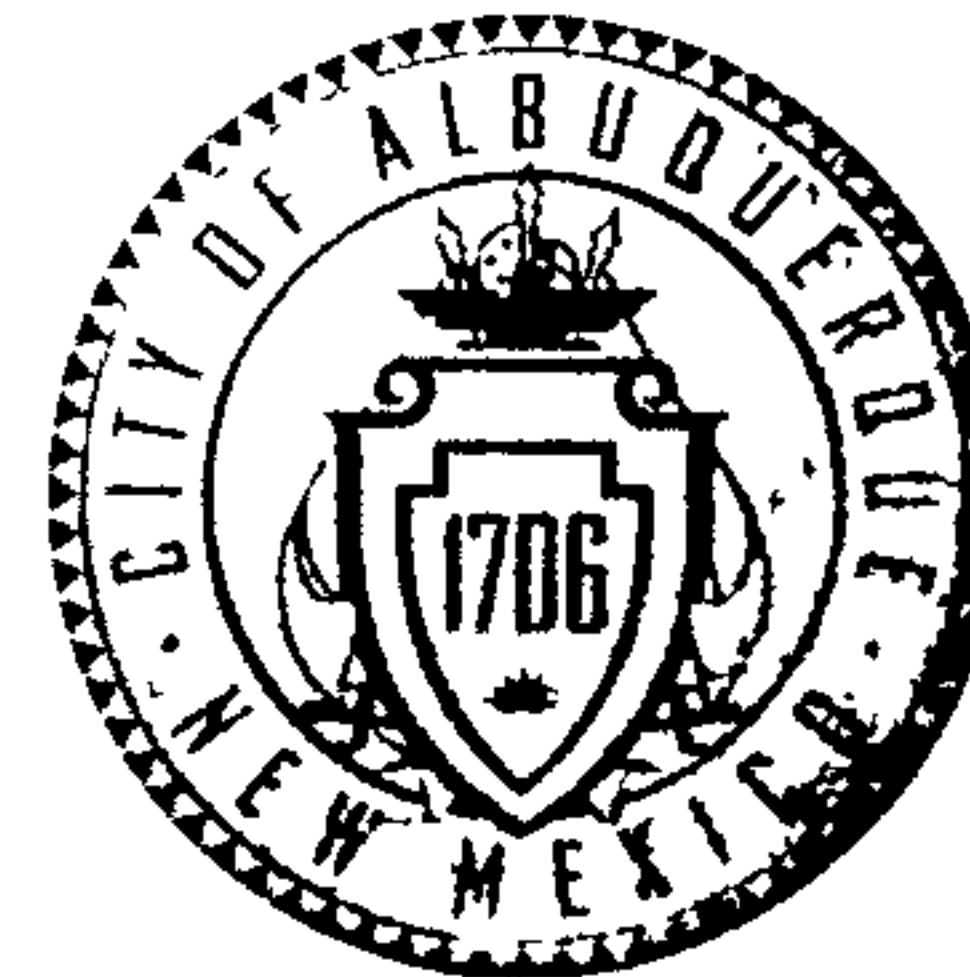


CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

June 24, 2009

Martin J. Garcia, PE
ABQ Engineering, Inc.
6739 Academy Road NE, Ste. 130
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for
Pete's Equipment, [J-14 / D16Z]
1400 Broadway Blvd. NE
Architect's Stamp Dated 06/23/09

PO Box 1293

Dear Mr. Gracia:

Albuquerque

The TCL / Letter of Certification submitted on June 23, 2009 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

NM 87103

Sincerely,

www.cabq.gov


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: PETE'S EQUIPMENT

DRB #: _____

EPC#: _____

ZONE MAP/DRG. FILE #: J-14 / D1 6 2
WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 6-17, BLOCK 1 & LOTS 6-13, BLOCK 2 OF SPRINGER TRANSFER CO.
CITY ADDRESS: 1400 BROADWAY BLVD. NE

ENGINEERING FIRM: ABQ Engineering, Inc
ADDRESS: 6739 Academy Road NE Suite 130
CITY, STATE: Albuquerque, NM

CONTACT: Martin J. Garcia
PHONE: 255-7802
ZIP CODE: 87109

OWNER: _____
ADDRESS: 1400 BROADWAY BLVD. NE
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: GREG ALLEGRETTI
ADDRESS: _____
CITY, STATE: _____

CONTACT: GREG ALLEGRETTI
PHONE: 986-9033
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

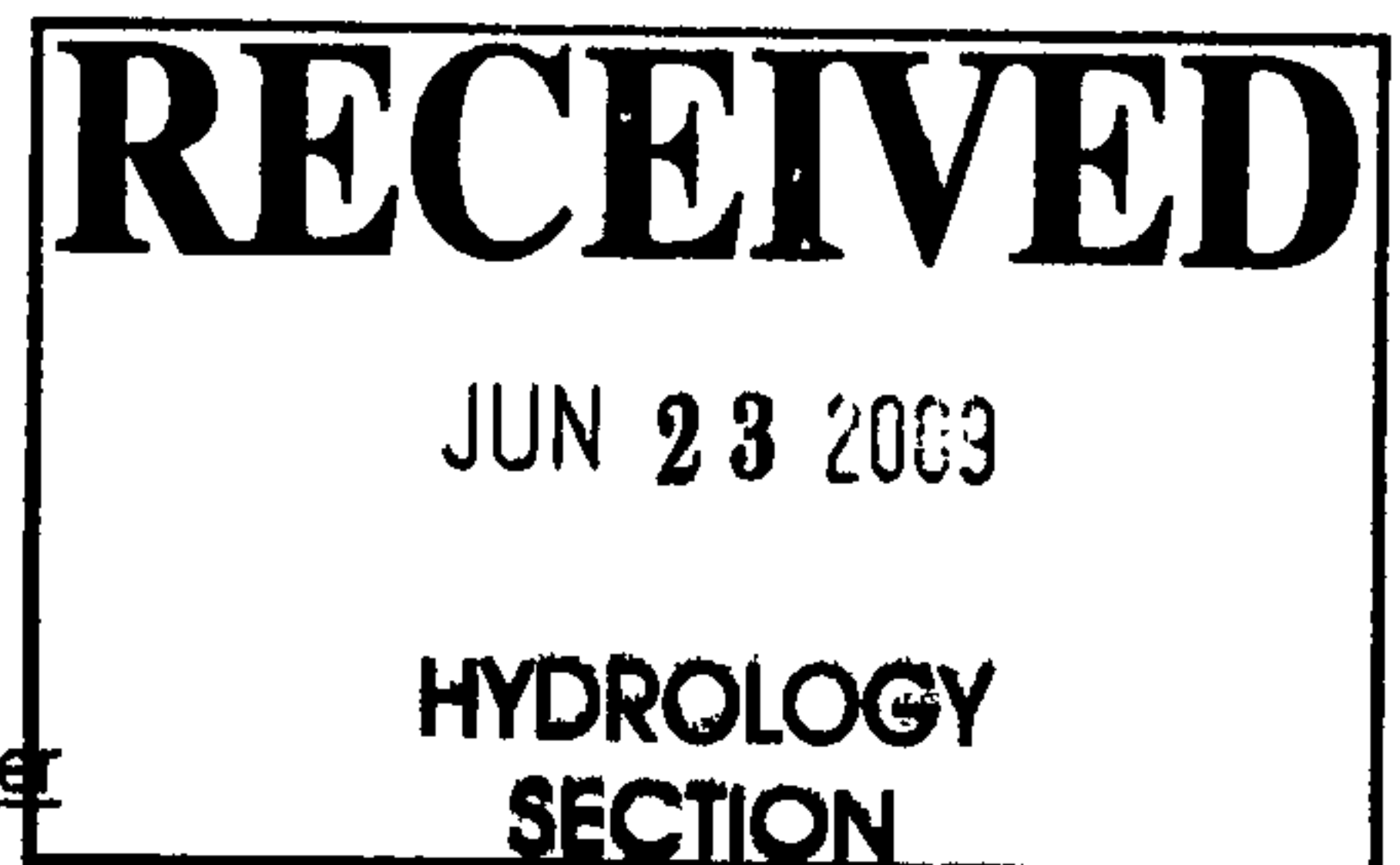
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: June 23, 2009

BY: Ashley J. Tanner



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five

(5)
acres.

June 23, 2009

Mr. Brad Bingham
City of Albuquerque Development Services
600 2nd Street NW
Albuquerque, NM 87102

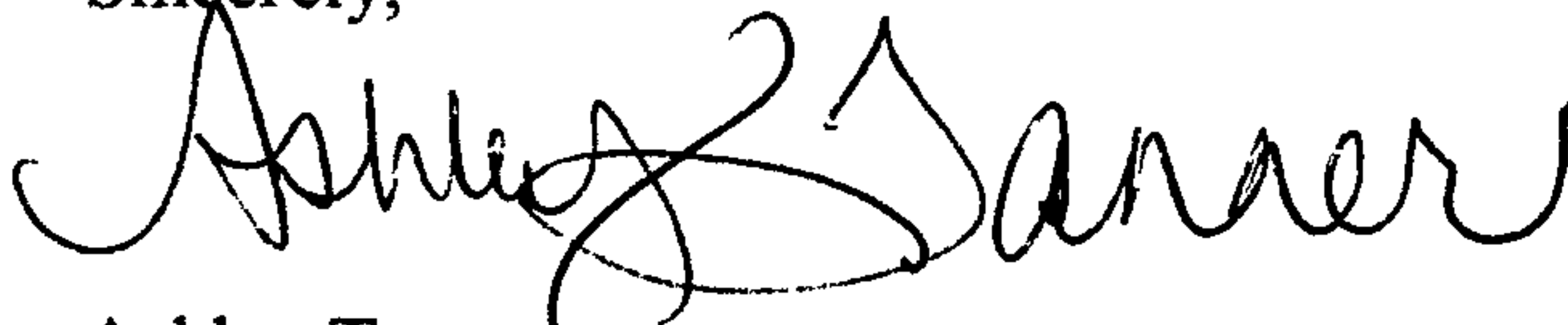
RE: Submittal of Grading & Drainage and Traffic Circulation Layout As-Built
Certifications for Pete's Equipment

Dear Mr. Bingham:

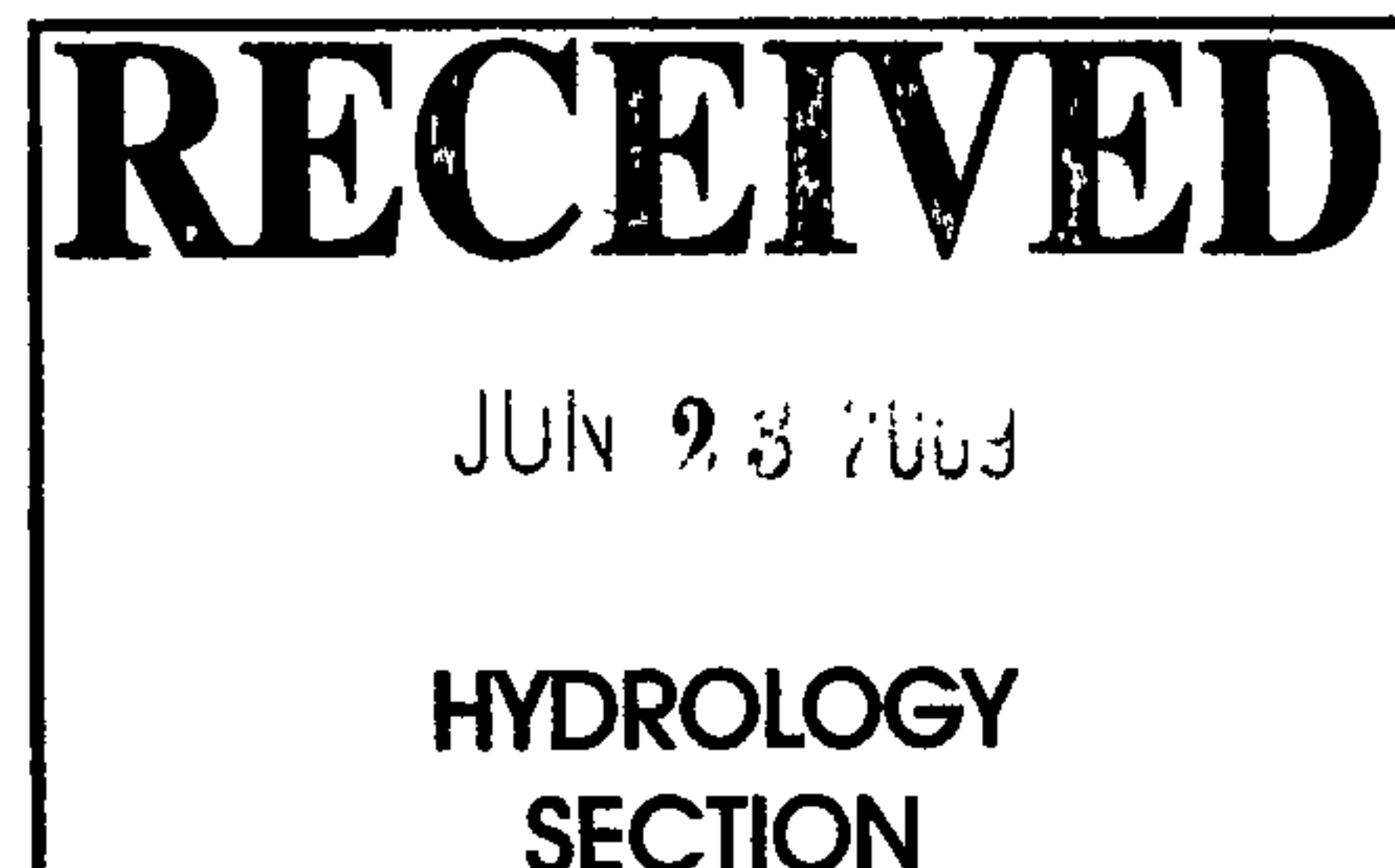
Submitted herewith are the final as-built certifications for the Pete's Equipment Project. The project is located at 1400 Broadway Blvd. NE, near the northeast corner of Kinley Avenue and Broadway Boulevard in Albuquerque, New Mexico. We requested that the certified as-built grading and drainage and traffic circulation plans being submitted be approved for permanent certificates of occupancy.

If you have any questions or require additional information, please call me at 255-7802.

Sincerely,



Ashley Tanner
Martin J. Garcia, PE
ABQ Engineering Inc.
28050



CITY OF ALBUQUERQUE



June 23, 2009

Roni G. Booth, P.E.
ABQ Engineering, Inc.
6739 Academy Rd NE Ste. 130
Albuquerque, NM 87109

**Re: Pete's Equipment, 1400 Broadway Blvd NE,
(J-14/D162)
Approval of Permanent Certificate of Occupancy,
Engineer's Stamp Dated: 06-23-08
Engineer's Certification Date: 6-23-09**

PO Box 1293

Dear Mr. Booth,

Albuquerque

Based upon the information provided by our visual inspection on 6/23/09, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

NM 87103

If you have any questions, you can contact me at 924-3982.

www.cabq.gov

Sincerely,

Timothy E. Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

C: CO Clerk—Katrina Sigala
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: PETE'S EQUIPMENT

DRB #: _____

EPC#: _____

ZONE MAP/DRG. FILE #: J-14 / D162

WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 6-17, BLOCK 1 & LOTS 6-13, BLOCK 2 OF SPRINGER TRANSFER CO.

CITY ADDRESS: 1400 BROADWAY BLVD. NE

ENGINEERING FIRM: ABQ Engineering, Inc

ADDRESS: 6739 Academy Road NE Suite 130

CITY, STATE: Albuquerque, NM

CONTACT: Martin J. Garcia

PHONE: 255-7802

ZIP CODE: 87109

OWNER: _____

ADDRESS: 1400 BROADWAY BLVD. NE

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

ARCHITECT: GREG ALLEGRETTI

ADDRESS: _____

CITY, STATE: _____

CONTACT: GREG ALLEGRETTI

PHONE: 986-9033

ZIP CODE: _____

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

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- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
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- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: June 23, 2009

BY: Ashley J. Tanner

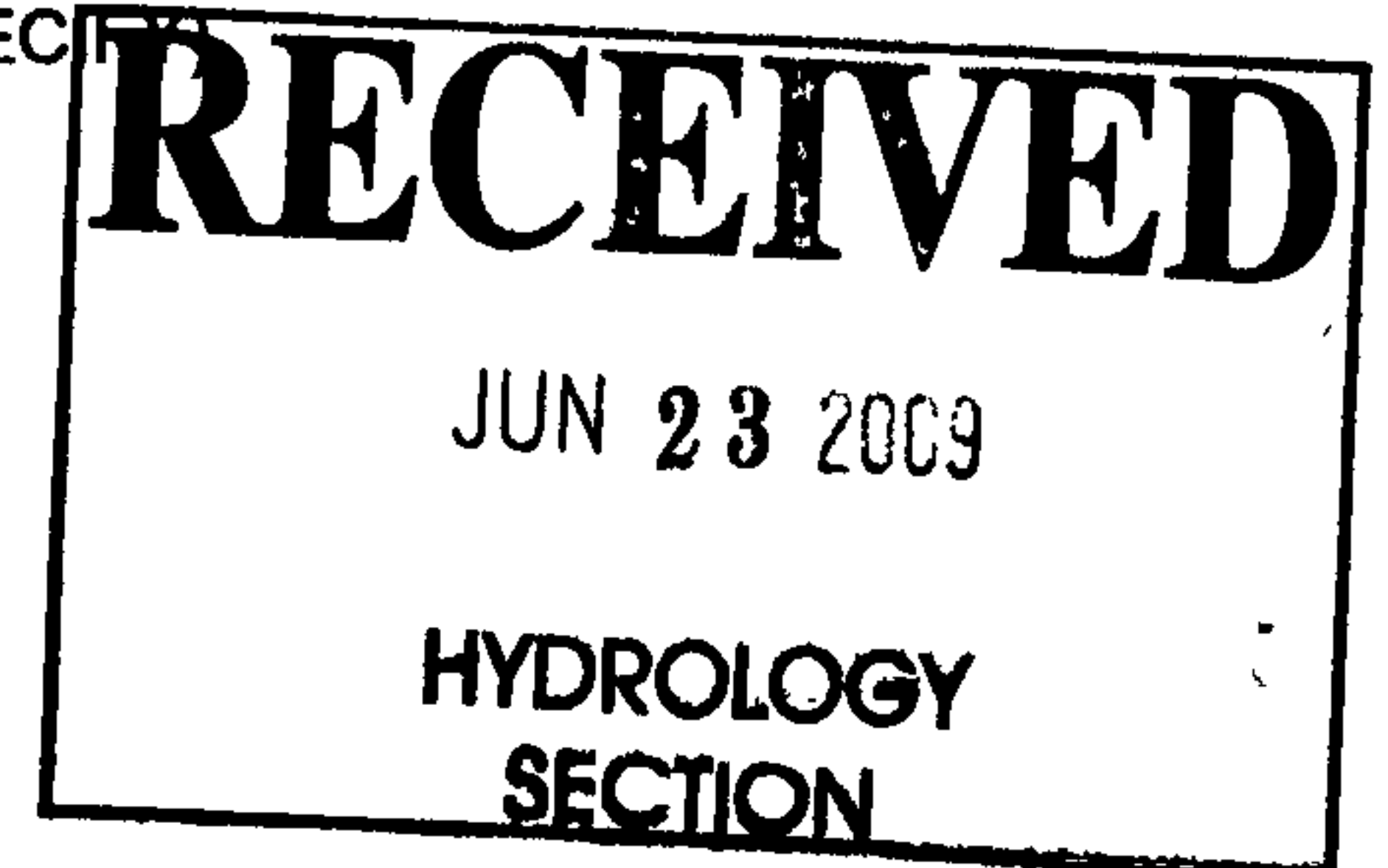
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five

(5)

acres.



June 23, 2009

Mr. Brad Bingham
City of Albuquerque Development Services
600 2nd Street NW
Albuquerque, NM 87102

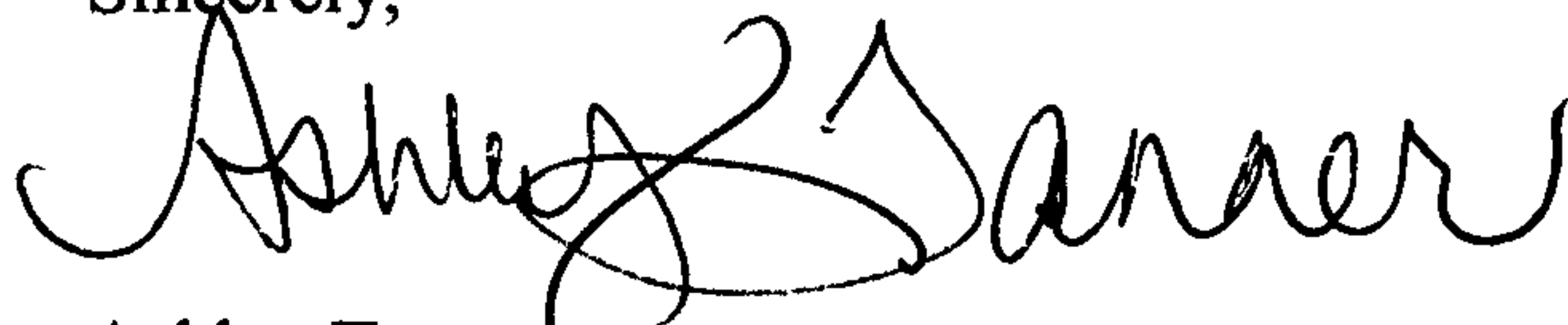
RE: Submittal of Grading & Drainage and Traffic Circulation Layout As-Built
Certifications for Pete's Equipment

Dear Mr. Bingham:

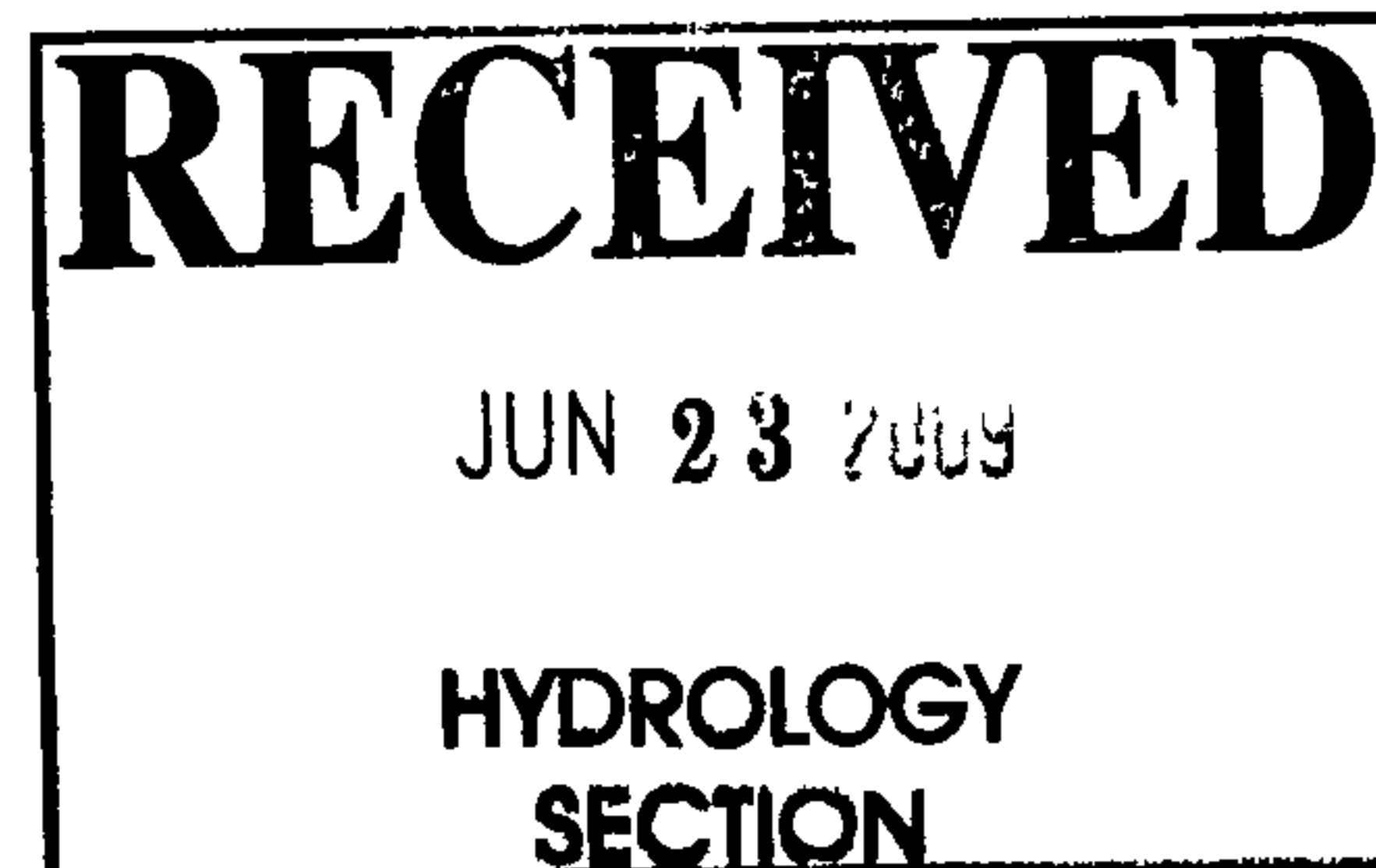
Submitted herewith are the final as-built certifications for the Pete's Equipment Project. The project is located at 1400 Broadway Blvd. NE, near the northeast corner of Kinley Avenue and Broadway Boulevard in Albuquerque, New Mexico. We requested that the certified as-built grading and drainage and traffic circulation plans being submitted be approved for permanent certificates of occupancy.

If you have any questions or require additional information, please call me at 255-7802.

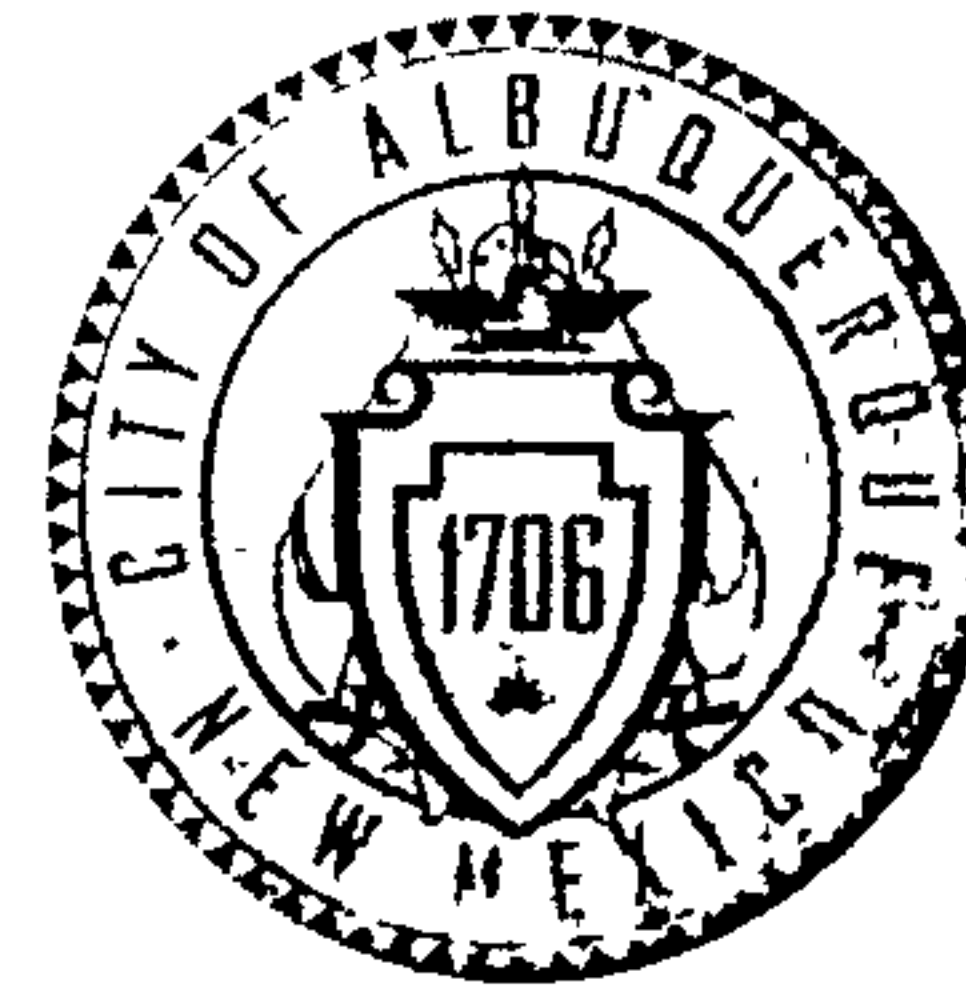
Sincerely,



Ashley Tanner
Martin J. Garcia, PE
ABQ Engineering Inc.
28050



CITY OF ALBUQUERQUE



August 28, 2008

Greg Allegretti, R.A.
Allegretti Architects
1925 Aspen Dr. Ste. 802-B
Santa Fe, NM 87505

Re: Pete's Equipment, 1412 Broadway Blvd NE, Traffic Circulation Layout
Architect's Stamp dated 7-30-08 (J-14/D162)

Dear Mr. Allegretti,

The TCL submittal received 8-28-08 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

NM 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

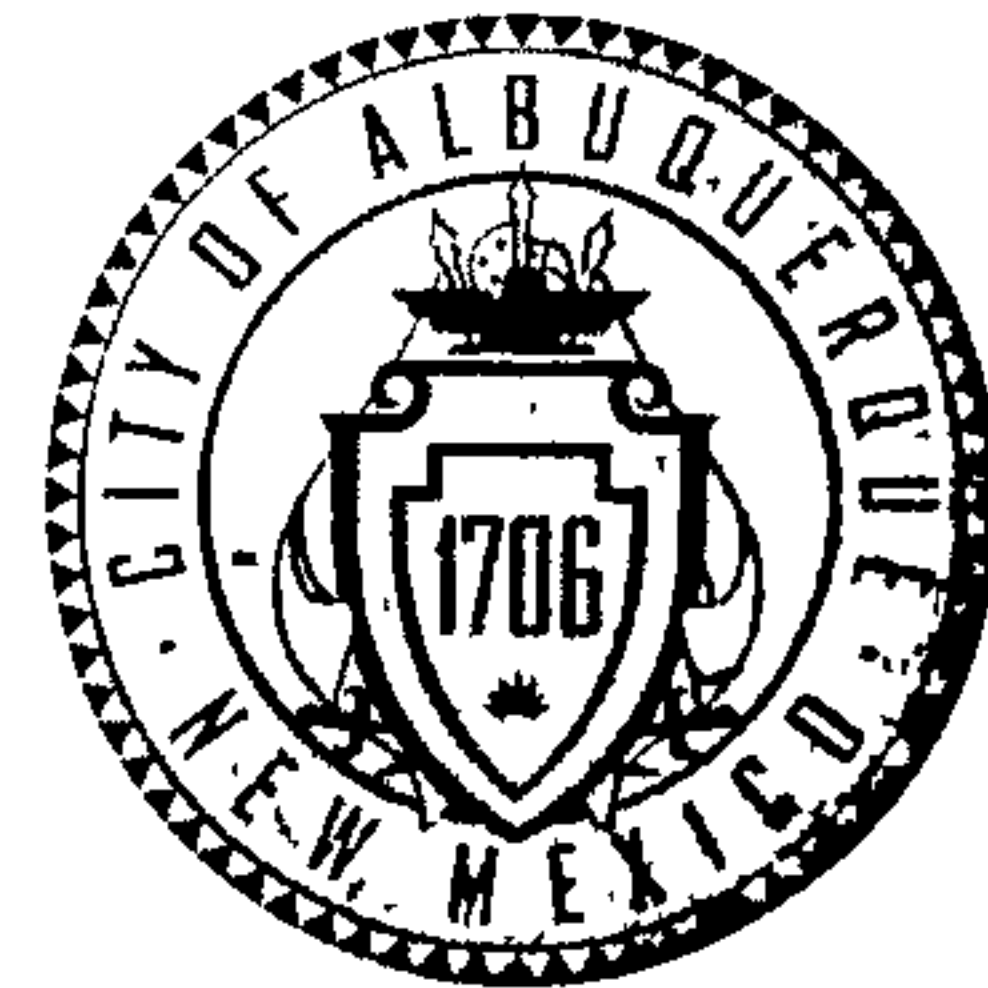
Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

* See
03/30/09
Note on plan

CITY OF ALBUQUERQUE



July 28, 2008

Greg Allegretti, R.A.
Allegretti Architects
1925 Aspen Dr. Ste. 802B
Santa Fe, NM 87505

11:30AM
Thurs
Mtg w/ Arch.

Re: Pete's Equipment, 1412 Broadway Blvd NE, Traffic Circulation Layout
Architect's Stamp undated (J-14/D162)

Dear Mr. Allegretti,

Based upon the information provided in your submittal received 7-24-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- ✓ 1. Please include two copies of the traffic circulation layout at the next submittal.
- ✓ 2. Per the replat (signed by Transportation on 7/11/08), a public roadway easement was granted at the end of Arno Street. It was noted at the time that the existing gate and fencing must be relocated. This must be completed at this time. Please amend your plan accordingly and show this easement on the plan.
- ✓ 3. Call out the width of the existing curb cut.
- ✓ 4. Provide additional information about the potential easement along the northeast corner of the site. - now ROW
- ✓ 5. Explain the purpose of the gates located at the end of the center drive aisle. - open during business hours
- ✓ 6. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
- ✓ 7. Please show a vicinity map, clearly identifying the project site, on the plan.
- ✓ 8. List radii for all curves shown.
- ✓ 9. End of aisle islands will be required for all parking stalls. For passenger vehicles, the minimum end island radius is 15 feet. See figure 23.7.2 of the *Development Process Manual* for reference.
- ✓ 10. Call out all drive aisle widths.
11. Include a detail of all handicapped ramps, identifying the maximum slope. If the sidewalks are flush with the pavement, please identify with a note on the plans.
12. Call out the width of the pedestrian access pathway. Include a detail of the pedestrian gate; will this gate be ADA accessible?

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File
DRB 1007304

CITY OF ALBUQUERQUE



June 26, 2008

Roni G. Booth, P.E.
ABQ Engineering, Inc
6739 Academy Rd. NE, Ste. 130
Albuquerque, NM 87109

**Re: Pete's Equipment, 1412 Broadway Blvd NE, Grading and Drainage Plan
Engineer's Stamp dated 06-23-08 (J-14/D162)**

Dear Mr. Booth,

Based upon the information provided in your submittal received 06-24-08, the above referenced plan is approved for Paving Permit and Grading Permit. . Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

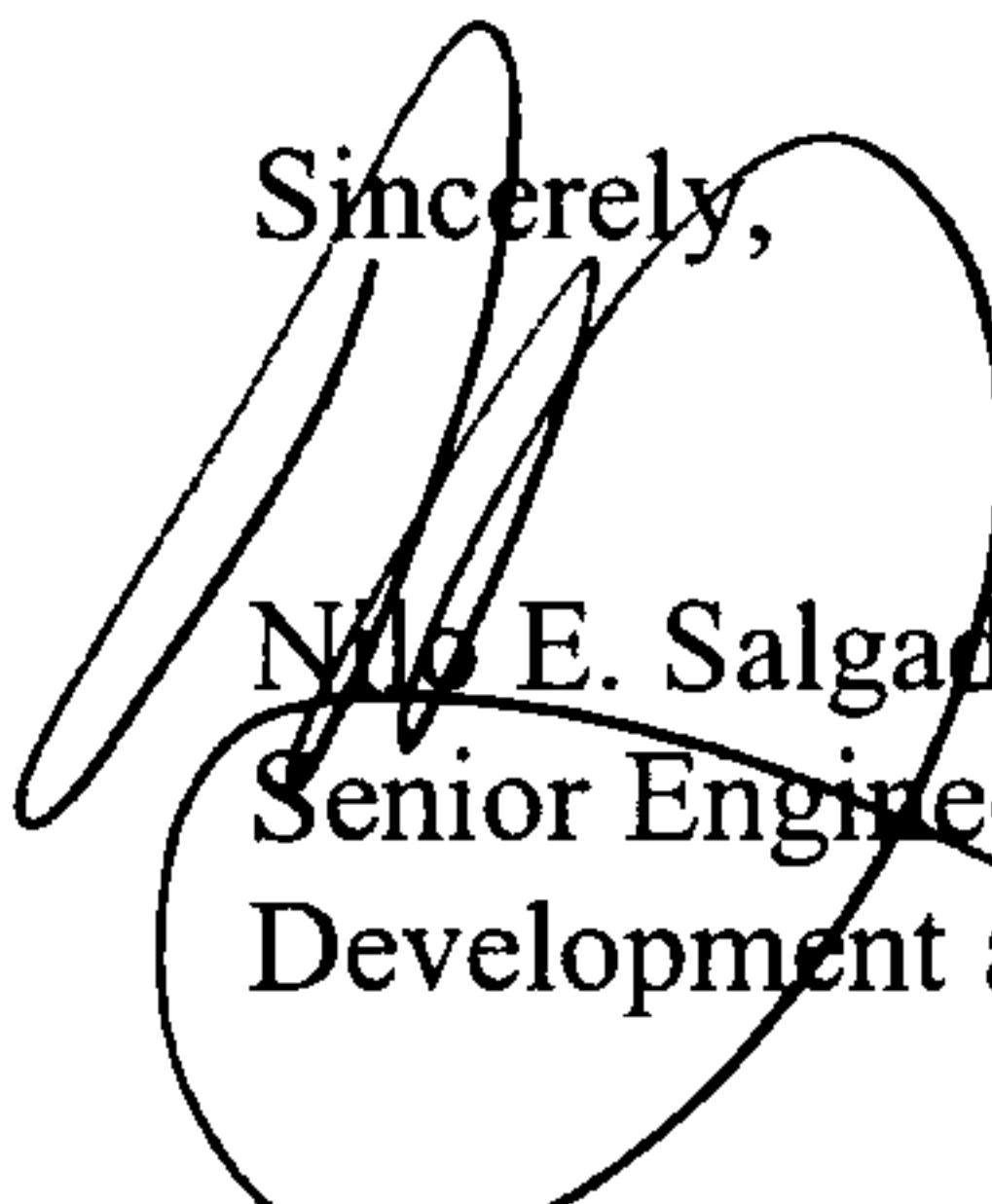
This project requires a National Pollutant Discharge Elimination System (NPDES) permit. In addition to submitting an NOI to the EPA and preparing a Storm Pollution Prevention Plan (SWPPP), please send a copy of the SWPPP on a CD in .pdf format to the following address:

Department of Municipal Development
Storm Drainage Division
P.O. Box 1293, One Civic Plaza, Rm. 301
Attn: Kathy Verhage
Albuquerque, NM 87103

If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Kathy Verhage).

If you have any questions, please contact me at 924-3630.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File
Kathy Verhage

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

N SF

PROJECT TITLE: PETE'S EQUIPMENT

DRB #: _____

EPC#: _____

ZONE MAP/DRG. FILE #: J-14 / D162

WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 6-17, BLOCK 1 & LOTS 6-13, BLOCK 2 OF SPRINGER TRANSFER CO.

CITY ADDRESS: 1400 BROADWAY BLVD. NE

ENGINEERING FIRM: ABQ Engineering, Inc

ADDRESS: 6739 Academy Road NE Suite 130

CITY, STATE: Albuquerque, NM

CONTACT: Martin J. Garcia

PHONE: 255-7802

ZIP CODE: 87109

OWNER: _____

ADDRESS: 1400 BROADWAY BLVD. NE

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

ARCHITECT: GREG ALLEGRETTI

ADDRESS: _____

CITY, STATE: _____

CONTACT: GREG ALLEGRETTI

PHONE: 986-9033

ZIP CODE: _____

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

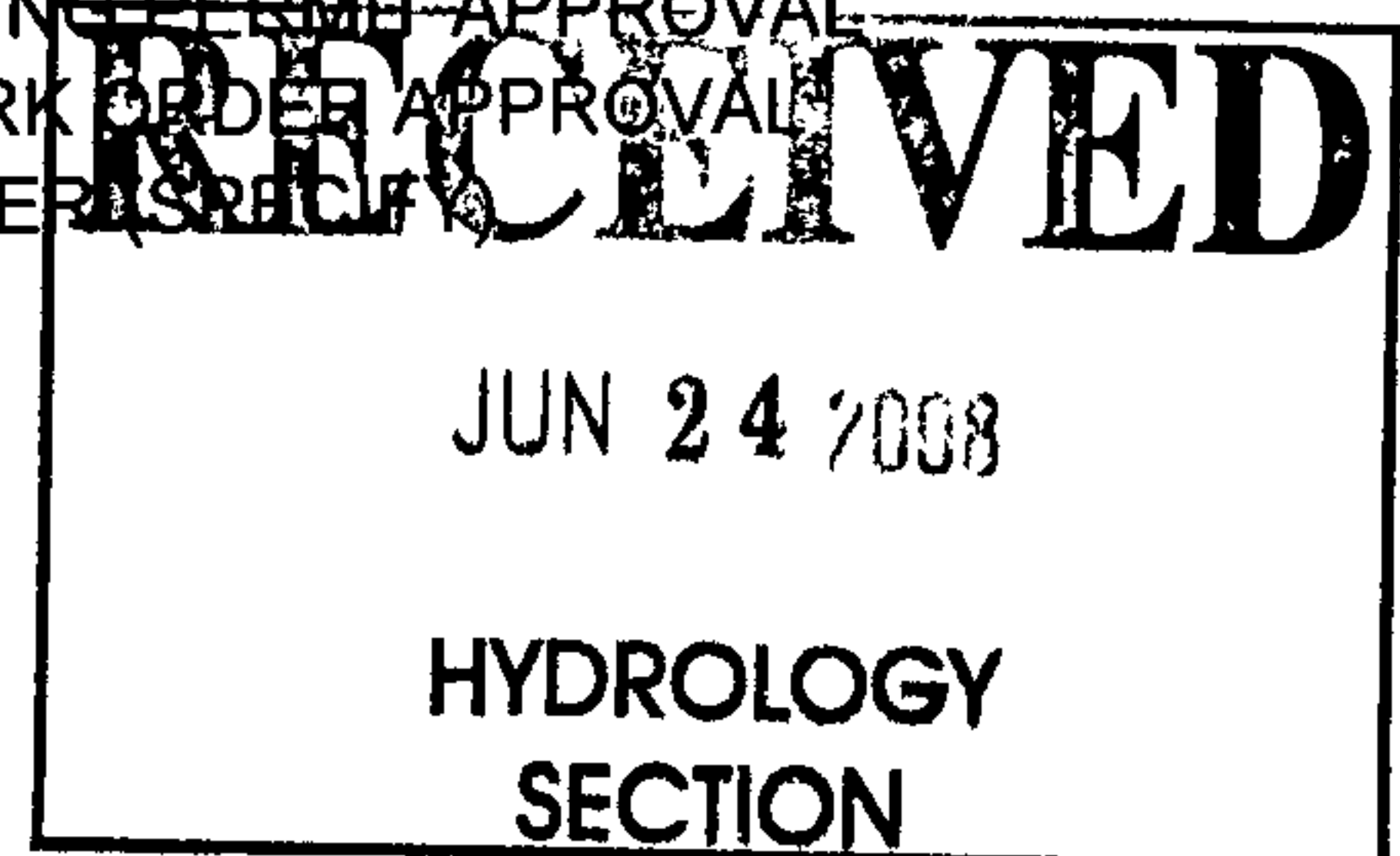
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
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- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
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- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

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- ☐ PRELIMINARY PLAT APPROVAL
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- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: June 24, 2008

BY: Dolores C. Montoya

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

June 13, 2008

Mr. Nilo Salgado Fernandez, P.E.
Senior Engineer, Planning Department
City of Albuquerque
Development and Building Services
600 Second Street NW
Albuquerque, NM 87102

RE: Pete's Equipment 1412 Broadway NE G&D Plan J-14/D162


Dear Mr. Salgado Fernandez,

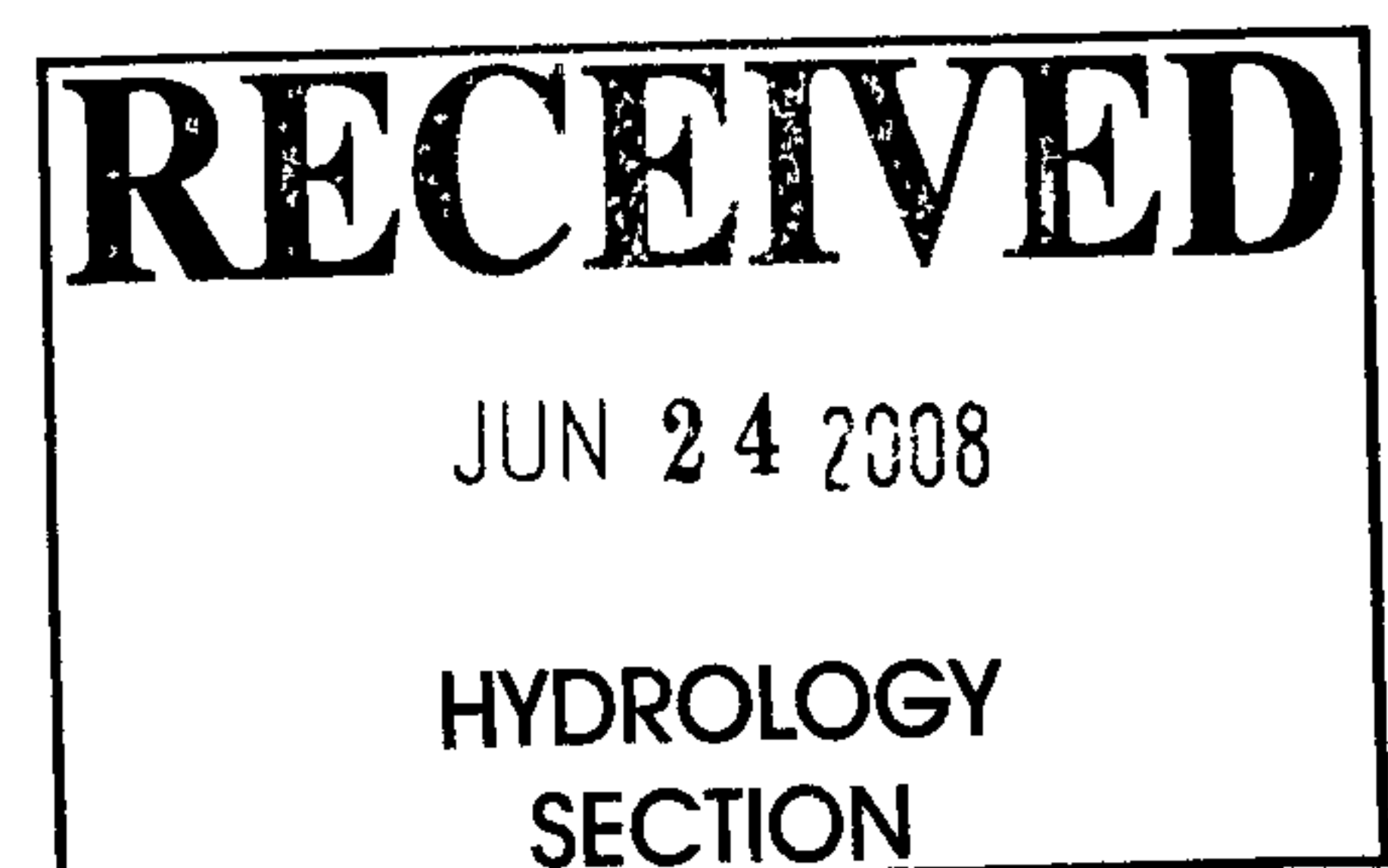
We are in receipt of your comments for this case dated May 15, 2008 and have the following responses to offer:

- ✓ 1. The address for the site is 1412 Broadway and is shown on the plan.
- ✓ 2. The lot consolidation is being undertaken as part of the building permit request.
- ✓ 3. The legal description has been added to the plan.
- 4. The roof slopes have been added to the plan. The roof slopes north and south.
- 5. All existing finish floor elevations have been added.
- ✓ 6. The site abuts a new City storm drainage pond on the north, and its access road on the east, Broadway on the west, and an adjacent property that is lower in elevation on the south. There are no off-site flows onto the site.
- 7. The drainage basins have been shown on this current plan. The requirement from City staff for this site during our pre-design meeting was to drain into the new pond immediately north of the site. After the topo survey was completed, it became apparent that draining to the pond on the north was not possible. The requirement then became to try and reduce the intensity of the runoff by controlling its release and temporarily ponding on-site. The plan submitted herewith provides for release of the runoff at two historic points but does it by staggering the peak time for release, and controlling the amount of release to less than historic.
- ✓ 8. The property is currently fenced with Chain link fence.
- ✓ 9. Spot elevations were added to solid waste enclosure and docks with this plan.
- ~ 10. The historic and new drainage basins have been identified and their respective calculations are contained within the current plan.
- ✓ 11. The weir calculations are contained within the new plan. The purpose for the weirs are to allow for a controlled release to help alleviate current drainage problems in the area of the site.
- ← 12. Spot elevations have been added.
- ✓ 13. Benchmark information has been added to plan.
14. See the response to number 7.

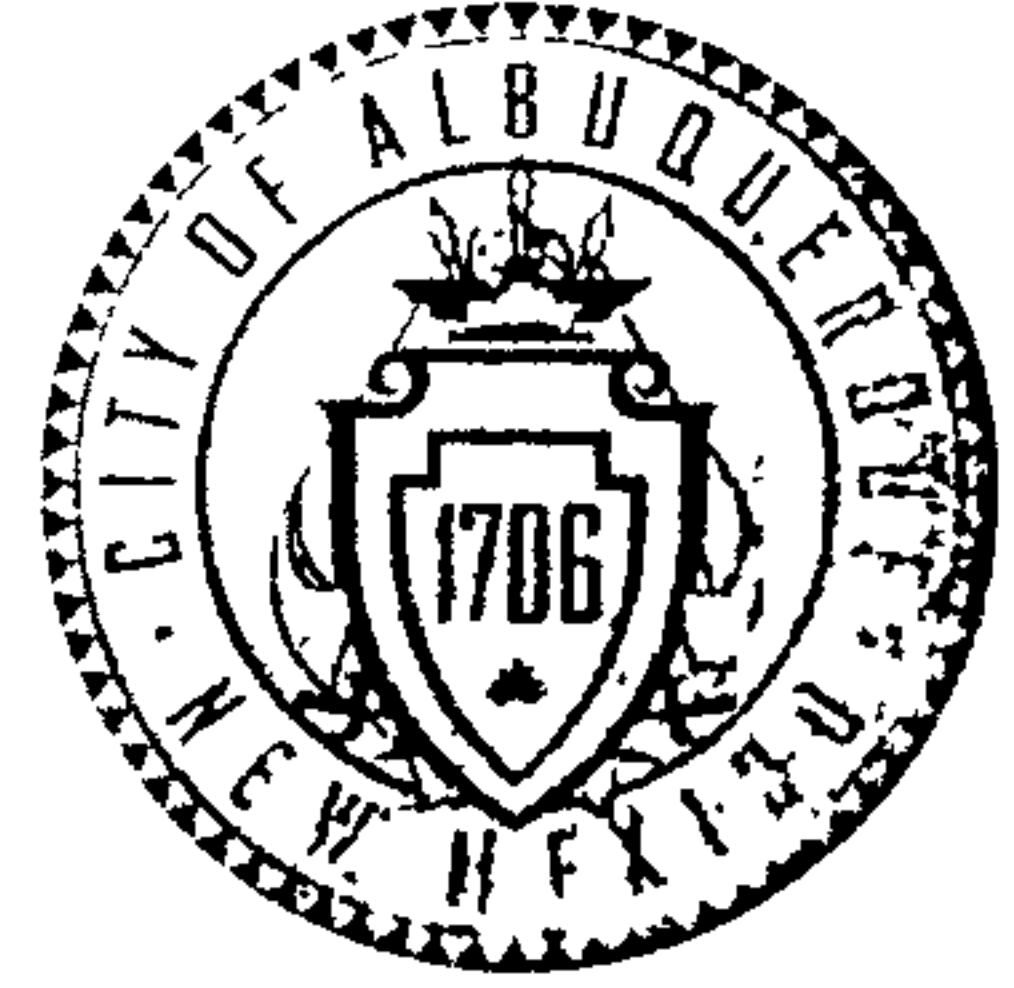
Please let me know if you need additional information. With this submittal I believe we have addressed all your comments and the plan is ready for approval.

Sincerely,


Roni G. Booth, PE
ABQ Engineering Inc.
28050



CITY OF ALBUQUERQUE



May 15, 2008

Roni G. Booth, P.E.
ABQ Engineering, Inc
6739 Academy Rd. NE, Ste. 130
Albuquerque, NM 87109

**Re: Pete's Equipment, 1400 Broadway Blvd NE, Grading and Drainage Plan
Engineer's Stamp dated 04-23-08 (J-14/D162)**

Dear Mr. Booth,

Based upon the information provided in your submittal received 04-24-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

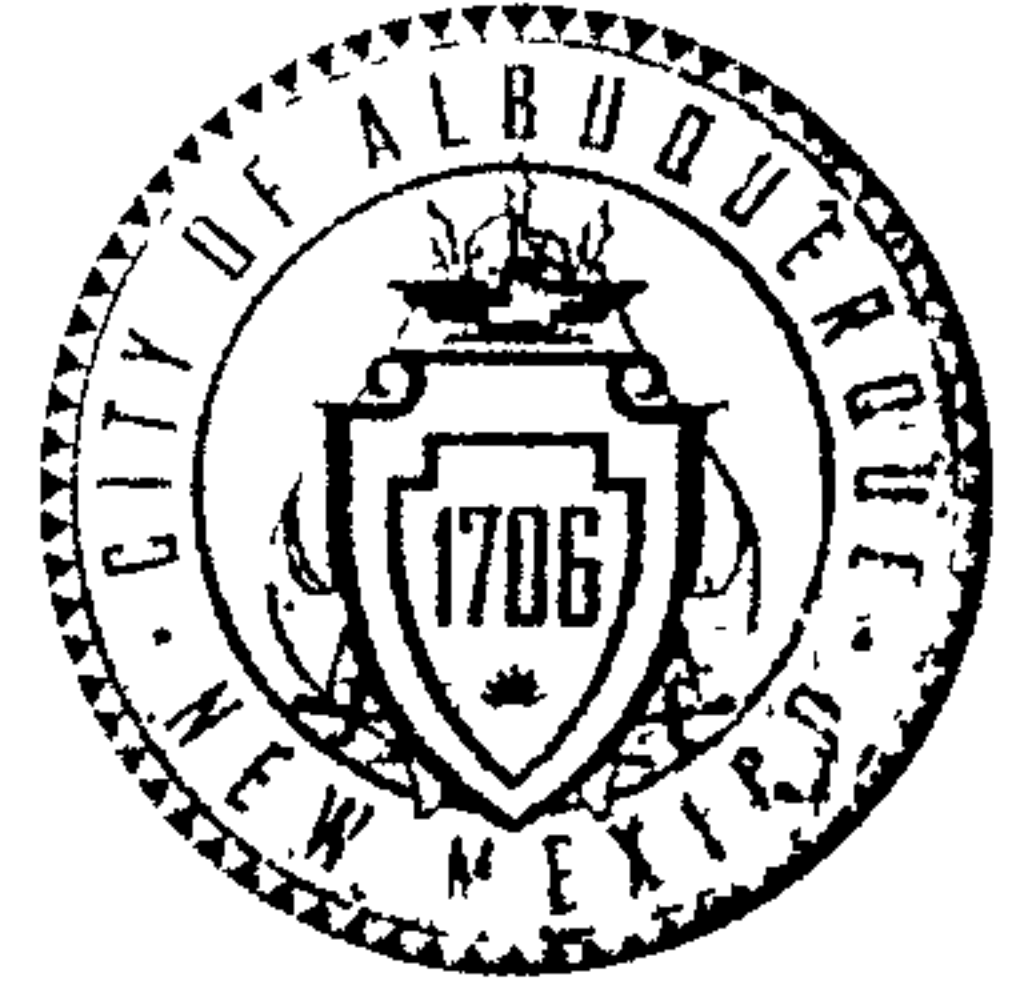
Albuquerque

NM 87103

www.cabq.gov

1. What is the address for Site? 1400 per Information Sheet? 1412 per Site Plan? Or both? Please clarify.
2. It appears you are proposing to build across lot lines and COA Row, please clarify.
3. Provide a legal description on Drainage Plan.
4. What is the direction of roof flow for existing and proposed buildings?
5. Provide all FF elevations for existing buildings.
6. Discuss and quantify all offsite flows from North, South, West and East (quantify flows on the ingress/egress easement) onto Site.
7. Explain why and provide the basin for the temporary ponding that will be released into Arno? As well as the calculations.
8. Provide the type of fencing around perimeter of property and explain if any impacts to historic flows.
9. Trash enclosure and loading docks: provide spot elevations to assure positive flows and details of the docks.
10. Identify the basins that will be discharging into the two entrances.
11. Calculations and details for the proposed weirs will be required. Why are you proposing weirs (control and release)?
12. Spot elevations will be needed for building and parcel segment adjacent to Broadway. Also at the two entrances (drivepads at Broadway and Arno) to the site.
13. Provide Benchmark (location, description, and elevation), Albuquerque control survey vertical datum and permanently marked temporary benchmark located on or very near site and pertinent elevations with NGVD29 designation (per DPM – Section 22).

CITY OF ALBUQUERQUE



14. Proposed Landscape buffer: Explain why you are water harvesting onto these buffers without an outfall? In addition, the covered wash area will compound the buffer ponding. Also, provide the design volume and contributing basin.

If you have any questions, please contact me at 924-3630.

Sincerely,

Milo E. Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

ABQ ENGINEERING, INC.

Engineers•Planners•Construction Services

6739 Academy Road NE, Suite 130

Albuquerque, New Mexico 87109

(505) 255-7802 Fax (505) 255-7902

TRANSMITTAL LETTER

TO: City of Albuquerque Development Services

ATTN: Brad Bingham

PROJECT: Pete's Equipment

DATE: 04-24-08

WE TRANSMIT:

☒ Herewith

☐ Under Separate Cover Via

☐ In Accordance With Your Request

FOR YOUR:

☒ Approval

☐ Distribution to parties

☐ Information

☐ Review

☐ Record Use

☐ Use

☐ Other _____

THE FOLLOWING:

☐ Drawings

☐ Shop Drawings Prints

☐ Photo Files

☐ Specifications

☐ Shop Drawing Reproducible

☐ Change Order

☒ Submittal

☐ Shop Drawing Marks

☐ See Description Below

DATE	QTY.	DESCRIPTION	ACTION CODE
04-24-08	1	Drainage and Transportation Information Sheet	A
04-24-08	1	Description Letter	A
04-24-08	1	Grading and Drainage Plan	A

ACTION CODE:

A. Action indicated on item transmitted

D. For signature and forwarding

B. No action required

E. See remarks below

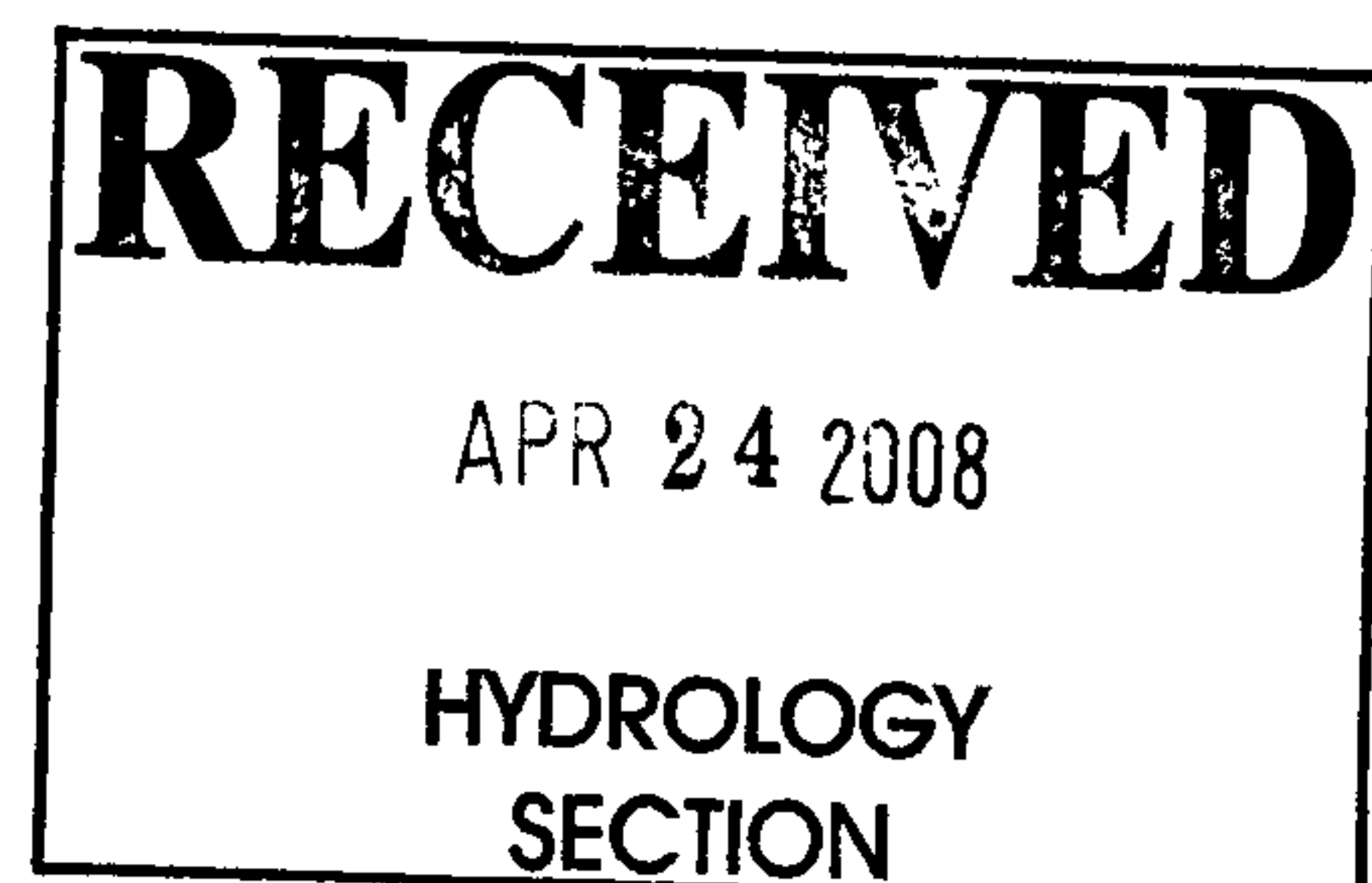
C. For signature and return

REMARKS:

Copies To: 28050

By: Dolores C. Montoya

Received By: S. Handley



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: PETE'S EQUIPMENT

DRB #: _____

EPC#: _____

ZONE MAP/DRG. FILE #: J-14 / D162

WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 6-17, BLOCK 1 & LOTS 6-13, BLOCK 2 OF SPRINGER TRANSFER CO.

CITY ADDRESS: 1400 BROADWAY BLVD. NE

ENGINEERING FIRM: ABQ Engineering, Inc

ADDRESS: 6739 Academy Road NE Suite 130

CITY, STATE: Albuquerque, NM

CONTACT: Martin J. Garcia

PHONE: 255-7802

ZIP CODE: 87109

OWNER: _____

ADDRESS: 1400 BROADWAY BLVD. NE

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

ARCHITECT: GREG ALLEGRETTI

ADDRESS: _____

CITY, STATE: _____

CONTACT: GREG ALLEGRETTI

PHONE: 986-9033

ZIP CODE: _____

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

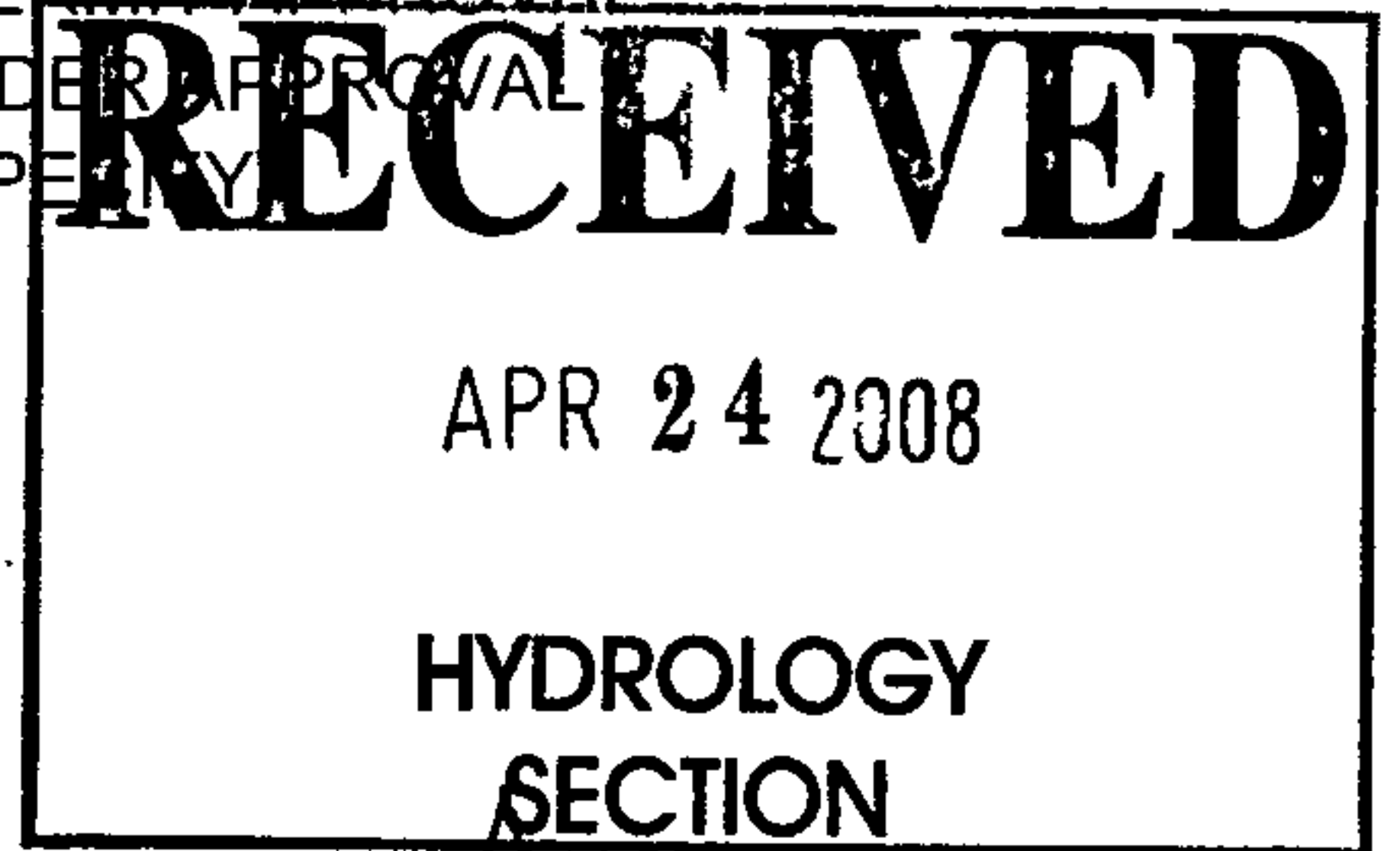
- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: April 24, 2008

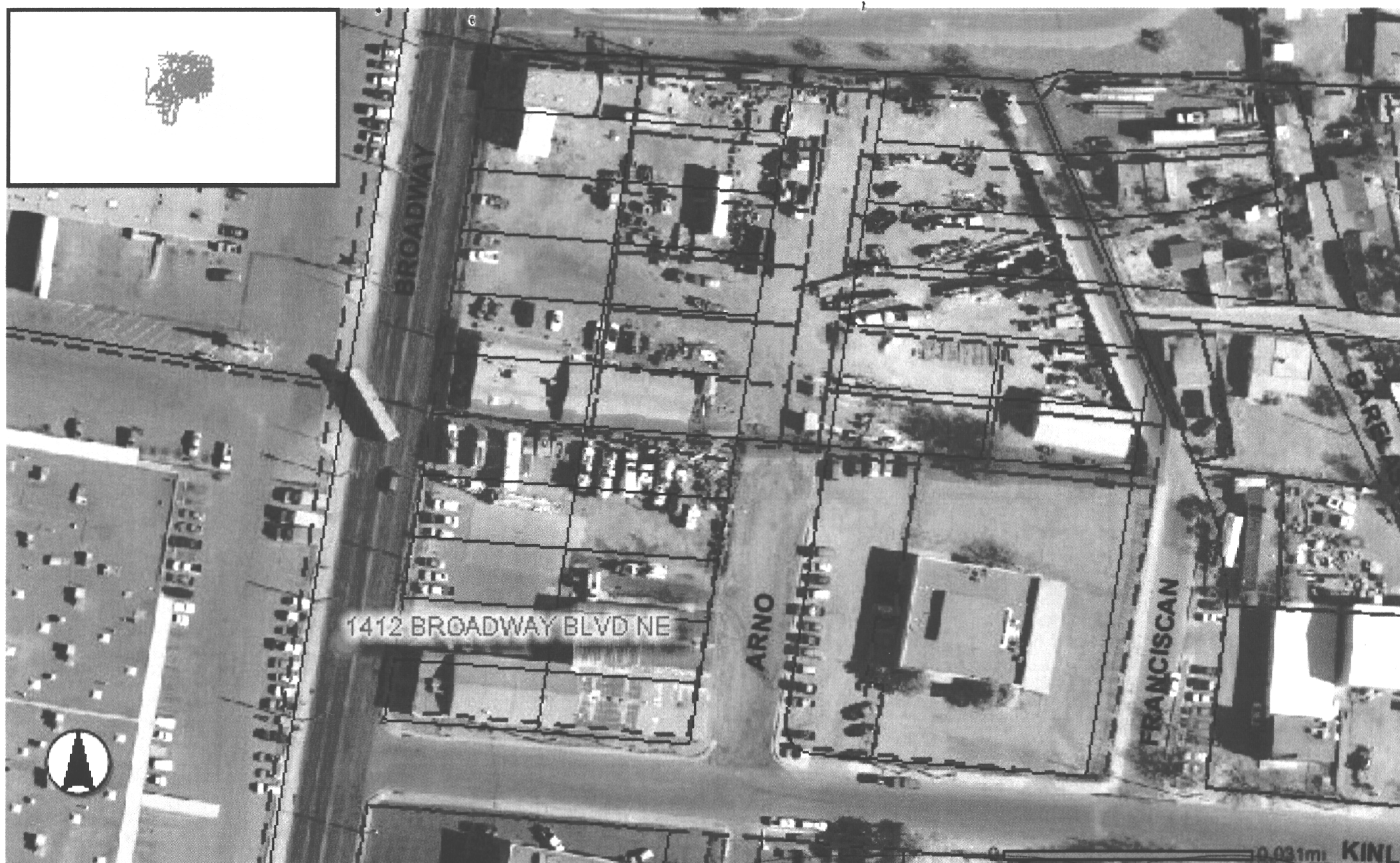
BY: Ashley Tanner

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



\$50.00



- per meeting with Martin
• Weir detail
provide wtr. surface elev.
for Basin A & Basin B
pondy

• clarify culverts
for A & B
because you have
2-diff proposed
existy

April 24, 2007

Mr. Brad Bingham
City of Albuquerque Development Services
600 2nd Street NW
Albuquerque, NM 87102

RE: Pete's Equipment

Mr. Bingham:

Enclosed is one copy of the Grading and Drainage Plan for Pete's Equipment for your review and approval. The site is located near the northeast corner of Kinley Avenue and Broadway Boulevard. Currently, the site is occupied by two permanent storage buildings and two portable storage units. The proposed grading project will reduce the amount of runoff from the site.

Please call me at 255-7802 if you have any questions or require additional information.

Sincerely,



Ashley Tanner
Martin J. Garcia, PE
ABQ Engineering, Inc.
28050

