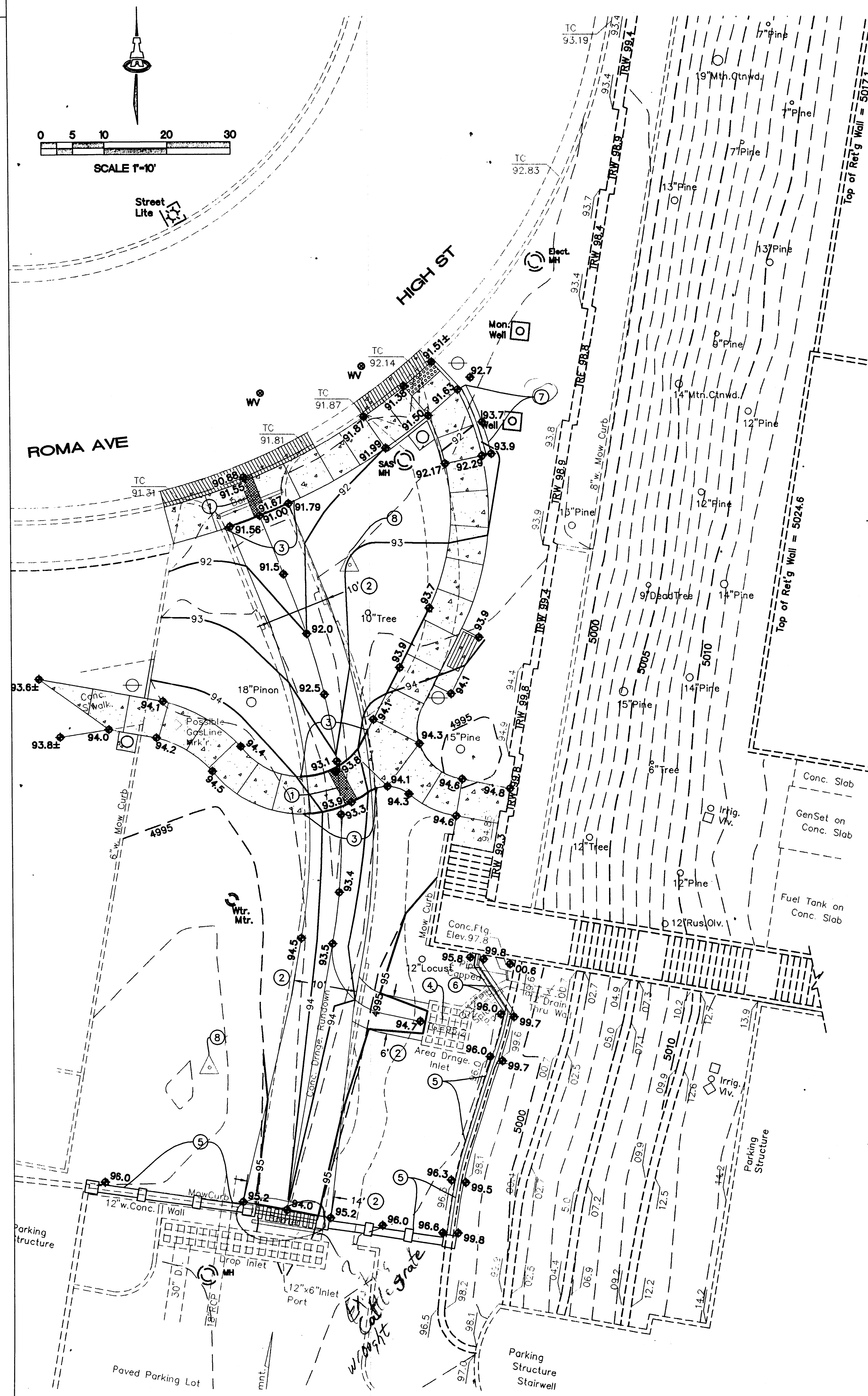


LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- 78.3
- SIDEWALK CULVERT



KEYED NOTES

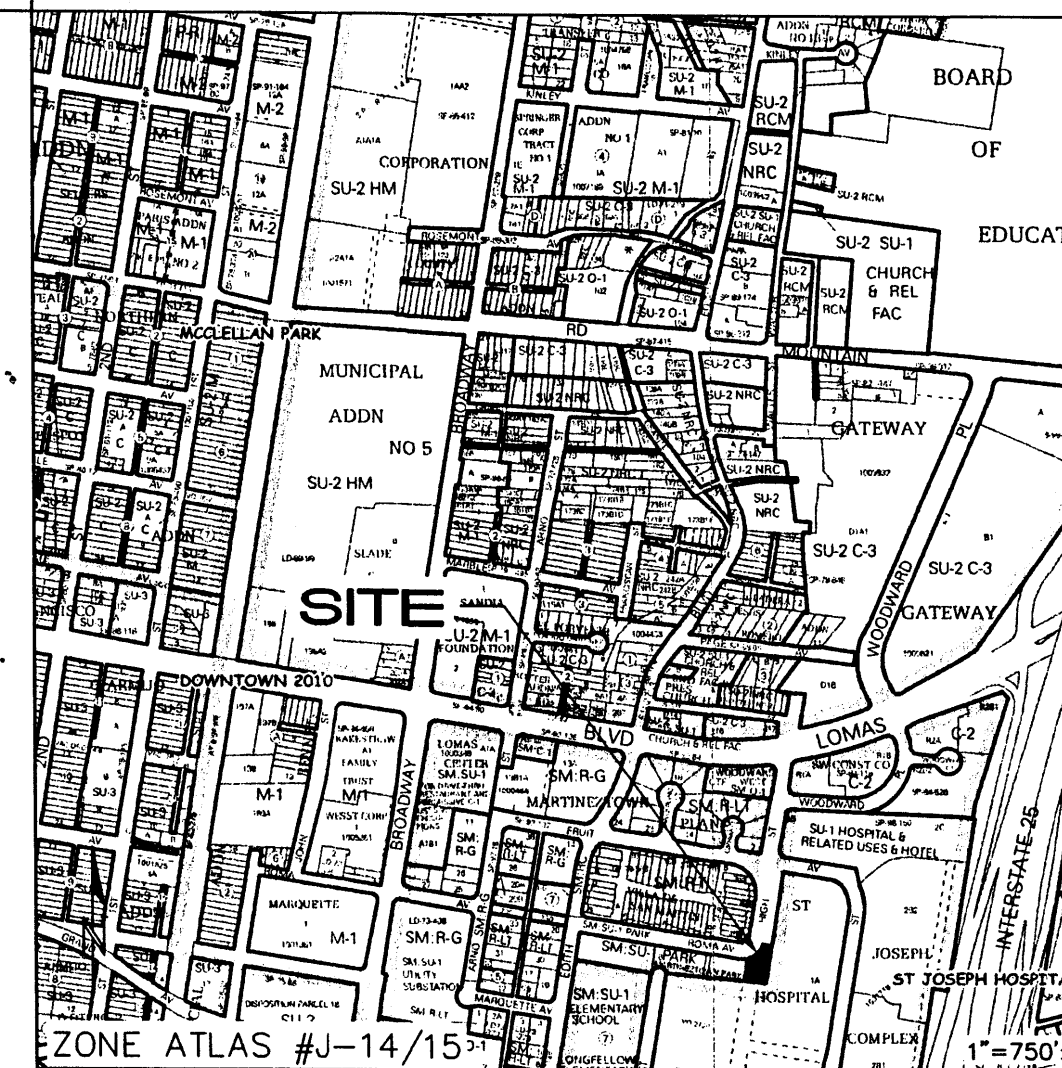
- INSTALL 2' WIDE SIDEWALK CULVERT PER COA STD DWG #2236.
- ROCK LINED DRY STREAM BED PER DETAIL ON SHEET 23.
- IN THE NOTED AREAS, TURN DOWN EDGE OF SIDEWALK PER DETAIL ON SHEET 23.
- EXISTING SUMP INLET TO REMAIN. PROTECT DURING CONSTRUCTION.
- BLOCK RETAINING WALL PER DETAIL ON SHEET 23.
- EXISTING PIPE TO PENETRATE NEW WALL. REMOVE & REINSTALL PORTIONS OF SPLASH PAD AS NECESSARY TO INSTALL NEW WALL.
- SEAT WALL PER LANDSCAPE DETAILS.
- PROTECT EXISTING SURVEY MONUMENT DURING CONSTRUCTION.

GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN, AND LANDSCAPE PLAN.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- ALL SUBGRADE EXCAVATION AND NON-STRUCTURAL FILL SHALL BE COMPACTED TO A MINIMUM OF 90% ASTM D-1557.
- EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED BY GEOTECHNICAL REPORT, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER HAS ESTABLISHED PROPERTY BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
- ALL FRACTURED FACE ROCK (F.F. ROCK) TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERENCING F.F. ROCK EROSION PROTECTION.
- ALL AREAS DISTURBED BY CONSTRUCTION (OUTSIDE PROPOSED TURF AREA) SHALL BE RESEED WITH NATIVE GRASS PER C.O.A. SPECIFICATIONS SECTION 1012 (FOR SANDY SOILS) OR AS SPECIFIED ON THE LANDSCAPE PLAN.
- OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

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1785 CG-101.dwg Mar 24, 2010

VICINITY MAP



PROJECT DATA

LEGAL DESCRIPTION: A PORTION OF MARTINEZTOWN PARK
SITE AREA: 0.2± ACRES
FLOOD ZONE: THIS SITE IS DESIGNATED AS ZONE X - OUTSIDE THE 100-YEAR FLOODPLAIN PER FEMA FIRM MAP #35001C0334G DATED 9/26/08.
ENGINEER: GENEVIEVE DONART
ISAACSON & ARFMAN, P.A.
128 MONROE ST NE, ABO, NM 87108
PHONE: (505) 268-8828
SURVEYOR: RIO GRANDE SURVEY CO.
ATTN: REX VOGLER
PHONE: (505) 764-8891
BENCHMARK: *22_K14*, @ NE QUADRANT OF BROADWAY & MLK N.E. ELEV=4966.352 (NAVD88)
EXISTING CONDITIONS: THIS SITE IS A PORTION OF THE MARTINEZTOWN PARK ADJACENT TO THE PRESBYTERIAN HOSPITAL PARKING GARAGE. IT IS A LANDSCAPED PARK, INCLUDING SIDEWALKS. A STORM DRAIN CROSSES THE SITE FROM SOUTH TO NORTH, CAPTURING FLOWS FROM THE PARKING LOT TO THE SOUTH. A CONCRETE-LINED SWALE RUNS FROM THE SOUTH TO THE NORTH, AND SERVES AS AN EMERGENCY OVERFLOW FOR AN INLET IN THE PARKING LOT.
A SUMP INLET ON THE EAST SIDE OF THE PROJECT CAPTURES STORM WATER FROM THE PARKING GARAGE. IT IS UNKNOWN WHERE THE FLOWS ARE ULTIMATELY DISCHARGED.
ONSITE FLOWS ARE DIRECTED NORTH, AND DISCHARGED TO HIGH STREET THROUGH A CURB OPENING.
PROPOSED CONDITIONS: THIS PROJECT IS THE THIRD PHASE OF A PLAN THAT RE-LANDSCAPES THE MARTINEZTOWN PARK. THE CONCRETE-LINED EMERGENCY OVERFLOW SWALE IS REMOVED, AND REPLACED WITH A FRACTURED-ROCK LINED SWALE. A BRANCH IS ADDED TO CAPTURE OVERFLOW WATERS FROM THE SUMP INLET.
ONSITE FLOWS CONTINUE TO BE DIRECTED TO THE NORTH. SIDEWALK CULVERTS PASS THE FLOWS UNDER SIDEWALKS.

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CITY OF ALBUQUERQUE
PARK DESIGN AND CONSTRUCTION DIVISION
DEPARTMENT OF MUNICIPAL DEVELOPMENT
MARTINEZTOWN PARK IMPROVEMENTS
PHASE TWO
GRADING & DRAINAGE PLAN

Design Review Committee City Engineer Approval

RECEIVED 94492

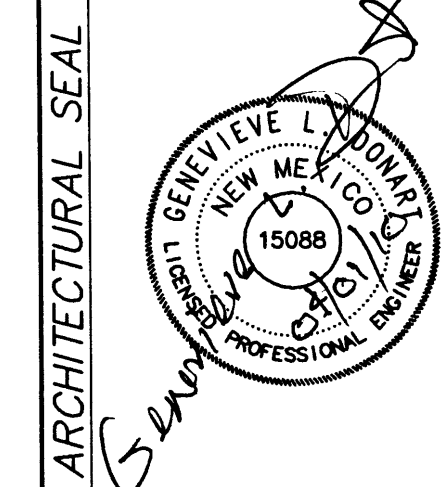
Zone Map No. J-14, J-15

Sheet 22 OF 24

APR 30 2010
HYDROLOGY
SECTION

AS-BUILT INFORMATION			
CONTRACTOR	DATE	CONTRACTOR	DATE
INSPECTOR'S	DATE	INSPECTOR'S	DATE
VERIFICATION BY	DATE	VERIFICATION BY	DATE
CORRECTED BY	DATE	CORRECTED BY	DATE
MICRO-FILM INFORMATION			
RECORDED BY	DATE	RECORDED BY	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
BY	DATE
NO.	DATE



REVISIONS	
NO.	DATE
REMARKS	DATE
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE

FINAL FOR CONSTRUCTION
DATE: X

Martineztown Park Improvements - Phase Two

PROJECT# 694492

RECORD DRAWINGS
DATE:



1. PERIMETER WALL FOOTINGS SHOULD BE EMBEDDED A MINIMUM OF EIGHTEEN INCHES BELOW LOWEST ADJACENT GRADE. PRIOR TO PLACING FOOTINGS THE EXPOSED SOILS SHOULD BE SCARIFIED TO DEPTH OF EIGHT (8") INCHES, MOISTURE CONDITIONS TO BE NEAR OPTIMUM ($\pm 3\%$) MOISTURE CONTENT AND COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557. SEE SOILS REPORT BY VINCE & ASSOCIATES, INC. FOR TRACTS 11A, 11B, & 11C HIGH DESERT DEVELOPMENT FOR FILL MATERIAL, PLACEMENT, ETC.

2. PERIMETER WALL SHALL NOT BE BACKFILLED UNTIL AT LEAST 7 DAYS AFTER PLACING OF FINAL GROUT LEVEL. WHERE HEAVY EQUIPMENT IS USED IN BACKFILLING, SUCH EQUIPMENT SHOULD NOT APPROACH CLOSER TO THE TOP OF THE WALL THAN A DISTANCE EQUAL TO THE HEIGHT OF THE WALL. CARE SHOULD BE TAKEN TO AVOID EXERTING IMPACT FORCES ON THE WALL AS COULD BE CAUSED BY A LARGE MASS OF MOVING EARTH OR EQUIPMENT.

SLOPES UP AWAY FROM WALLS SHOULD NOT EXCEED 3:1.

3. VERTICAL EXPANSION JOINTS WITH CLOSED CELL INSERTS SHALL BE PLACED AT INTERVALS NOT TO EXCEED 20'-0" ON CENTER. SEE DETAIL C.

4. MINIMUM LAP SPLICE ON REINFORCING BARS SHALL BE 30 BAR DIAMETERS OR 1'-4" MINIMUM. REINFORCEMENT OF A SIZE AND SPACING OTHER THAN THAT GIVEN IN THE DETAILS MAY BE USED PROVIDING SUCH OTHER REINFORCEMENT FURNISHES AN AREA OF STEEL AREA AT LEAST EQUAL TO THAT GIVEN IN THE DETAILS.


5. CONSTRUCTION OF PERIMETER WALLS SHALL CONFORM TO REQUIREMENTS OF THE UNIFORM BUILDING CODE SECTION 25, LOWLIFT GROUTING METHOD ONLY.

6. OMISSION OF A VERTICAL MORTAR JOINT ON FIRST COURSE AT 48" O.C. SHALL BE USED FOR WEEP HOLES.

7. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONCRETE FOOTING POUR FOR INSPECTION OF COMPACTION UNDER FOOTING, FOOTING DEPTH AND WIDTH AND WALL STEEL AND SPACING. FINAL INSPECTION OF FOOTING AND WALL WILL BE REQUIRED.

8. CONTRACTOR SHALL BE RESPONSIBLE FOR CODE ADMINISTRATION APPROVAL AND FEES ASSOCIATED WITH IT.

9. RETAINING HEIGHTS LESS THAN 18" SHALL RETAIN AGAINST THE STANDARD PERIMETER WALL.



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CITY OF ALBUQUERQUE
PARK DESIGN AND CONSTRUCTION DIVISION
DEPARTMENT OF MUNICIPAL DEVELOPMENT

MARTINEZTOWN PARK IMPROVEMENTS PHASE TWO GRADING & DRAINAGE DETAILS

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. 694492		Zone Map No. J-14, J-15	Sheet 23 OF 24	

FINAL FOR CONSTRUCTION
DATE: X

Martineztown Park Improvements - Phase Two

DATE _____
PROJECT# 694492

RECORD DRAWINGS
DATE:

