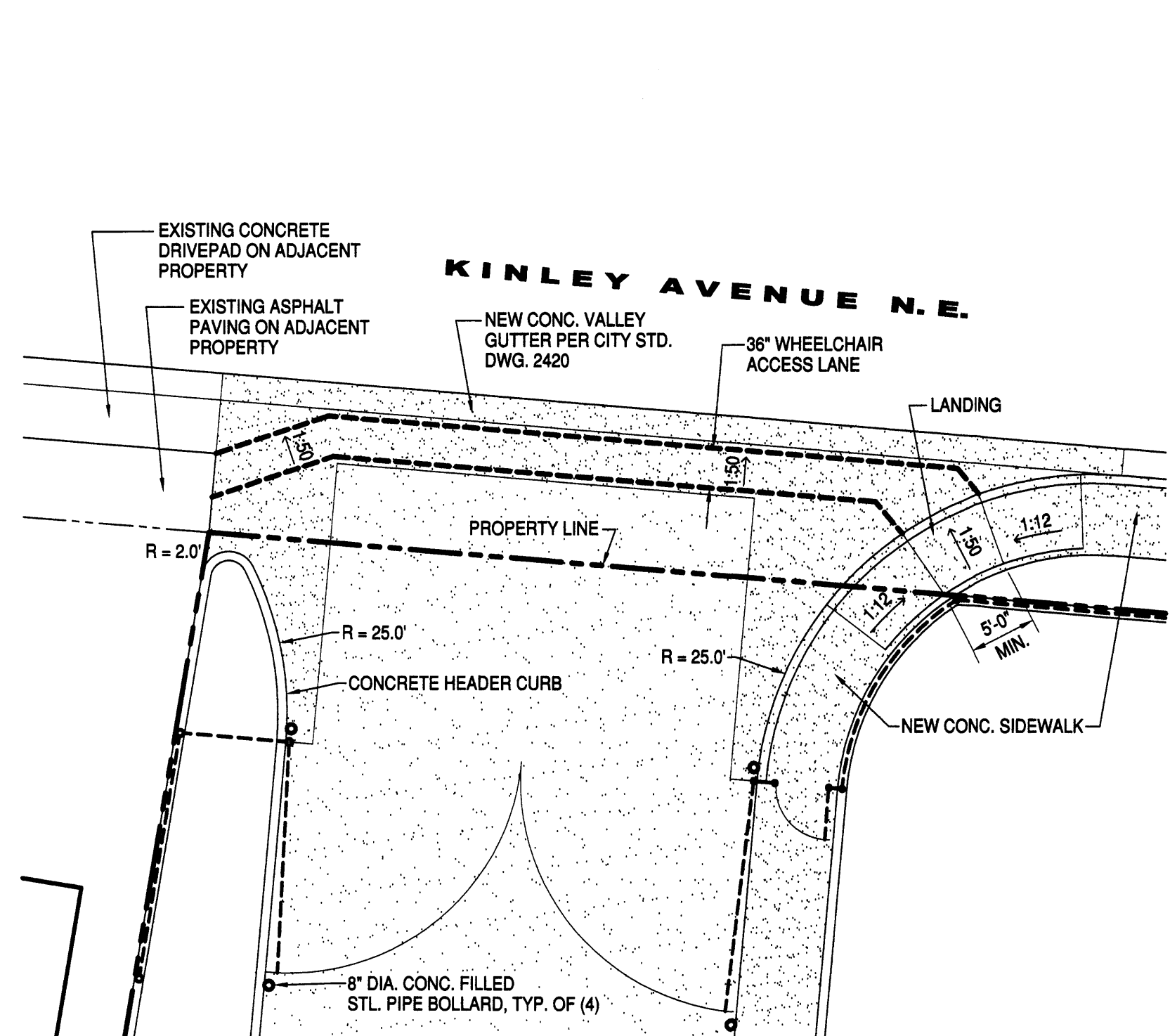
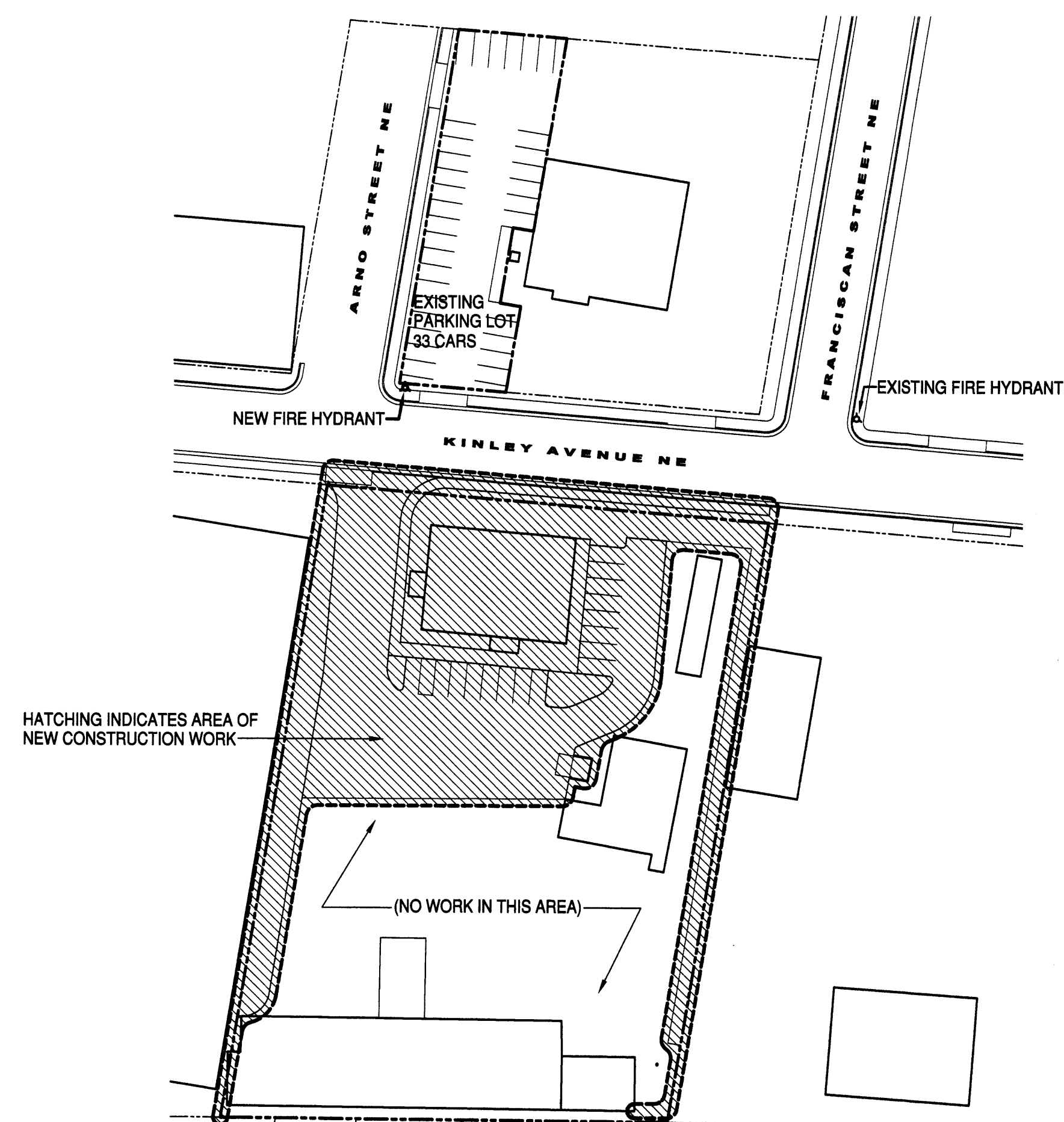
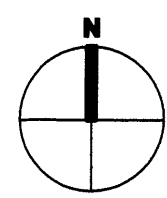




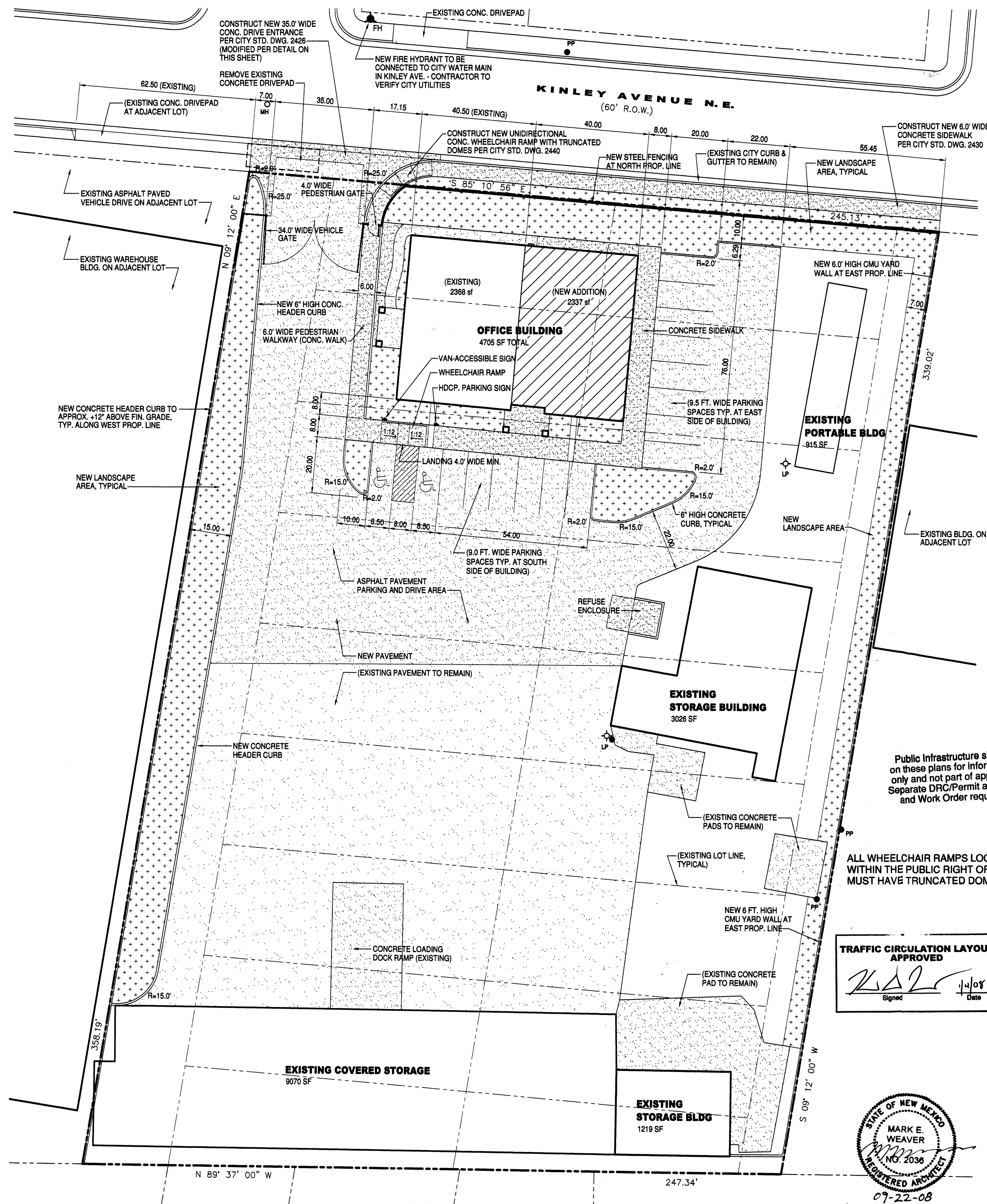
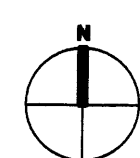
DRIVE ENTRANCE DETAIL

1" = 10'-0"
REFER TO CITY STANDARD DWG. 2426



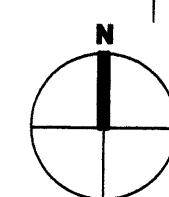
KEY PLAN

(NOT TO SCALE)

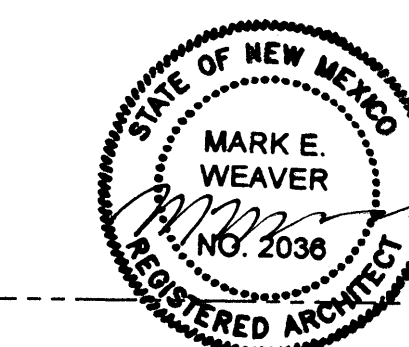


TCL PLAN

1" = 20'-0"



TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed: [Signature] Date: 12/08



07-22-08
This project was built
in substantial compliance
with the T.C.L.

PROJECT DATA

PROJECT DESCRIPTION

THIS PROJECT INCLUDES A 2337 SF ADDITION TO AN EXISTING OFFICE BUILDING, SITE IMPROVEMENTS INCLUDING YARD WALLS, PAVING AND LANDSCAPING, AND ONE NEW CITY FIRE HYDRANT.

LEGAL DESCRIPTION OF SITE PROPERTY

LOTS 1-18, BLOCK 4, SPRINGER TRANSFER CO. ADDN. NO.1, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. (SEPARATE PARKING ON LOT 5-A, BLOCK 2, SPRINGER TRANSFER CO. ADDN. NO.1)

ZONING CLASSIFICATION: SU-2
(ZONE ATLAS PAGE J-14)

OCCUPANCY GROUP CLASSIFICATION: B

CONSTRUCTION TYPE: V-B

FLOOR AREA CALCULATIONS

EXISTING OFFICE BLDG. AREA	2,368 sf
NEW ADDITION	2,337 sf
TOTAL OFFICE BLDG. AREA	4,705 sf

PARKING CALCULATIONS

TOTAL OFFICE BLDG. AREA	4,705 sf x 1/200 = 23.53
TOTAL STORAGE BLDGS. AREA	14,230 sf x 1/2000 = 7.12

TOTAL BASIC REQUIREMENT = 30.65
BUS ROUTE DISCOUNT 90% = 27.58 (28 SPACES REQUIRED)

VEHICLE PARKING PROVIDED:
ON SEPARATE PARKING LOT 33
ON THIS LOT 16
TOTAL PARKING SPACES PROVIDED = 49 cars

LANDSCAPE AREA CALCULATIONS

TOTAL LOT AREA	85,205 sf
TOTAL COMBINED BUILDING AREA	18,919 sf
NET LOT AREA	66,286 sf
LANDSCAPE AREA REQUIRED (15%)	9,943 sf
LANDSCAPE AREA PROVIDED	10,157 sf

SITE LOCATION 424 KINLEY NE

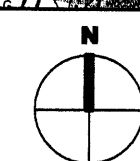


Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

LOCATION PLAN

(NOT TO SCALE) ZONE ATLAS PAGE J-14



THE ARCHITECT AND HIS CONSULTANTS RETAIN OWNERSHIP OF THESE DRAWINGS AND THE DESIGNS DEPICTED HEREIN. THE CLIENT IS GRANTED A NON-EXCLUSIVE LICENSE TO USE THESE DOCUMENTS FOR THE PURPOSE OF CONSTRUCTING, USING, AND MAINTAINING THE PROJECT. COPYING OR USING THESE DRAWINGS WITHOUT THE PERMISSION OF THE ARCHITECT IS AN INFRINGEMENT OF COPYRIGHT.

OFFICE BLDG ADDITION
MILLERS INSULATION CO.
424 KINLEY AVE. NE, ALBUQUERQUE

DATE:
31 DEC. 2007

REVISIONS:

DATE:
31 DEC. 2007

REVISIONS:

SHEET NUMBER

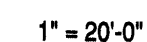
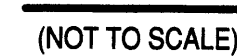
TCL

NO. 3 OF 26

1245 PRINCETON DR. NE
ALBUQUERQUE, NM 87106
(505) 255-8046

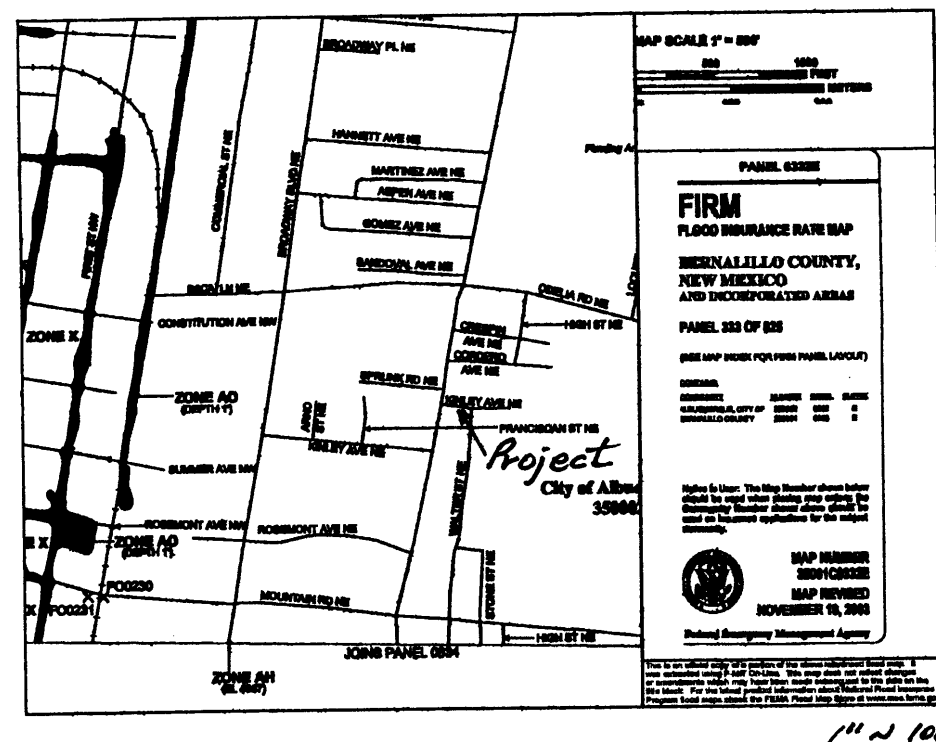
RECEIVED
SEP 22 2008
LAND DEVELOPMENT SECTION

ARCHITECTURE



MW
ARCHITECTURE

Signed Date



FIRM MAP PANEL # 332 E GRADING & DRAINAGE PLAN

THE PROPOSED COMMERCIAL PROJECT IS LOCATED IN THE MARTINEZTOWN AREA OF THE CITY OF ALBUQUERQUE. THE GRADING AND DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE BERNALILLO COUNTY FLOOD HAZARD ORDINANCE, NO.88-46, AND THE CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR BUILDING PERMIT. THE PLAN SHOWS:

1. EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND EXISTING STRUCTURES
2. PROPOSED IMPROVEMENTS: A 2300 SF ADDITION TO OFFICES, PRIVATE ASPHALT DRIVEWAY AND PARKING, NEW GRADE ELEVATIONS, AND LANDSCAPING IMPROVEMENTS.
3. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
4. QUANTIFICATION OF DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS WHICH CONTRIBUTE TO THE EXISTING FLOWS, INCLUDING NEW PONDING REQUIREMENTS.

PRESENTLY, THE SITE IS ESTABLISHED AND USED AS A BULK INSULATION DISTRIBUTING OUTLET FACILITY. THE SITE IS BOUNDED BY DEVELOPED COMMERCIAL PROPERTY. KINLEY AVE. ON THE NORTH IS A 40 FEET WIDE PAVED CITY MAINTAINED MINOR STREET WITHOUT SIDEWALK. THE SITE TERRAIN SLOPES FROM EAST TO WEST AT MINIMUM SLOPES.

THE SITE IS NOT WITHIN OR ADJACENT TO A DESIGNATED FEMA FLOOD HAZARD ZONE. DEVELOPED LOT RUNOFF WILL BE PERMITTED TO DRAIN TO THE WESTERLY POND. HISTORICAL OUTFALL LOCATIONS WILL REMAIN UNCHANGED WITH DEVELOPMENT. FREE DISCHARGE OF PROJECT RUNOFF IS NOT ACCEPTABLE SINCE DOWNSTREAM DRAINAGE FACILITIES DO NOT EXIST. A PORTION OF SITE RUNOFF IS ROUTED THROUGH PROPOSED LANDSCAPING AS POINT RAINFALL.

CALCULATIONS

DESIGN CRITERIA

HYDROLOGIC METHODS PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (DPM) REVISED JANUARY 1993 FOR CITY OF ALBUQUERQUE, ADOPTED BY THE COUNTY OF BERNALILLO
DISCHARGE RATE: $Q = \text{PEAK} \times \text{AREA}$, "Peak Discharge Rates For Small Watersheds"
VOLUMETRIC DISCHARGE: $\text{VOLUME} = E_{\text{weighted}} \times \text{AREA}$
 $P_{100} = 2.35$ inches, Zone 2 Time of Concentration, $T_C = 10$ Minutes
DESIGN STORM: 100-YEAR/6-HOUR, 10-YEAR/6-HOUR [] = 10 YEAR VALUES

EXISTING CONDITIONS

62% D.
LOT AREA = 1.95 ACRES, WHERE EXCESS PRECIP. "W" = 1.68 in. [0.96]
PEAK DISCHARGE, $Q_{100} = 7.7$ CFS [4] WHERE UNIT PEAK DISCHARGE = 3.9 CFS/AC. [2]
THEREFORE: $\text{VOLUME } 100 = 11891 \text{ CF [6795]}$

DEVELOPED CONDITIONS (Includes Paved Parking)

DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA

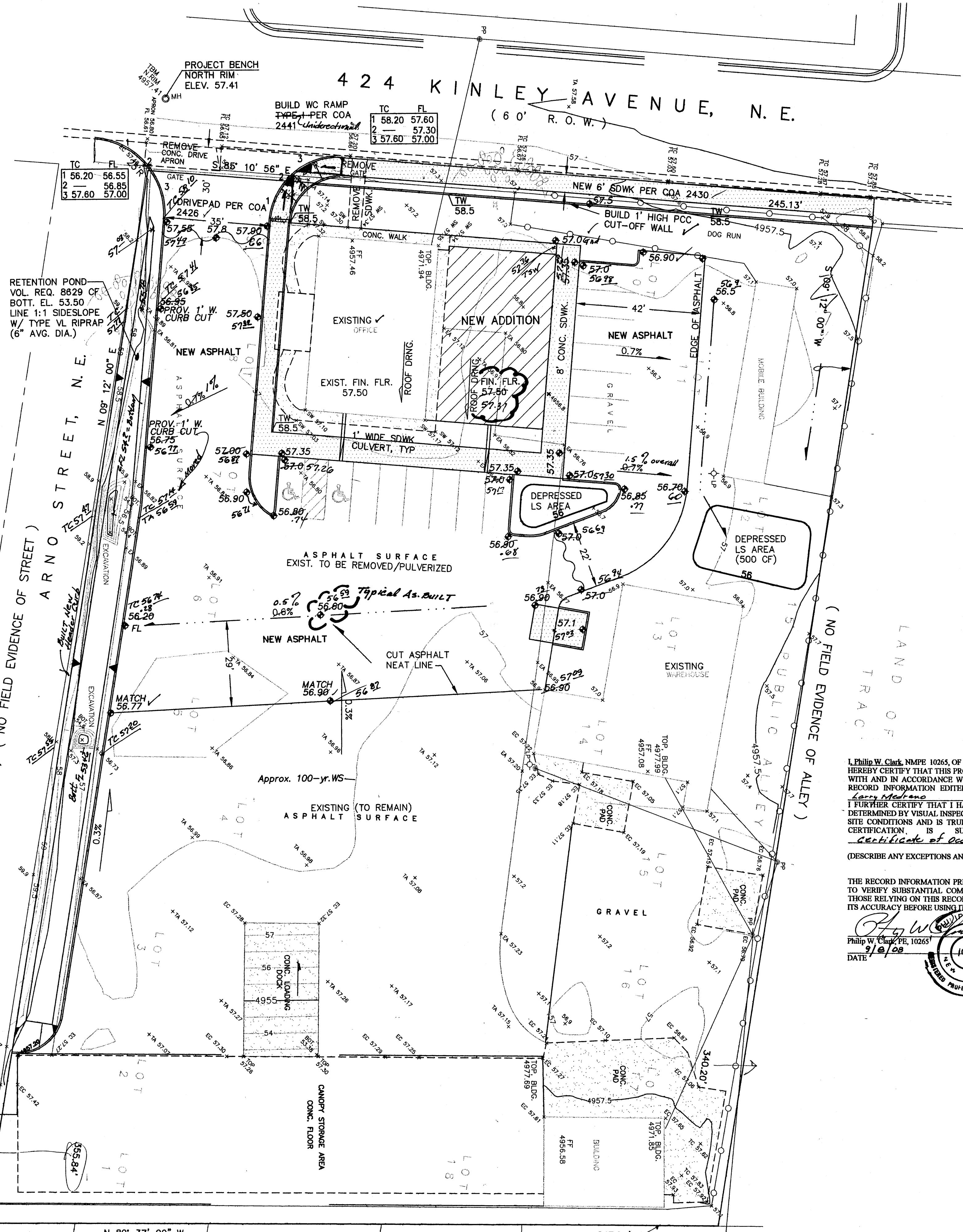
AREA	LAND TREATMENT	Q_{Peak}	E
UNDEVELOPED	0.00 AC (0%)	1.56 [0.38]	0.53 [0.13]
LANDSCAPING/POND	0.32 AC (16%)	2.28 [0.95]	0.78 [0.28]
GRAVEL & COMPACTED SOIL	0.33 AC (17%)	3.14 [1.71]	1.13 [0.52]
ROOF - PAVEMENT	1.30 AC (67%)	4.70 [3.14]	2.12 [1.34]

1.95 AC.
THEREFORE: $E_{\text{weighted}} = 1.73 \text{ in. [1.03]}$ &

$Q_{100} = 7.85 \text{ CFS}$ VOLUME 100 = 12245 CF
 $Q_{10} = 4.94 \text{ CFS}$ VOLUME 10 = 7290 CF

POND CALCS.

3753 SF. AREA OF TOP TO ELEV. 56.50
2000 SF. AREA OF BOTT. @ 53.50
 $3753 + 2000 / 2 \times 3 = 8630 \text{ CF}$
SMALL POND @ EAST = 500 CF
THEREFORE: BALANCE, $12245 - 8630 - 500 = 3115 \text{ CF}$
IS PONDED TO 56.90 ELEV. IN PKG. LOT



NOTES

1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 7TH EDITION W/ UPDATES.
2. AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL LANDSCAPING AREA SHALL BE SOFT-LINED WITH NATIVE VEGETATION AND/OR GRAVEL.
5. CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
6. REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1011, NATIVE SEED MIX.
7. MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION: 3 HORIZONTAL TO 1 VERTICAL, 3:1.
8. NEW ASPHALT PAVEMENT SHALL CONSIST OF 3" ASPHALT CONCRETE OVER 6" AGGREGATE BASE COURSE ON 8" COMPACTED SUBGRADE, 95% PROCTOR, ASTM D-1557

LEGEND

+24.0	EXIST. SPOT ELEVATION
-10	EXIST. CONTOUR
◆ 24.0	NEW SPOT ELEVATION
-54	NEW CONTOUR
---	NEW SWALE
→	DRAINAGE DIRECTION, EXISTING
FL	FLOWLINE
OPP	EXISTING POWER POLE
NG OR G	NATURAL GROUND, EXISTING
TB	TOP OF BERM, EXISTING
R/C	REBAR AND CAP, EXISTING
CLF	CHAIN LINK FENCE, EXISTING
---	NEW P.C.C., CONCRETE
TG	TOP OF GRATE (W/ ELEV.)
56.73	As. BUILT ELEV.

DRAINAGE CERTIFICATION

I, Philip W. Clark, NMPE 10265, OF THE FIRM CLARK CONSULTING ENGINEERS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/6/07. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY *Clark Consulting Engineers* NMPEs OF THE FIRM *Precision Surveying*. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 9/28/08 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR *certificate of occupancy*.

(DESCRIBE ANY EXCEPTIONS AND/OR QUALIFICATIONS)

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Philip W. Clark, NMPE, 10265
9/28/08
DATE

PROJECT DATA

LEGAL DESCRIPTION

LOTS 1-18, BLOCK 4, SPRINGER TRANSFER CO. ADD'N NO. 1, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

PROJECT BENCHMARK

NORTH RIM OF MANHOLE IN KINLEY AVE.
SEE PLAN, ELEVATION = 4957.41, AS TIED FROM ACS CONTROL MONUMENT

TOPOGRAPHIC DESIGN SURVEY

PERFORMED BY WAYJOHN SURVEYING, INC. OCT. 2006.

RECEIVED

SEP 09 2008

HYDROLOGY
SECTION

Clark Consulting Engineers

19 Ryan Road
Edgewood, New Mexico 87015
Tel: (505) 281-2444 Fax: (505) 281-2444

DATE REVISION LOT 1-18 SPRINGER TRANSFER CO ADD'N
7-5-08 1-5-BLT Rev. ALBUQUERQUE, NEW MEXICO
424 KINLEY AVE, NE

Grading & Drainage
Plan

DESIGNED BY: PWC DRAWN BY: CCE JOB # MILLER_INSUL 1 OF 1
CHECKED BY: PWC DATE: 9/12/07 FILE # G/D