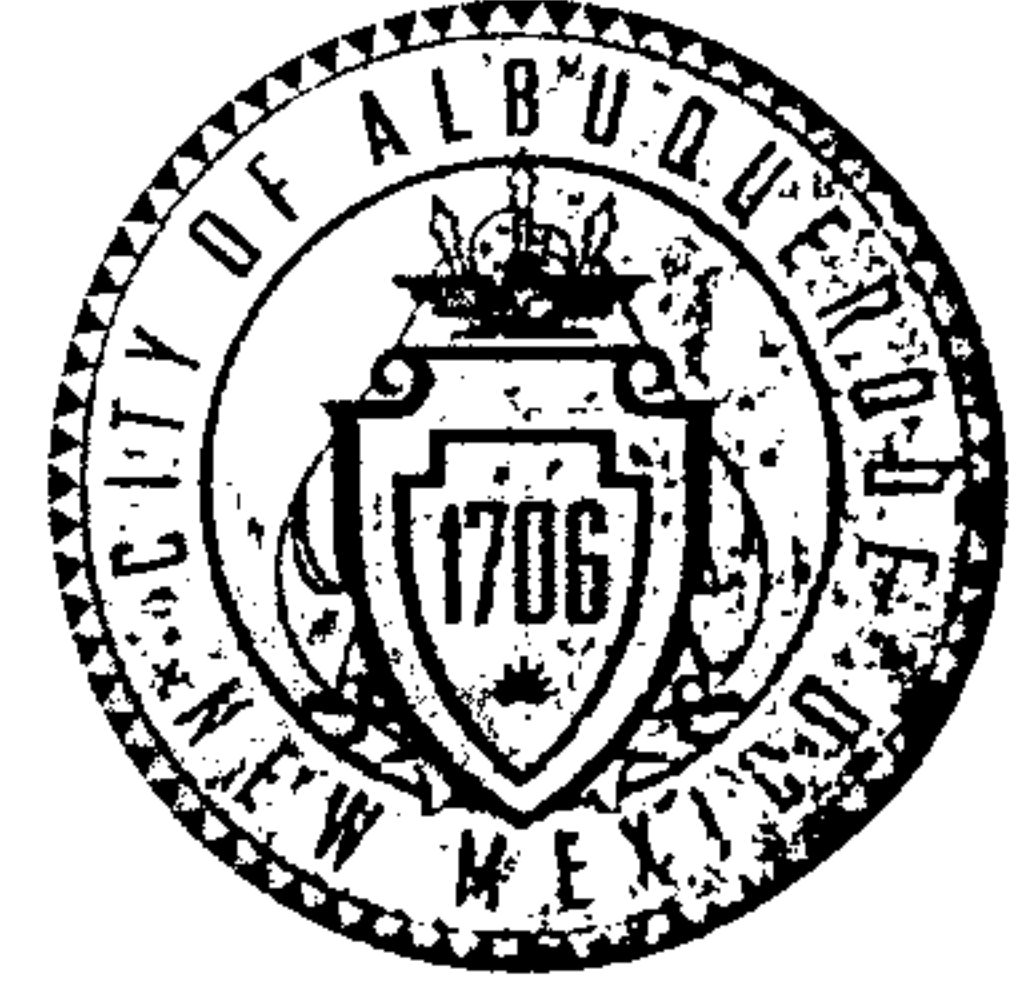
Albuquerque
2101 Mountain Road NW
Albuquerque, NM 87104
T 505.843.9639
F 505.843.9683
mail@studioswarch.com

Santa Fe
130 Grant Avenue, Suite 102
Santa Fe, NM 87501
T 505.982.7191
F 505.992.0585
mail@studioswarch.com

www.studioswarch.com



CITY OF ALBUQUERQUE



November 5, 2008

J. Graeme Means, P.E.
High Mesa Consulting Group
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

**Re: WESST Corp., 609 Broadway Blvd. NE,
Approval of 90-Day Temporary Certificate of Occupancy (C.O.),
Engineer's Stamp dated 3/22/07, (J-14/D158)
Certification dated 11/04/08**

Mr. Means,

PO Box 1293

Based upon the information provided in your submittal received 11-4-08, the above referenced certification is approved for release of 90-Day Temporary Certificate of Occupancy by Hydrology.

Albuquerque

Prior to Permanent Certificate of Occupancy, please, submit an as-built plan.

NM 87103

If you have any questions, you can contact me at 924-3982.

Sincerely,

www.cabq.gov

Timothy E. Sims
Plan Checker –Hydrology Section
Development and Building Services

C: CO Clerk – Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE:	WESST CORP	ZONE ATLAS/DRNG. FILE #:	J14/D158
DRB #:	1005261	EPC #:	
LEGAL DESCRIPTION:	LOTS 1 AND 2, BLOCK 2, BRATINA ADDITION NO.2; LOTS 1-10 INCLUSIVE, LOTS 19, 20 AND 21, FRANCHINI ADDITION, AND LOT 1, TOWNES ADDITION		
CITY ADDRESS:	609 BROADWAY BLVD NE, ALBUQUERQUE NM		
ENGINEERING FIRM:	JEFF MORTENSEN & ASSOC., INC.	CONTACT:	GRAEME MEANS, PE 13676
ADDRESS:	6010-B MIDWAY PARK BLVD. NE	PHONE:	(505) 345-4250
CITY, STATE:	ALBUQUERQUE, NM	ZIP CODE:	87109
OWNER:	CITY OF ALBUQUERQUE, DEPT. OF MUNICIPAL DEVELOP.	CONTACT:	SUZANNE BUSH
ADDRESS:	P.O. BOX 1293	PHONE:	768-3616
CITY, STATE:	ALBUQUERQUE, NM	ZIP CODE:	87103
ARCHITECT:	STUDIO SOUTHWEST ARCHITECTS INC.	CONTACT:	RICH BRAUN
ADDRESS:	2101 MOUNTAIN ROAD NW	PHONE:	(505) 843-9639
CITY, STATE:	ALBUQUERQUE, NM	ZIP CODE:	87104
SURVEYOR:	JEFF MORTENSEN & ASSOC., INC.	CONTACT:	CHARLES CALA, NMPS 11184
ADDRESS:	6010-B MIDWAY PARK BLVD. NE	PHONE:	(505) 345-4250
CITY, STATE:	ALBUQUERQUE, NM	ZIP CODE:	87109
CONTRACTOR:	GERALD MARTIN, LTD	CONTACT:	TIM COUGHENOUR
ADDRESS:	PO BOX 91450	PHONE:	263-0225
CITY, STATE:	ABQ, NM	ZIP CODE:	87199-1450

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) SO#19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 11/04/2008 BY: GRAEME MEANS

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

HIGH MESA Consulting Group

FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.

2006.063.8

November 4, 2008

Brad Bingham, PE, City Hydrologist
Development and Building Services
City of Albuquerque Planning Department
600 Second Street N.W.
Plaza Del Sol – (Second Floor West)
Albuquerque, NM 87102

Re: WESST Corp Certification of Grading for Temp C.O. – 609 Broadway NE (J14/D158)

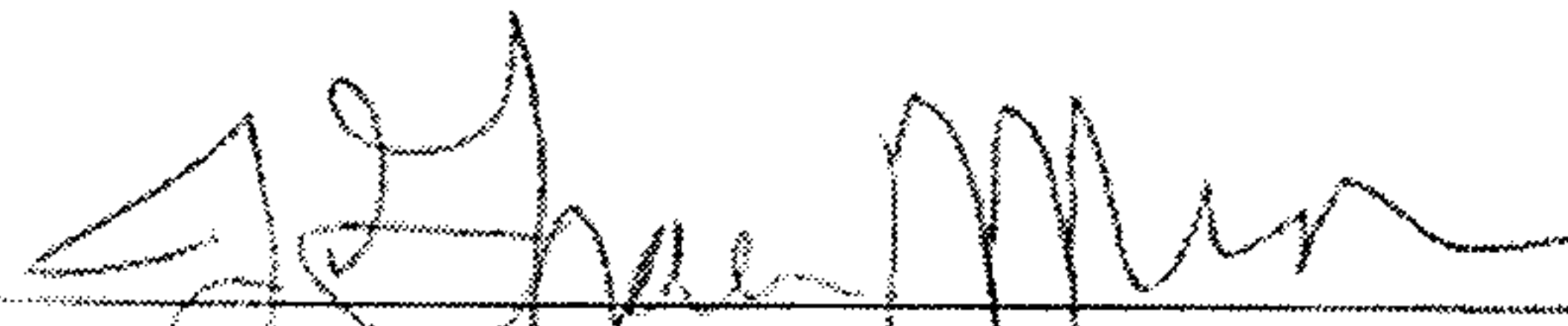
Dear Brad,

I, J. Graeme Means, NMPE 13676, of the firm High Mesa Consulting Group hereby certify that this project appears to have been graded and drained in substantial compliance with and in accordance with the design intent of the approved plan dated 03/22/2007 based on my visual observations following a rainfall event. For your information, they removed and replaced a significant amount of curb and gutter on the west side to address the adverse drainage problem that was apparent at my site visit and as discussed with you. Although the work in the right-of-way is not part of this certification, I thought you might like to know.

Field survey verification work has been scheduled for later this week, but not yet completed and drafted into a formal submittal. The owner would like to occupy the building ASAP, so we request your consideration for a Temp CO based on this information. Once completed and evaluated, we will submit a standard as-constructed plan and certification. This certification is submitted in support of a request for temporary certificate of occupancy. Do not hesitate to contact me if you have any questions or comments.

Sincerely,

HIGH MESA CONSULTING GROUP


J. Graeme Means, P.E. 13676
Principal

11/04/08



GM:*

xc: Tim Coughenour

Principals: Jeffrey G. Mortensen, P.E. • Charles G. Cala, Jr., P.S. • Juan M. Cala
Joseph M. Solomon, Jr., P.S. • J. Graeme Means, P.E. • Richard C. White • Grady E. Barrens

Sims, Timothy E.

From: Graeme Means [GMeans@highmesacg.com]
Sent: Tuesday, November 04, 2008 4:34 PM
To: Sims, Timothy E.
Cc: Bingham, Brad L.; Kane, Robert W.; tcoughenour@geraldmartin.com
Subject: WESST Temp CO Certification

Tim,
Here is temp CO for project we discussed. Let me know if you have any questions. As indicated, I have seen it after it rains and except for one "birdbath" near the SW corner, the site itself was bone dry. The work in the right-of-way is technically a work order being a city project and not part of my certification as discussed a few weeks ago with Brad Bingham. For what it's worth, the adjacent street which was bad to start with has now been made better. Our survey crews will be shooting all grades later this week and assuming nothing unusual comes up, I will submit a final certification with as-built plan when I get back from next week's vacation.

Thanks,

Graeme Means

**HIGH
MESA Consulting Group**

J. Graeme Means, P.E.
Principal

6010-B Midway Park Blvd. NE
Albuquerque, NM 87109
www.highmesacg.com

Phone: 505.345.4250
Fax: 505.345.4254
gmeans@highmesacg.com

11/5/2008

CITY OF ALBUQUERQUE



February 15, 2007

J. Graeme Means, P.E.
Jeff Mortensen & Associates
6010-B Midway Park NE
Albuquerque, NM 87109

Re: WESST Corp. Office Building, 609 Broadway NE
Engineer's Stamp dated 3-22-07, (J14/D158)

Dear Mr. Means,

Based upon the information provided in your submittal received March 22, 2007, the above referenced plan is approved for both SO-19 and Building Permit. A copy of this approval letter must be on hand when applying for the excavation permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

This project will also require a National Pollutant Discharge Elimination System (NPDES) permit. Inquiries regarding this permit should be directed to Sertil Kandar at 768-3645.

If you have any questions, you can contact me at 924-3990.

Sincerely,

Jeremy Hoover, P.E.
Senior Engineer
Hydrology Section
Development and Building Services

cc: file J14/D158

Dwayne Schmitz, DMD Street / Storm Maintenance
Antoinette Baldonado, Construction Services

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



JEFF MORTENSEN + ASSOCIATES, INC.
□ 6010-B MIDWAY PARK BLVD. N.E.
□ ALBUQUERQUE □ NEW MEXICO 87109
□ ENGINEERS □ SURVEYORS (505) 345-4250
□ FAX: 505 345-4254 □ ESTABLISHED 1977

TRANSMITTAL

TO: COA Hydrology Reviewer

DATE: March 22, 2007

PROJECT: WESST Corp

JMA JOB NO: 2006.063.4

VIA: ☒ Delivery ☐ Pickup ☐ US Mail ☐ Federal Express Delivery

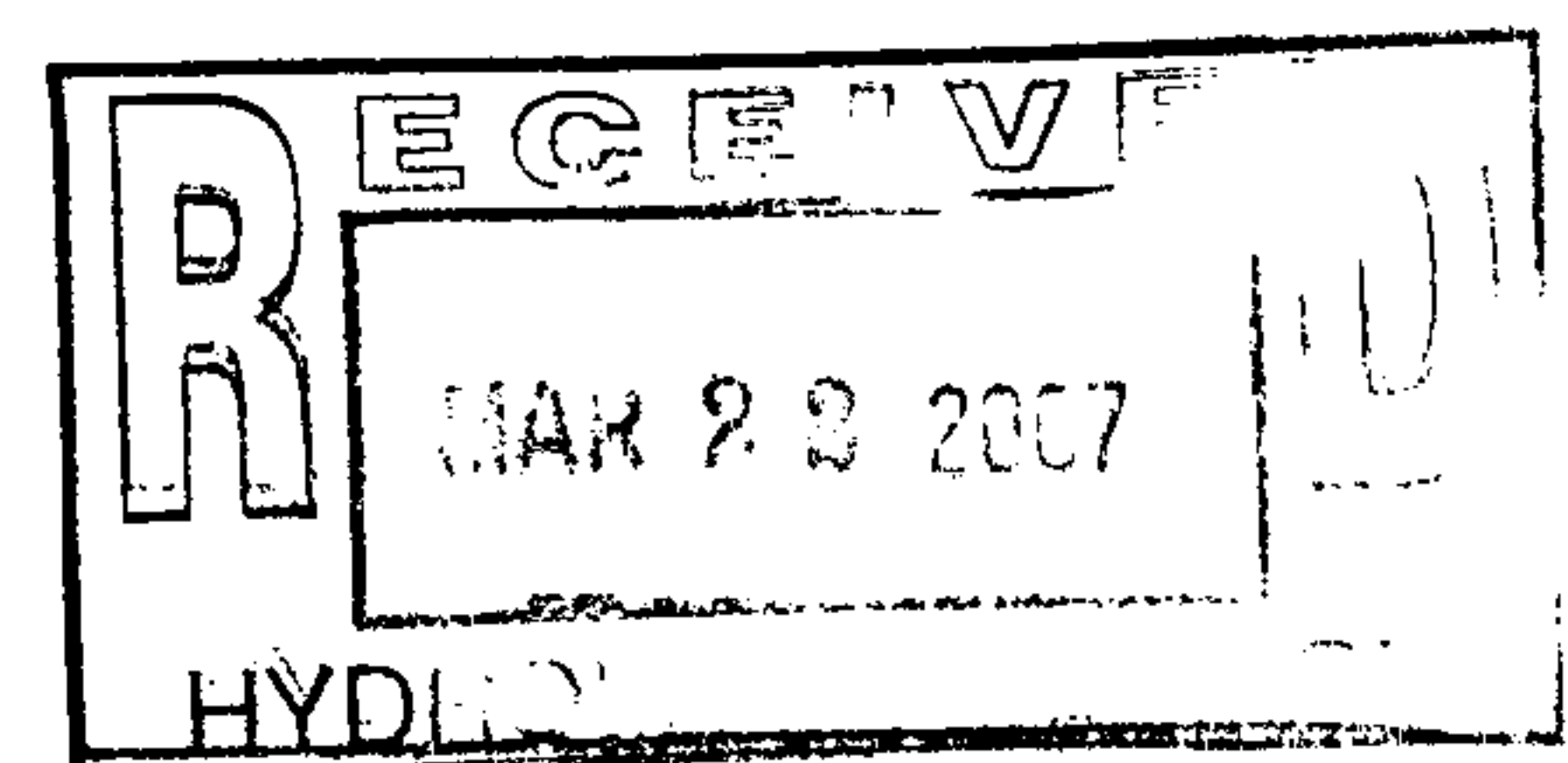
WE ARE SENDING:

<u>QTY.</u>	<u>DESCRIPTION</u>	<u>FOR</u>
1	Grading Plan Resubmittal	Review

Building Permit review required an additional HC parking space on the north side of the building and also required deleting the SAS drain from the refuse container area. DRC review of the site also requested clarification of the accessible routes across the entrances. This revised G&D addressed those comments.

Let me know if you have any questions.

Graeme Means



CITY OF ALBUQUERQUE



March 22, 2007

Shary R. Adams, R.A.
Studio Southwest Architects, Inc.
2101 Mountain Rd. NW
Albuquerque, NM 87104

Re: Wesst Corp Business Incubation, 609 Broadway Blvd NE, Traffic Circulation Layout
Architect's Stamp dated 3-22-07 (J14-D158)

Dear Ms. Adams,

The TCL submittal received 3-23-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



March 13, 2007

Shary R. Adams, R.A.
Studio Southwest Architects, Inc.
2101 Mountain Rd. NW
Albuquerque, NM 87104

Re: Wesst Corp Business Incubation, 609 Broadway Blvd NE, Traffic Circulation Layout
Architect's Stamp dated 3-12-07 (J14-D158)

Dear Ms. Adams,

The TCL submittal received 3-13-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

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New Mexico 87103

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If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



February 15, 2007

J. Graeme Means, P.E.
Jeff Mortensen & Associates
6010-B Midway Park NE
Albuquerque, NM 87109

Re: WESST Corp. Office Building, 609 Broadway NE
Engineer's Stamp dated 1-26-07, (J14/D158)

Dear Mr. Means,

Based upon the information provided in your submittal received January 29, 2007, the above referenced plan is approved for both SO-19 and Building Permit. A copy of this approval letter must be on hand when applying for the excavation permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

This project will also require a National Pollutant Discharge Elimination System (NPDES) permit. Inquiries regarding this permit should be directed to Sertil Kandar at 768-3645.

If you have any questions, you can contact me at 924-3990.

Sincerely,

Jeremy Hoover, P.E.
Senior Engineer
Hydrology Section
Development and Building Services

cc: file J14/D158

Edward Elwell, DMD Street / Storm Maintenance
Antoinette Baldonado, Construction Services
Suzanne Busch, CIP

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: WESST CORP BUSINESS INCUBATION ZONE ATLAS/DRNG. FILE #: J14/D158
 DRB #: 1005261 EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOTS 1 AND 2, BLOCK 2, BRATINA ADDITION NO.2; LOTS 1-10 INCLUSIVE, LOTS 19, 20 AND 21, FRANCHINI ADDITION, AND LOT 1, TOWNES ADDITION
 CITY ADDRESS: 609 BROADWAY BLVD NE, ALBUQUERQUE NM

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC., INC. CONTACT: GRAEME MEANS, PE 13676
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

OWNER: CITY OF ALBUQUERQUE, DEPT. OF MUNICIPAL DEVELOP. CONTACT: SUZANNE BUSH
 ADDRESS: P.O. BOX 1293 PHONE: 768-3616
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87103

ARCHITECT: STUDIO SOUTHWEST ARCHITECTS INC. CONTACT: RICH BRAUN
 ADDRESS: 2101 MOUNTAIN ROAD NW PHONE: (505) 843-9639
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87104

SURVEYOR: JEFF MORTENSEN & ASSOC., INC. CONTACT: CHARLES CALA, NMPS 11184
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

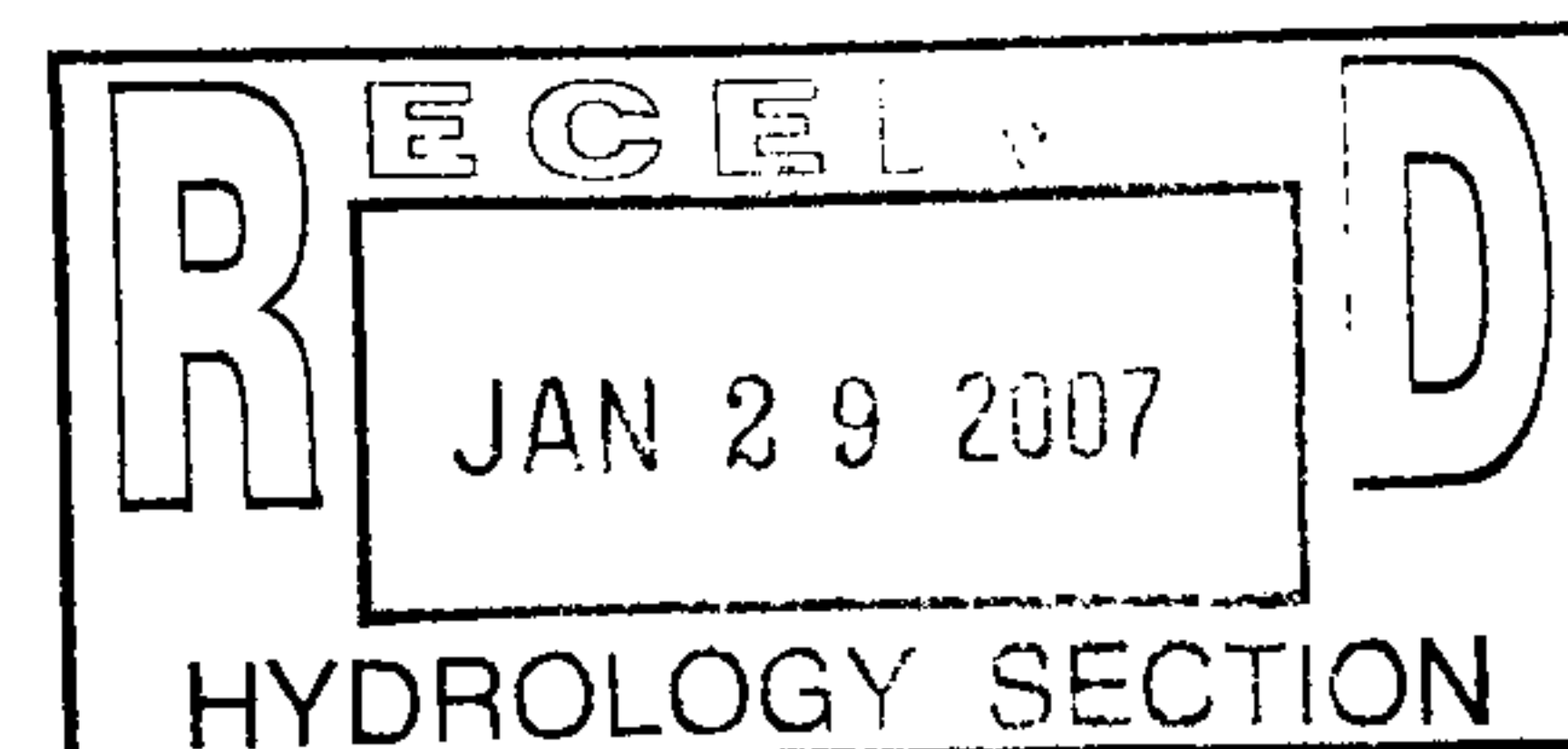
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ OTHER (SPECIFY) SO#19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: 01/29/2007 BY: GRAEME MEANS

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



January 24, 2007

J. Graeme Means, P.E.
Jeff Mortensen & Associates
6010-B Midway Park NE
Albuquerque, NM 87109

Re: WESST Corp. Office Building, 609 Broadway NE
Engineer's Stamp dated 1-9-07, (J14/D158)

Dear Mr. Means,

Based upon the information provided in your submittal received January 9, 2007, the above referenced plan is approved for both SO-19 and Building Permit. A copy of this approval letter must be on hand when applying for the excavation permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

This project will also require a National Pollutant Discharge Elimination System (NPDES) permit. Inquiries regarding this permit should be directed to Sertil Kandar at 768-3645.

If you have any questions, you can contact me at 924-3990.

Sincerely,

Jeremy Hoover, P.E.
Senior Engineer
Hydrology Section
Development and Building Services

cc: file J14/D158

Edward Elwell, DMD Street / Storm Maintenance
Antoinette Baldonado, Construction Services

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: WESST CORP BUSINESS INCUBATION ZONE ATLAS/DRNG. FILE #: J14/D158
 DRB #: 1005261 EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOTS 1 AND 2, BLOCK 2, BRATINA ADDITION NO.2; LOTS 1-10 INCLUSIVE, LOTS 19, 20 AND 21, FRANCHINI ADDITION, AND LOT 1, TOWNES ADDITION
 CITY ADDRESS: 609 BROADWAY BLVD NE, ALBUQUERQUE NM

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC., INC. CONTACT: GRAEME MEANS, PE 13676
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

OWNER: CITY OF ALBUQUERQUE, DEPT. OF MUNICIPAL DEVELOP. CONTACT: SUZANNE BUSH
 ADDRESS: P.O. BOX 1293 PHONE: 768-3616
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87103

ARCHITECT: STUDIO SOUTHWEST ARCHITECTS INC. CONTACT: RICH BRAUN
 ADDRESS: 2101 MOUNTAIN ROAD NW PHONE: (505) 843-9639
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87104

SURVEYOR: JEFF MORTENSEN & ASSOC., INC. CONTACT: CHARLES CALA, NMPS 11184
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

CONTRACTOR: NOT SELECTED CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

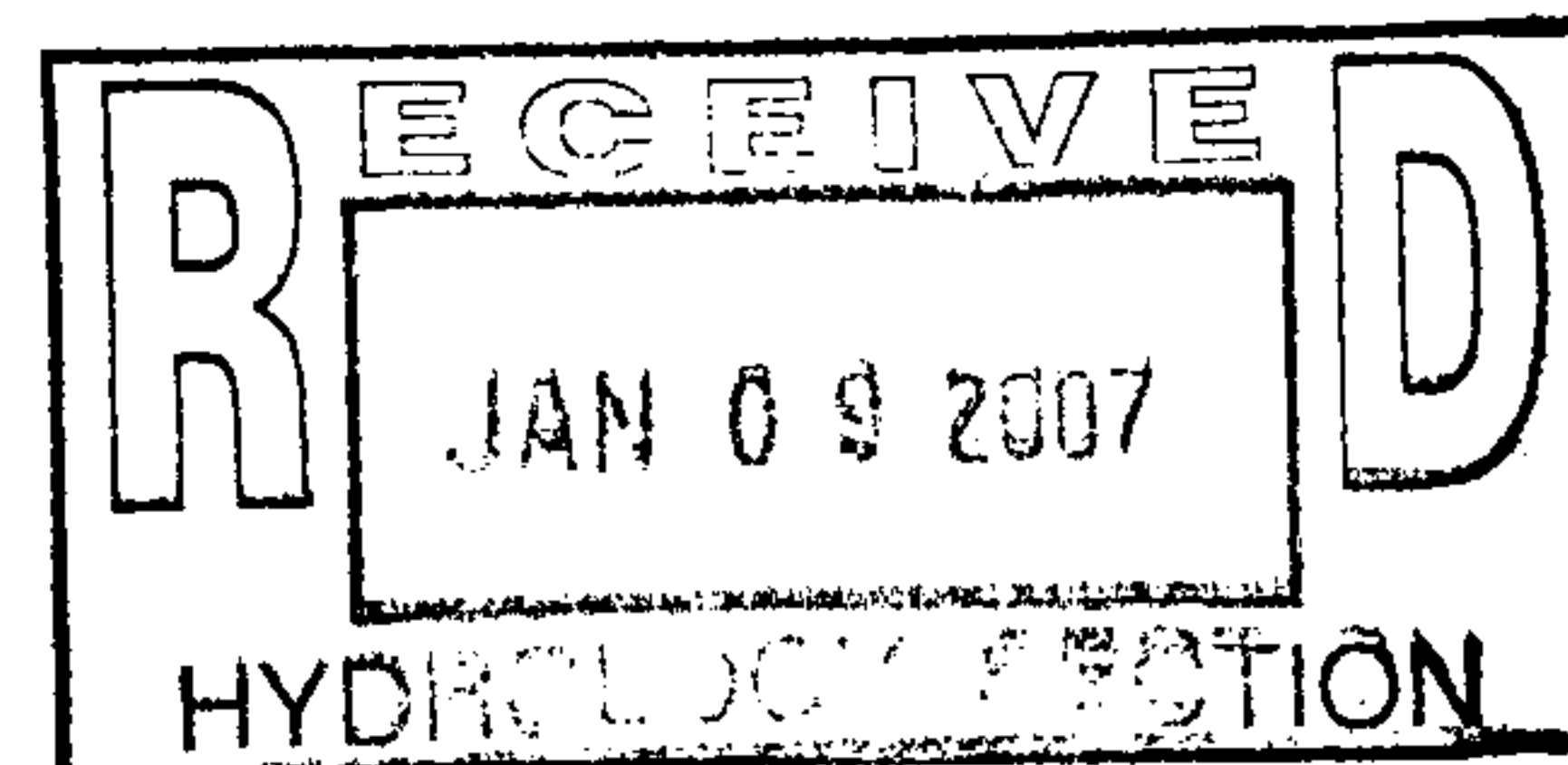
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
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☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ OTHER (SPECIFY) SO#19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 01/09/2007 BY: GRAEME MEANS



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



January 22, 2007

Shary R. Adams, R.A.
Studio Southwest Architects, Inc.
2101 Mountain Rd. NW
Albuquerque, NM 87104

Re: Wesst Corp Business Incubation, 609 Broadway Blvd NE, Traffic Circulation Layout
Architect's Stamp dated 1-19-07 (J14-D158)

Dear Ms. Adams,

The TCL submittal received 1-19-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

PLAN DATED
3-12-07
CERTIFIED FOR

CITY OF ALBUQUERQUE



January 16, 2007

Shary R. Adams, R.A.
Studio Southwest Architects, Inc.
2101 Mountain Rd. NW
Albuquerque, NM 87104

**Re: Wesst Corp Enterprise Center, 609 Broadway Boulevard NE,
Traffic Circulation Layout
Architect's Stamp dated 1-08-07 (J14-D158)**

Dear Ms. Adams,

Based upon the information provided in your submittal received 1-09-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Provide build notes for all proposed entrances, referring to all appropriate City Standards by drawing number.
2. A five-foot keyway is required for deadend parking aisles.
3. Please show the location of the nearest driveway on the adjacent lot.
4. List the number of parking spaces provided with the parking calculations.
5. The text on detail B5 is cut off on the plan.
6. Why are some of the spaces north of the proposed building striped with dashed, instead of solid, lines?
7. The spaces in the northwest corner of the site appear to conflict with the refuse container. Please correct this situation.
8. Please include two copies of the traffic circulation layout at the next submittal.
9. The minimum dimensions of a compact parking space are 8 ft. x 15 ft.
10. Label the compact parking spaces by placing the words "compact" on the pavement of each space.
11. Standard parking spaces must have a minimum length of 18 feet plus a 2-foot overhang.
12. Indicate the site location on the vicinity map.
13. List the legal description of the site on the traffic circulation layout. In addition, please note that instead of lots 19, 20, and 21 of the Franchini Addition, it should be lots 17, 18, and 19 of the Franchini Addition.
14. Will you be replatting this site?
15. Handicapped spaces must be indicated as such with both pavement markings and signing.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME WEST CORP BUSINESS INCUBATION
AGENT JEFF MORTENSEN & ASSOC
ADDRESS 6010-B MIDWAY PARK BLVD NE
PROJECT & APP # _____
PROJECT NAME _____

\$ _____ 441032/3424000 Conflict Management Fee

\$ _____ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ 50.00 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan (☒) Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 50.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City Of Albuquerque
Treasury Division

Counterreceipt.doc 6/21/04

1/9/2007 10:51AM LOC: ANNX
RECEIPT# 00071620 WSH 006 TRANSH 0007
Account 441006 Fund 0110
Activity 4983000 TRSCDS
Trans Amt \$70.00
J24 Misc \$50.00

Thank You