

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

April 8, 2022

J. Graeme Means, P.E.  
High Mesa Consulting Group  
6010 B Midway Park Blvd NE  
Albuquerque, NM 87109

**RE: Rio Grande Credit Union - 4th Street  
1211 4th St NW  
Revised Grading and Drainage Plan  
Engineer's Stamp Date: 03/03/22  
Hydrology File: J14D163**

Dear Mr. Means:

PO Box 1293

Based upon the information provided in your submittal received 03/14/2022, the Revised Grading & Drainage Plan is approved for Grading Permit, Paving Permit, and SO-19 Permit. Once the grading and paving of the project is complete, please provide an as-built for the City's records since there is no CO attached to the project.

Albuquerque

NM 87103

Please provide the Drainage Covenant with Exhibit A for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the \$ 25.00 recording fee check made payable to Bernalillo County to Marion G. Velasquez ([mgvelasquez@cabq.gov](mailto:mgvelasquez@cabq.gov)) on the 4th floor of Plaza de Sol.

[www.cabq.gov](http://www.cabq.gov)

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ STREET LIGHT LAYOUT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

DRAINAGE CALCULATIONS:

I. SITE CHARACTERISTICS

A. PRECIPITATION ZONE =	2
B. $P_{200} =$	2.29 IN
C. TOTAL PROJECT AREA ( $A_T$ ) =	16,050 SF
	0.37 AC

D. LAND TREATMENTS

EXISTING LAND TREATMENT				DEVELOPED LAND TREATMENT			
PROJECT SITE		16,050	SF	PROJECT SITE		16,050	SF
		0.37	AC			0.37	AC
LAND TREATMENT	AREA (SF/AC)		%	LAND TREATMENT	AREA (SF/AC)		%
A				A			
B				B			
C	16,050	SF	100%	C	5,240	SF	33%
	0.37	AC			0.12	AC	
D				D	10,810	SF	67%
					0.25	AC	

HYDROLOGY

A. EXISTING CONDITION 100 YEAR STORM

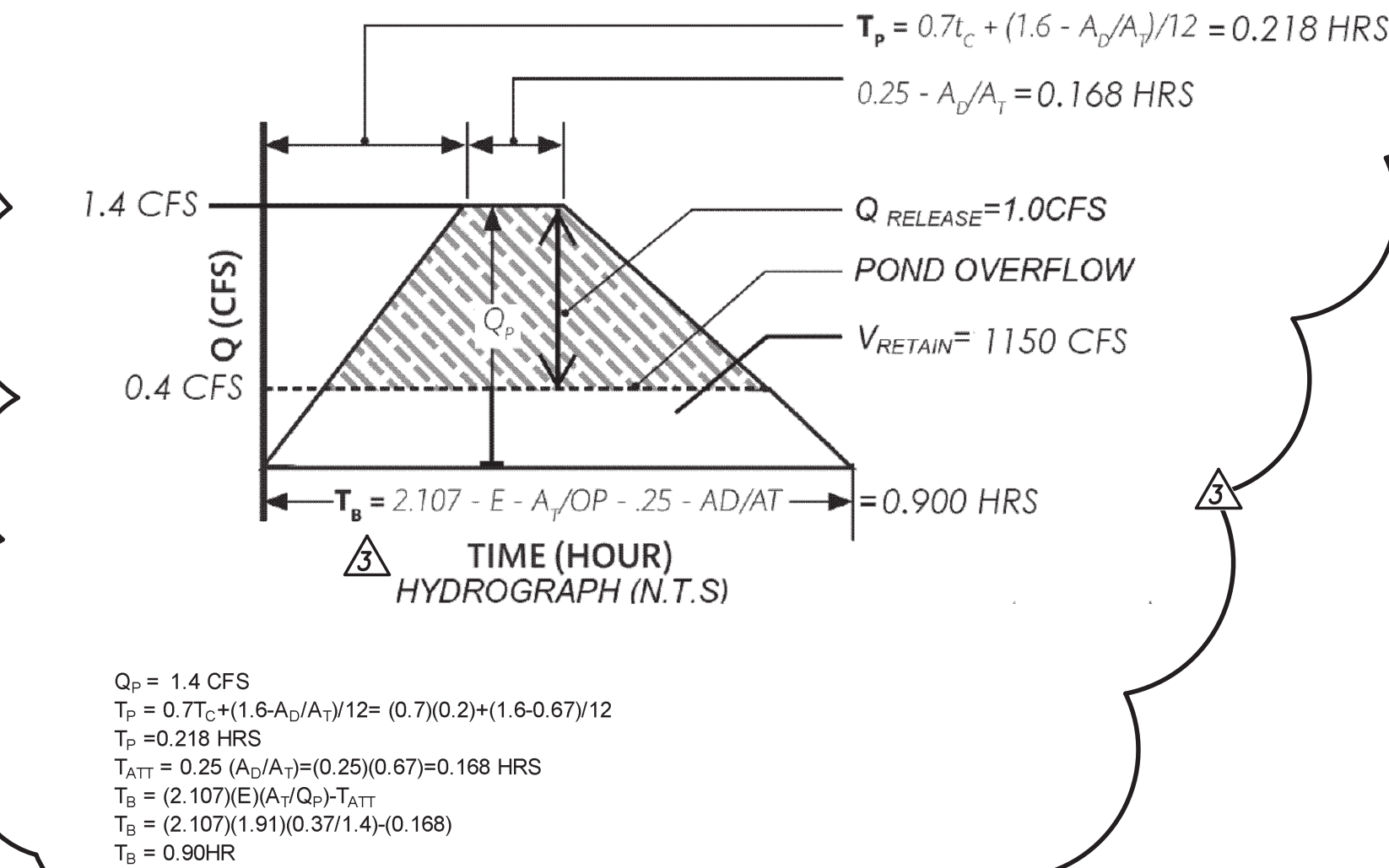
1. PROJECT SITE	
a. VOLUME 100-YR. 6-HR	
$WTe = (E_a \cdot A_A + E_B \cdot A_B + E_C \cdot A_C + E_D \cdot A_D) / A_T$	
$\Rightarrow (0.62 \cdot 0.00) + (0.80 \cdot 0.00) + (1.03 \cdot 0.37) + (2.33 \cdot 0.00) / 0.37 =$	1.03 IN
$V_{100,6\text{ HR}} = (E_w / 12) \cdot A_T \Rightarrow (1.03 / 12) \cdot 0.37 =$	1,380 CF
b. PEAK DISCHARGE 100-YR	
$Q_{100} = Q_A \cdot A_A + Q_B \cdot A_B + Q_C \cdot A_C + Q_D \cdot A_D$	
$\Rightarrow (1.71 \cdot 0.00) + (2.36 \cdot 0.00) + (3.05 \cdot 0.37) + (4.34 \cdot 0.00) =$	1.1 CFS

B. DEVELOPED CONDITION 100 YEAR STORM

1. PROJECT SITE	
a. VOLUME 100-YR. 6-HR	
$WTe = (E_a \cdot A_A + E_B \cdot A_B + E_C \cdot A_C + E_D \cdot A_D) / A_T$	
$\Rightarrow (0.62 \cdot 0.00) + (0.80 \cdot 0.00) + (1.03 \cdot 0.12) + (2.33 \cdot 0.25) / 0.37 =$	1.91 IN
$V_{100,6\text{ HR}} = (E_w / 12) \cdot A_T \Rightarrow (1.91 / 12) \cdot 0.37 =$	0.0586 AC-FT = 2,550 CF
b. STORM WATER QUALITY VOLUME	
$V_{SWQV} = ((P_{SWQV} / 12) \cdot A_D) \Rightarrow (0.42 / 12) \cdot (0.25) =$	0.0087 AC-FT = 380 CF
ON-SITE VOLUME PROVIDED = 1,150 CF (AVERAGE END AREA METHOD); VOLUME PROVIDED > VOLUME REQUIRED	
c. PEAK DISCHARGE 100-YR	
$Q_{100} = Q_A \cdot A_A + Q_B \cdot A_B + Q_C \cdot A_C + Q_D \cdot A_D$	
$\Rightarrow (1.71 \cdot 0.00) + (2.36 \cdot 0.00) + (3.05 \cdot 0.12) + (4.34 \cdot 0.25) =$	1.4 CFS

C. COMPARISON 100 YEAR STORM

1. PROJECT SITE	
a. VOLUME 100-YR. 6-HR	
$\Delta V_{PROJECT\ SITE(GROSS)} =$	2550 - 1380 = 1,170 CF (GROSS INCREASE)
$\Delta V_{PROJECT\ SITE(NET)} = \Delta V_{PROJECT\ SITE(GROSS)} - V_{SWQV,RET} = 1170 - 1150 =$	20 CF (NET INCREASE)
b. PEAK DISCHARGE 100-YR	
$\Delta Q_{100(GROSS)} =$	1.4 - 1.1 = 0.3 CFS (GROSS INCREASE)
$\Delta Q_{100(NET)} =$	1.0 - 1.1 = -0.1 CFS (NET DECREASE)



DRAINAGE CALCULATIONS:

I. INTRODUCTION AND EXECUTIVE SUMMARY

THE EXISTING SITE IS LOCATED NEAR THE NORTHWEST CORNER OF INTERSECTION OF 4<sup>TH</sup> STREET AND ROSEMONT AVE. THE SITE IS BOUNDED BY ON THE NORTH BY AN UNPAVED ALLEY, 4<sup>TH</sup> STREET TO THE EAST, 5<sup>TH</sup> STREET TO THE WEST, AND ROSEMONT AVE TO THE SOUTH. THE SITE IS OWNED BY THE RIO GRANDE CREDIT UNION AND DEVELOPED AS A BANK BRANCH WITH SURROUNDING SITEWORK, PAVED PARKING AND LANDSCAPING IMPROVEMENTS ON THE EAST HALF OF THE SITE. THE WEST HALF OF THE SITE IS AN UNDEVELOPED LOT. THIS SUBMITTAL SUPPORTS THE DEVELOPMENT OF A NEW PAVED PARKING AREA TO BE CONSTRUCTED ON THE WESTERN UNDEVELOPED PORTION OF THE SITE WITH ACCESS TO THE EASTERN DEVELOPED PORTION OF THE SITE. ON THE EAST SIDE OF THE SITE, A NEW ATM DRIVE THRU LANE WILL BE ADDED TO THEIR EXISTING DRIVE THRU LANE.

THE PROPOSED DRAINAGE CONCEPT FOR THE DEVELOPED SITE IS TO MAINTAIN EXISTING DRAINAGE CONDITION OF THE SITE WHICH IS FREE DISCHARGE TO ADJACENT PUBLIC STREETS. THE SITE WILL MINIMIZE THE INCREASE IN DISCHARGE BY ROUTING RUNOFF THROUGH DEPRESSED LANDSCAPING AND OVERFLOWING INTO A NEW SIDEWALK CULVERT THAT DISCHARGES INTO 5<sup>TH</sup> STREET. THE STORMWATER QUALITY VOLUME WILL BE RETAINED BELOW THE SIDEWALK CULVERT OVERFLOW.

THIS SUBMITTAL IS MADE IN SUPPORT OF GRADING PLAN AND SO#19 PERMIT APPROVALS.

II. PROJECT DESCRIPTION

AS SHOWN BY THE VICINITY MAP (ZONE ATLAS PAGE J-14) HEREON, THE SITE IS LOCATED IN THE DOWNTOWN AREA OF THE CITY OF ALBUQUERQUE. THE CURRENT LEGAL DESCRIPTION OF THE SITE IS LOTS 1-A AND 12-A, ROMERO ADDITION, ALBUQUERQUE, NEW MEXICO. AS SHOWN BY PANEL 332 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, THIS SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE.

III. BACKGROUND DOCUMENTS & RESEARCH

THE FOLLOWING BACKGROUND DOCUMENTS WERE REVIEWED IN THE PREPARATION OF THIS SUBMITTAL:

A. GRADING AND DRAINAGE STUDY FOR RIO GRANDE CREDIT UNION DOWNTOWN BRANCH, DATED 01-16-09, PREPARED BY HIGH MESA CONSULTING GROUP (NMPE 13676). THE DRAINAGE PLAN FOLLOWED THE DRAINAGE CONCEPT OF FREE DISCHARGE TO THE SURROUNDING STREETS AND IDENTIFIED THE DETERMINATION BY CITY HYDROLOGY THAT THE SITE IS "AN OLDER SITE IN AN INFILL AREA WITH NO ADJACENT FLOODPLAIN AND NO EXISTING STORM DRAIN. AS SUCH, CONTINUED FREE DISCHARGE WAS APPROPRIATE AND ELEVATING THE SITE TO ACHIEVE POSITIVE SURFACE DRAINAGE TO OUT TO THE PUBLIC STREETS WAS RECOMMENDED."

B. BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 11184, DATED 11-03-2020 THIS REFERENCED DOCUMENT PROVIDES A DIGITAL ORTHOPHOTO, BOUNDARY, CONTOUR, AND UTILITY INFORMATION AND THE BASIS FOR THE EXISTING CONDITIONS OF THE SITE TO BE DEVELOPED AS DESCRIBED BY THE FOLLOWING.

IV. EXISTING CONDITIONS

AS SHOWN BY THE GRADING PLAN ON SHEET C-101, THE PROPOSED PROJECT SITE IS UNDEVELOPED AND IS SLIGHTLY ELEVATED TOWARDS THE CENTER OF THE SITE AND GENERALLY SLOPES TOWARDS THE PERIMETER. RUNOFF FROM THE SITE WOULD EVENTUALLY OVERFLOW INTO THE SURROUNDING STREET AND UNPAVED ALLEY IN A LARGE ENOUGH EVENT FREELY. THE ADJACENT STREETS DO NOT HAVE A STORM DRAIN.

THERE ARE NO OFFSITE FLOWS AFFECTING THIS SITE.

THE EXISTING ALLEY DIRECTLY NORTH OF THE SITE IS UNPAVED AND COLLECTS RUNOFF FROM THE INTERSECTING PAVED ALLEY TO THE NORTH AND A PORTION OF THE EXISTING SITES THAT LIE DIRECTLY ADJACENT TO IT. THERE IS LITTLE TO NO POSITIVE DRAINAGE WITHIN THE ALLEY AND A COLLECTION OF LOW SPOTS THAT EVENTUALLY OVERFLOW TO THE PUBLIC STREETS.

THERE ARE OFFSITE FLOWS FROM THE NORTH AFFECTING THE ALLEY THAT WILL BE ACCEPTED AND CONVEYED.

V. DEVELOPED CONDITIONS

THE PROPOSED WEST PROJECT SITE WILL BE DEVELOPED INTO A NEW PARKING AREA WITH NEW CURB AND GUTTER, PAVING, STRIPING AND SURROUNDING LANDSCAPING. ACCESS TO THIS AREA WILL BE PROVIDED BY THE EXISTING ENTRANCES LOCATED ON ROSEMONT AVE AND 4TH STREET. THE NEW SITE WILL CONTAIN A HIGH POINT RUNNING EAST TO WEST CAUSING RUNOFF TO DRAIN NORTH OR SOUTH TOWARDS THE NORTHWEST AND SOUTHWEST CORNERS OF THE SITE. TWO NEW DEPRESSED LANDSCAPING AREAS WILL BE LOCATED IN THESE AREAS TO COLLECT AND RETAIN RUNOFF. THE NEW DEPRESSION ARE SIZED TO HOLD THE STORMWATER QUALITY RUNOFF AND MINIMIZE THE INCREASE IN RUNOFF FROM THE SITE TO MAXIMUM EXTENT POSSIBLE. THE TWO DEPRESSED AREAS WILL OVERFLOW TO A NEW SIDEWALK CULVERT, LOCATED ON THE WEST EDGE OF THE SITE THAT WILL FREELY DISCHARGE INTO 5<sup>TH</sup> STREET.

THE NEW WEST DEVELOPMENT AREA WILL GENERATE A STORMWATER QUALITY VOLUME OF 380 CF. THE NEW STORMWATER QUALITY DEPRESSIONS WILL PROVIDE A VOLUME OF 1150 CF WHICH IS EXCEEDS THE REQUIRED STORMWATER QUALITY VOLUME.

ON THE EAST SIDE OF SITE, A NEW ATM DRIVE THRU LANE WILL BE ADDED TO THE EXISTING DRIVE THRU LANES THAT EXIT TO ROSEMONT AVE ON THE SOUTH EDGE OF THE SITE. THE NEW LANE WILL REQUIRE THE EXISTING EXIT TO BE RECONSTRUCTED AS A NEW DRIVEPAD. THIS PORTION OF THE SITE WILL STILL DRAIN TOWARDS A LOW SPOT IN PAVING AND INTO EXISTING DEPRESSED LANDSCAPING. THE EXISTING CULVERT THAT ACTS AS AN OVERFLOW FOR THIS LANDSCAPING WILL REMAIN UNDISTURBED.

THERE WILL CONTINUE TO BE NO OFFSITE FLOWS AFFECTING THIS SITE

VI. GRADING PLAN

THE GRADING PLAN SHOWS 1) EXISTING GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1 FT INTERVALS AS TAKEN FROM THE 2020 HMCQ SURVEY (REF. B); 2) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS AS TAKEN FROM THE REFERENCED HMCQ 2020 SURVEY; 3) THE LIMITS OF THE PROPOSED IMPROVEMENTS AS GENERALLY DESCRIBED BY THE PRECEDING DEVELOPED CONDITIONS SECTION; 4) PROPOSED GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1 FT INTERVALS; AND 5) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES

VII. CALCULATIONS

THE CALCULATIONS SUMMARIZED HEREON ANALYZE THE REDEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT FOR THE PROJECT SITE. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE LATEST SECTION OF HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, CHAPTER 6, SECTION 2(A)(6) HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. AS DEMONSTRATED, BY THE CALCULATIONS, A GROSS INCREASE IN RUNOFF AND DISCHARGE WILL BE OBSERVED DUE TO THE INCREASE IN IMPERVIOUS AREA THAT WILL BE OFFSET TO RESULT IN NEGLIGIBLE CHANGES BY THE STORMWATER QUALITY PONDING.

VIII. CONCLUSIONS

THE FOLLOWING CONCLUSIONS HAVE BEEN ESTABLISHED AS A RESULT OF THE EVALUATIONS AND ANALYSES CONTAINED HEREIN:

- THE PROPOSED IMPROVEMENTS REPRESENT MODIFICATIONS TO AN EXISTING SITE WITHIN AN INFILL AREA
- THE SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE, OR DISCHARGE TO A DESIGNATED FLOOD HAZARD ZONE.
- THERE IS NO ADVERSE IMPACT ON ADJACENT OR DOWNSTREAM FLOOD ZONES.
- THERE WILL BE AN INCREASE IN DEVELOPED RUNOFF GENERATED BY THE PROPOSED IMPROVEMENTS THAT WILL BE MITIGATED BY THE NEW STORM WATER QUALITY PONDING.
- THE EXISTING DRAINAGE PATTERN (STATUS QUO) WILL NOT BE ALTERED AND HENCE MAINTAINED
- THE FIRST FLUSH RUNOFF GENERATED BY THE PROPOSED DEVELOPMENT AREA SHOWN IN THIS PLAN WILL BE RETAINED.

APWA UTILITY COLOR CODE

RED — ELECTRIC POWER LINES, CABLES, CONDUIT AND LIGHTING CABLES	— E — — — — E — — — — E — — — —
YELLOW — GAS, OIL, STEAM, PETROLEUM OR GASEOUS MATERIALS	— G — — — — G — — — — G — — — —
ORANGE — COMMUNICATION, ALARM OR SIGNAL LINES, CABLES OR CONDUIT	— C — — — — C — — — — C — — — —
ORANGE — COMMUNICATION, FIBER OPTIC LINES	— FO — — — — FO — — — — FO — — — —
BLUE — POTABLE WATER	— W — — — — W — — — — W — — — —
BLUE — WATER FROM RECORD DWG	— W FRD — — — — W FRD — — — —
GREEN LINES — SANITARY SEWER AND DRAIN LINES	— SAS — — — — SAS — — — — SAS — — — —
GREEN DWG — SANITARY SEWER FROM RECORD DWG	— SAS FRD — — — — SAS FRD — — — —

INDEX OF DRAWINGS

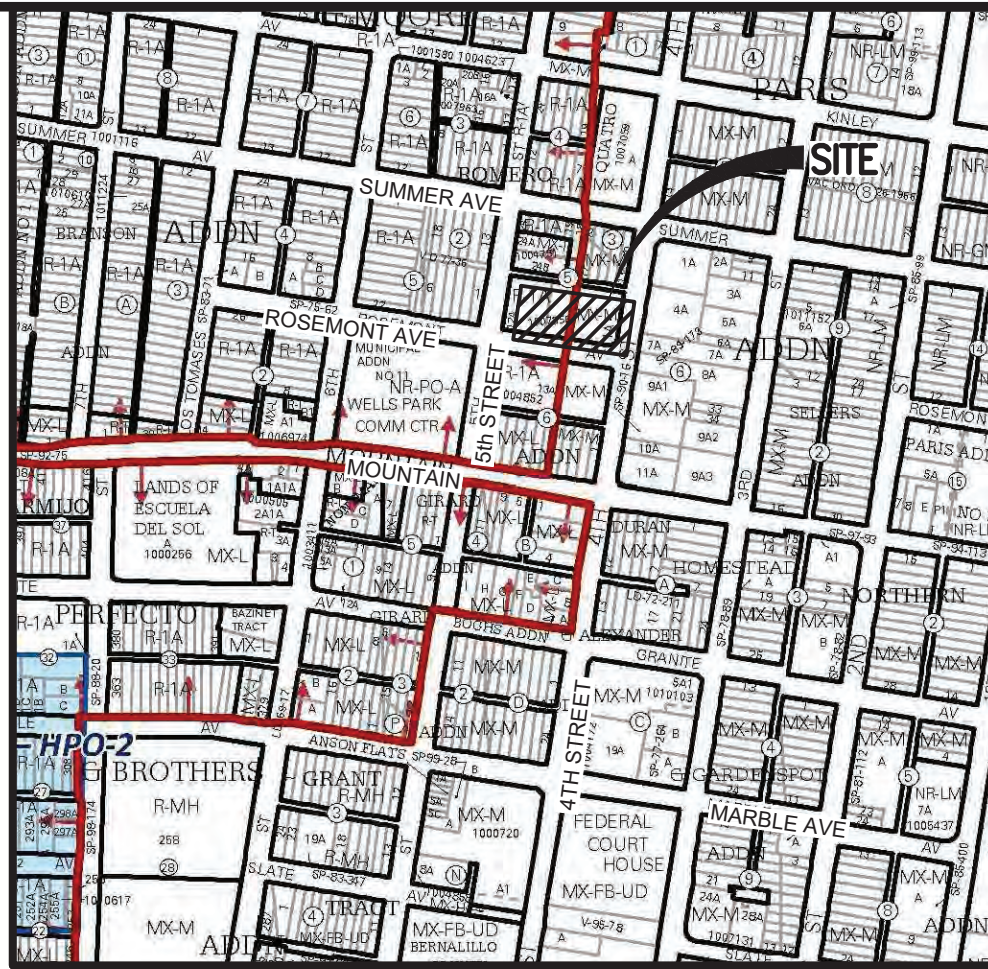
SHEET	DESCRIPTION
C-001	COVER SHEET, VICINITY MAP, LEGEND AND INDEX OF DRAWINGS
VF-101	BOUNDARY SURVEY
VF-102	TOPOGRAPHIC AND UTILITY SURVEY
C-101	GRADING PLAN
<del>C-102</del>	<del>TRAFFIC CIRCULATION STUDY</del>
C-501	GRADING AND PAVING SECTIONS AND DETAILS

GENERAL NOTES:

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR APPROVED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS-PUBLIC WORKS CONSTRUCTION-1986-UPDATE NO. 10.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING PUBLIC UTILITIES.
- UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE TOPOGRAPHIC AND UTILITY SURVEY CONDUCTED BY THIS FIRM DATED 11/03/2020 AND INCLUDED AS SHEET VF-101 & VF-102 OF THIS PLAN SET. THAT UTILITY SURVEY AND SUBSURFACE UTILITY ENGINEERING EFFORT IS NOT ALL-INCLUSIVE AND MAY NOT REPRESENT UTILITIES/INFRASTRUCTURE THAT HAVE BEEN ABANDONED-IN-PLACE, WERE INACCESSIBLE, OR OTHERWISE UNDETECTABLE DUE TO UNFORESEEN AND UNCONTROLLABLE SITE AND/OR UTILITY CONDITIONS. FURTHER, THAT UTILITY INVESTIGATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION PLAN FACILITIES THEREFORE MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, NEW MEXICO EXCAVATION LAWS (NME11), MUNICIPAL AND LOCAL ORDINANCES, SITE SPECIFIC RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE UTILITY LINES AND FACILITIES.
- SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH.
- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE OR PER COA STANDARD DRAWING 2465, WHICHEVER IS MORE STRINGENT.
- TACK COAT REQUIREMENTS SHALL BE DETERMINED DURING CONSTRUCTION BY THE PROJECT ENGINEER.
- SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- IF CURB IS DEPRESSED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF UTILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [http://www.abcwua.org/Water\\_Shut\\_off\\_and\\_Turn\\_on\\_Procedures.aspx](http://www.abcwua.org/Water_Shut_off_and_Turn_on_Procedures.aspx).
- CONTRACTOR SHALL NOTIFY THE CITY SURVEYOR NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DAMAGED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE SPECIFICATIONS.
- SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. CONTRACTOR MUST REFER TO SECTION 19 OF THE STANDARD SPECIFICATION FOR TRAFFIC CONTROL.
- TWO WEEKS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHOULD NOTIFY THE TRANSIT DEPARTMENT OF ANY IMPACT THE PROPOSED PROJECT WILL HAVE ON THE TRANSIT SYSTEM SUCH AS CAUSING DETOUR, OR CAUSE THE CLOSING OR RELOCATION OF A BUS STOP. THE CONTACT PERSON IS DOUGLAS COFF, OFFICE PHONE 505-724-3137, CELL PHONE 505-206-0151, AND EMAIL [DCOFF@CABQ.GOV](mailto:DCOFF@CABQ.GOV).
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED STRIPING BY CONTRACTOR TO EXISTING LOCATION OR AS INDICATED BY THIS PLAN SET.
- CAUTION: THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926, SUBPART P-EXCAVATIONS
- ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY MAY REQUIRE TWENTY-FOUR HOUR CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- WHEN APPLICABLE, CONTRACTOR SHALL, ON BEHALF OF THE OWNER AND OPERATORS, SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE.
- ALL FILL SHALL BE CLEAN, FREE FROM VEGETATION, DEBRIS, AND OTHER DELETERIOUS MATERIALS, AND SHALL NOT BE CONTAMINATED WITH HYDROCARBONS OR OTHER CHEMICAL CONTAMINANTS.
- CONTRACTOR SHALL REFER TO GEOTECHNICAL REPORT FOR EARTHWORK REQUIREMENTS, AS APPLICABLE.
- CONTRACTOR SHALL TEST ASPHALT PAVEMENT SUBGRADE R-VALUE PRIOR TO CONSTRUCTION. IN THE EVENT THE R-VALUE IS LESS THAN 50, CONTRACTOR SHALL REMOVE 2 FT. OF SUBGRADE MATERIAL AND IMPORT SUITABLE MATERIAL WITH R-VALUE 50 OR GREATER.

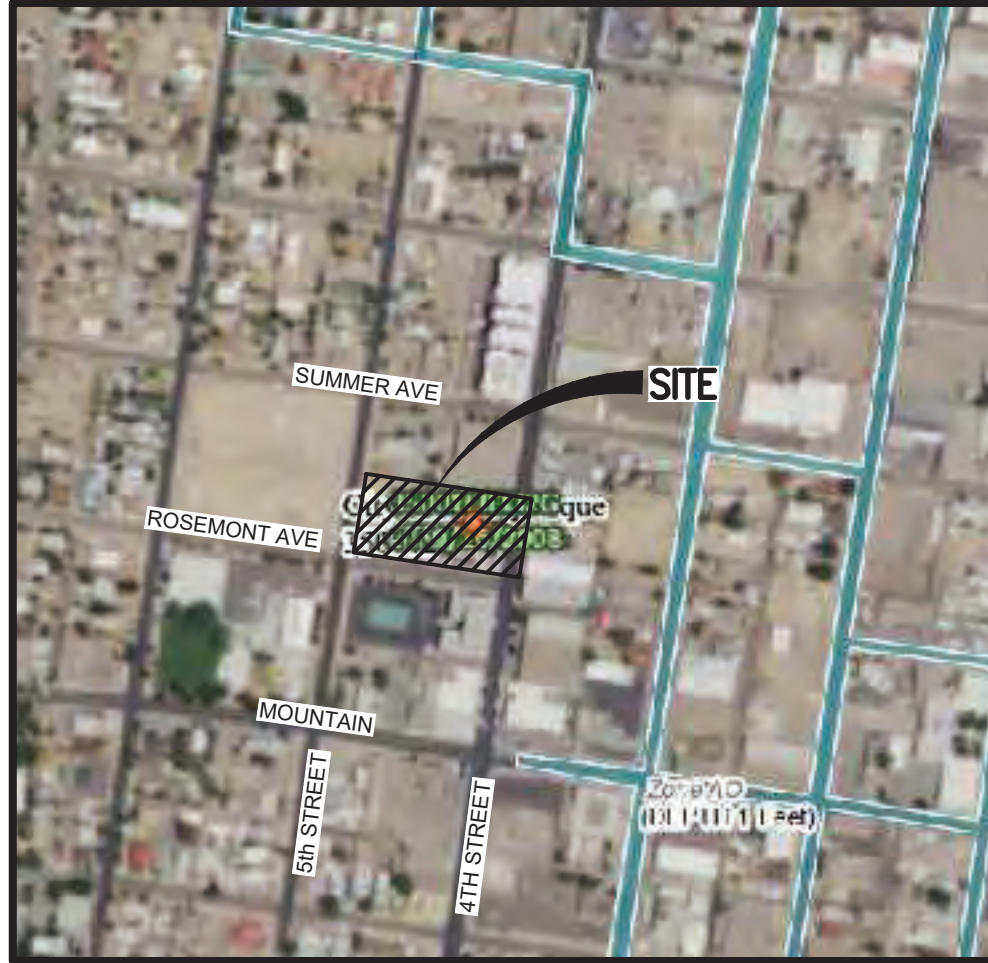
LEGEND

AR ASPH	ASPHALT RAMP	COMM CONDUIT
ATM	ASPHALT PAVEMENT	COMM MH
BOH	AUTOMATED TELLER MACHINE	COMM PULLBOX
BIKE	BUILDING OVERHANG	COMM POLE
C	BIKE RACK	COMM RISER
C&G	COMMUNICATION	ELEC CONDUIT
CC	CURB AND GUTTER	ELEC JUNCTION BOX
CCD	CONCRETE CURB	ELEC METER
CDP	CONCRETE DRIVE PAD	ELEC PULLBOX
CMU	CONCRETE MASONRY UNIT	SILT FENCE
CONC	WALL	GATEPOST
DBL	CONCRETE	GAS PRESSURE REGULATOR
EC	DOUBLE	WOODEN POWER POLE
FL	EDGE OF CONCRETE	GUY WIRE ANCHOR
GP	FLOWLINE	SAS SINGLE CO
GRV	METAL GUARD POST	SAS MANHOLE
OHC(2)	GRAVEL	ROOF DRAIN
OHE(2)	OVERHEAD COMMUNICATION (# OF LINES)	METAL SIGN GENERAL
PS	OVERHEAD ELECTRIC (# OF LINES)	WL HOT BOX
RWS	PARKING STRIPE	WATER METER BOX
SAS	ROW OF WHEEL STOPS	WATER VALVE BOX
STP	SANITARY SEWER	DECIDUOUS TREE AND DIAMETER
STW	STEEL POLE	SMALL DECIDUOUS TREE
TA	STUCCO WALL	SHRUB
TC	TOP OF ASPHALT	SMALL SHRUB
TCO	TOP OF CURB	
TYP	TOP OF CONCRETE	
VG	TYPICAL	
WCR	VALLEY GUTTER	
WIF	WHEELCHAIR RAMP	
	WROUGHT IRON FENCE	



VICINITY MAP

SCALE: 1" = 500'



FIRM

SCALE: 1" = 500'

PANEL 332 OF 825

ZONING

MX-M	(LOT 1-A)
MX-T	(LOT 12-A)

LEGAL DESCRIPTION:

LOTS 1-A AND 12-A, BLOCK 5, ROMERO ADDITION, ALBUQUERQUE, NEW MEXICO

TEMPORARY BENCHMARK #201 (T.B.M.)

A MAG NAIL W/WASHER, SET IN CONCRETE CURB JOINT AT THE SOUTHWEST QUADRANT OF 5th ST AND ROSEMONT AVE, NEAR THE SOUTHWEST CORNER OF THE PROJECT SITE, AS SHOWN ON THIS SHEET.  
ELEVATION = 4960.52 FEET (NAVD 1988)

TEMPORARY BENCHMARK #202 (T.B.M.)

A MAG NAIL W/WASHER, SET IN CONCRETE CURB JOINT ON THE WEST SIDE OF 5th ST NEAR THE NORTHWEST CORNER OF THE PROJECT SITE, AS SHOWN ON THIS SHEET.  
ELEVATION = 4960.84 FEET (NAVD 1988)

TEMPORARY BENCHMARK #203 (T.B.M.)

A SCRIBED "+" IN CONCRETE SIDEWALK NEAR THE EMPLOYEE ENTRANCE ON THE NORTH SIDE OF THE BUILDING, AS SHOWN ON THIS SHEET.  
ELEVATION = 4960.90 FEET (NAVD 1988)

TEMPORARY BENCHMARK #204 (T.B.M.)

A MAG NAIL, SET IN CONCRETE JOINT ON THE EAST SIDE OF 4th ST NEAR THE NORTHEAST CORNER OF THE PROJECT SITE, AS SHOWN ON THIS SHEET.  
ELEVATION = 4959.87 FEET (NAVD 1988)

TEMPORARY BENCHMARK #205 (T.B.M.)

A MAG NAIL W/WASHER, SET IN CONCRETE CURB JOINT AT THE SOUTHWEST QUADRANT OF 4th ST AND ROSEMONT AVE, NEAR THE SOUTHEAST CORNER OF THE PROJECT SITE, AS SHOWN ON THIS SHEET.  
ELEVATION = 4959.51 FEET (NAVD 1988)



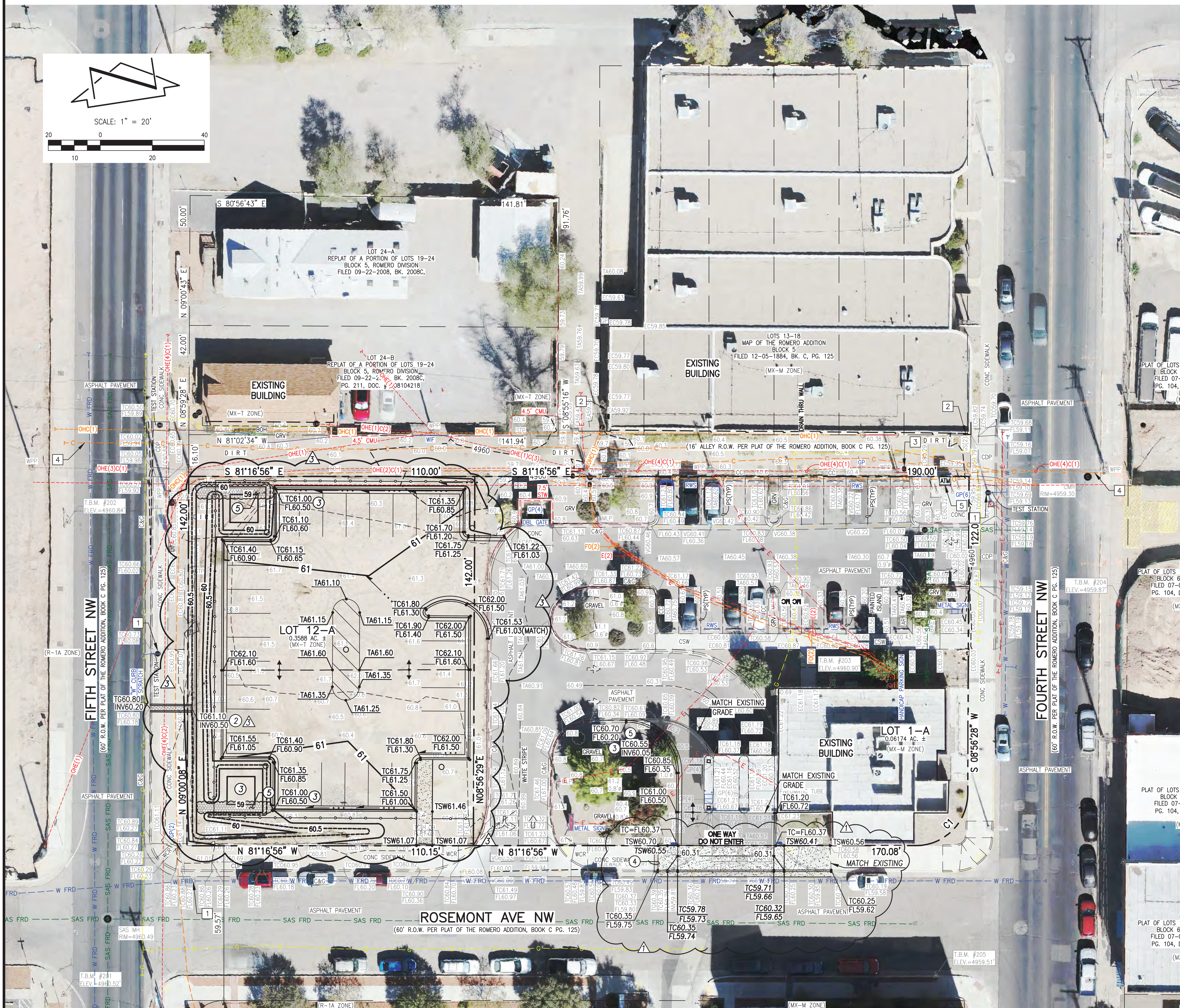
03-03-2022

03-15-2021

08-04-2021

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
R.J.C.	08/21	G.M.	CITY COMMENTS	2020.044.3
J.Y.R.	09/21	G.M.	NO CHANGES THIS SHEET	DATE
G.M.	03/22	G.M.	REVISED PARKING LOT LAYOUT AND CALCULATIONS	03-2021
				SHEET
				C-001

File Name: P:\data\2020\2020.044-7\ENG\2020447-Design\Bases-RCGM.dwg - C-101-R3 Plot Date: 3/23/22 Plot Time: 09:20



#### KEYED NOTES:

1. NEW DEPRESSED LANDSCAPING PER WATER QUALITY
2. CONSTRUCT NEW SIDEWALK CULVERT PER COA STD DWG 2236
3. NEW CURB CUT PER TYPICAL SECTION, SHEET C-501
4. EXISTING SIDEWALK CULVERT TO REMAIN
5. MORTARED RUNDOWN PER TYPICAL SECTION, SHEET C-501

#### SO/19 NOTES:

1. BUILD SIDEWALK CULVERT PER COA STD DWG 2236.
2. CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
3. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
4. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
5. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
7. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
8. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
9. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
10. CONTRACTOR MUST CONTACT STORM DRAIN MAINTENANCE AT (505)857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

#### CONSTRUCTION NOTES:

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE TOPOGRAPHIC AND UTILITY SURVEY CONDUCTED BY THIS FIRM DATED 11/03/2020 AND INCLUDED AS SHEET VF-102 OF THIS PLAN SET. UTILITY LINES THAT APPEAR ON THESE DRAWINGS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.
7. THE GRADES INDICATED ON THIS PLAN ARE FINISHED GRADES UNLESS OTHERWISE INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING SUBGRADE AT ELEVATIONS THAT SHALL ACCOMMODATE PROPOSED IMPROVEMENTS AS INDICATED ON THE PLANS INCLUDING, BUT NOT LIMITED TO, SURFACE DRAINAGE STRUCTURES, PAVING AND LANDSCAPING SURFACING.

#### TEMPORARY BENCHMARK #201 (T.B.M.)

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ELEVATION = 4960.52 FEET (NAVD 1988)

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ELEVATION = 4959.51 FEET (NAVD 1988)

#### SUBSURFACE UTILITY KEY NOTES

1. WATER LINE WAS NOT DETECTABLE FROM METER/VALVE AT POINT INDICATED ON DIAGRAM. DESIGNATION IS INCOMPLETE.
2. GAS LINE WAS NOT DETECTABLE FROM METER AT POINT INDICATED ON DIAGRAM. DESIGNATION IS INCOMPLETE.
3. STANDALONE UNARMORED FIBER OPTIC LINE IN VAULT AT POINT INDICATED ON DIAGRAM. PATHWAY AND DESTINATION IS UNKNOWN.
4. PUBLICLY-OWNED COMMUNICATION LINES DESIGNATED BY OWNER.
5. THE LOCATIONS OF ELECTRIC AND COMMUNICATION LINES TO ATM COULD NOT BE DETERMINED.



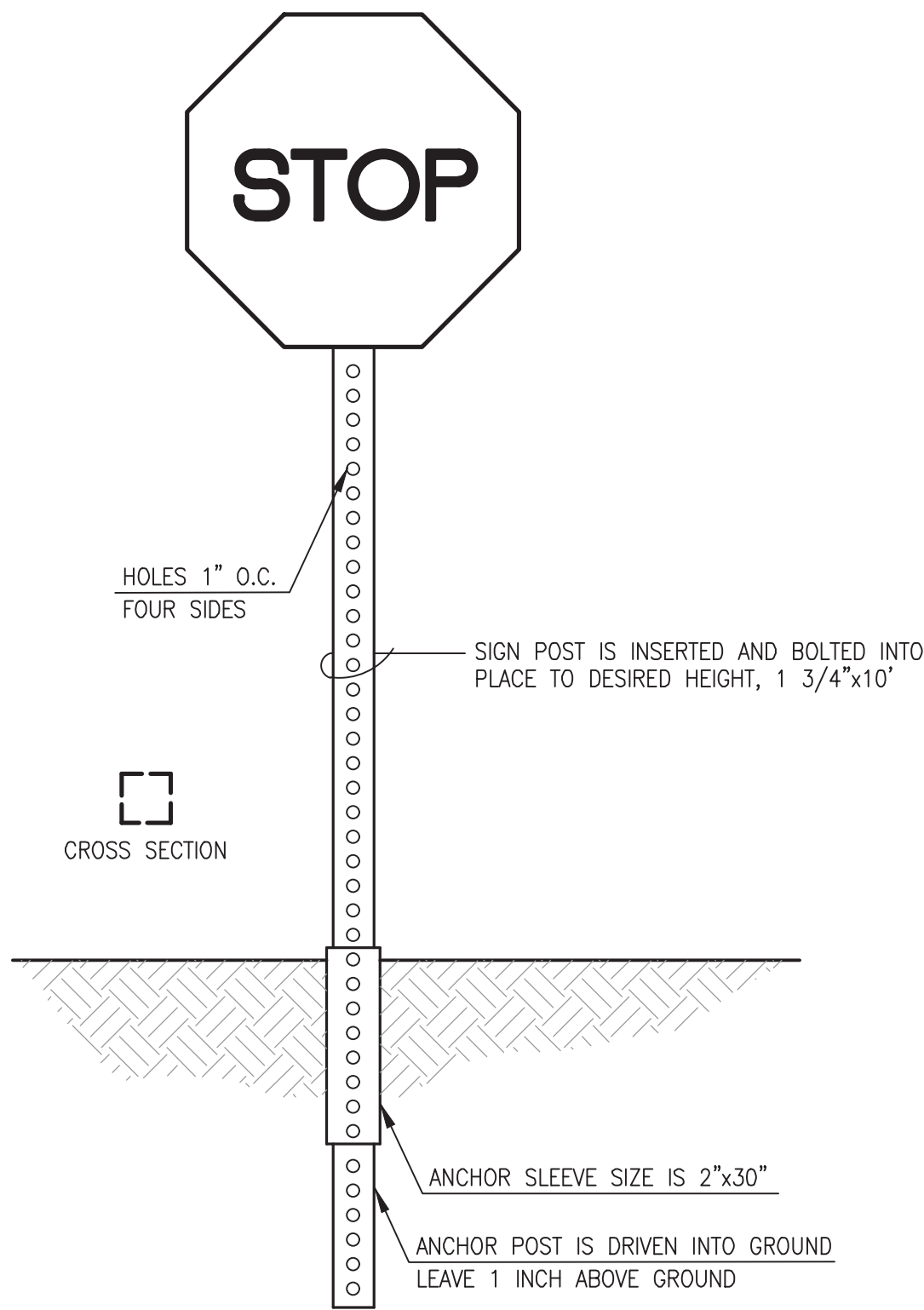
03-03-2022 03-15-2021 08-04-2021

**HIGH MESA Consulting Group**  
6010-B Midway Park Blvd. NE • Albuquerque, New Mexico 87109  
Phone: 505.345.4250 • Fax: 505.345.4254 • www.highmesacg.com

## GRADING PLAN RIO GRANDE CREDIT UNION

DESIGNED BY				NO.				DATE				BY				REVISIONS				JOB NO.			
R.J.C.				08/21				G.M.				CITY COMMENTS				2020.044.3				DATE			
J.Y.R.				09/21				G.M.				NO CHANGES THIS SHEET				03-2021				SHEET			
G.M.				03/22				G.M.				REVISED PARKING LOT LAYOUT				C-101							

File Name: P:\data\2020\2020\044\7\ENG\20447\_Design\Bases-R&G\Bases-R&G.dwg - C-501 - R3 Plot Date: 3/3/22 Plot Time: 09:23



**TYPICAL SIGN AND POST DETAIL**  
NOT TO SCALE

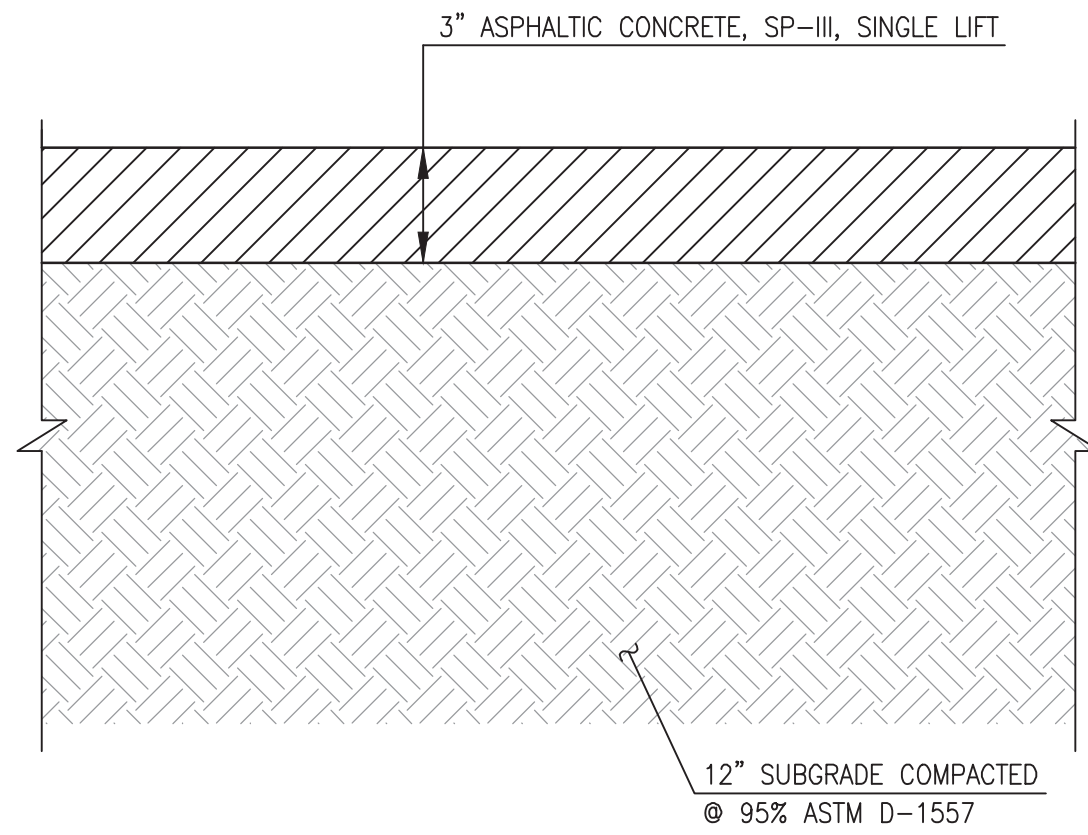


R6-2A 24"x18"  
(FACING SOUTH)



R1-1 24"x24"  
(FACING NORTH)

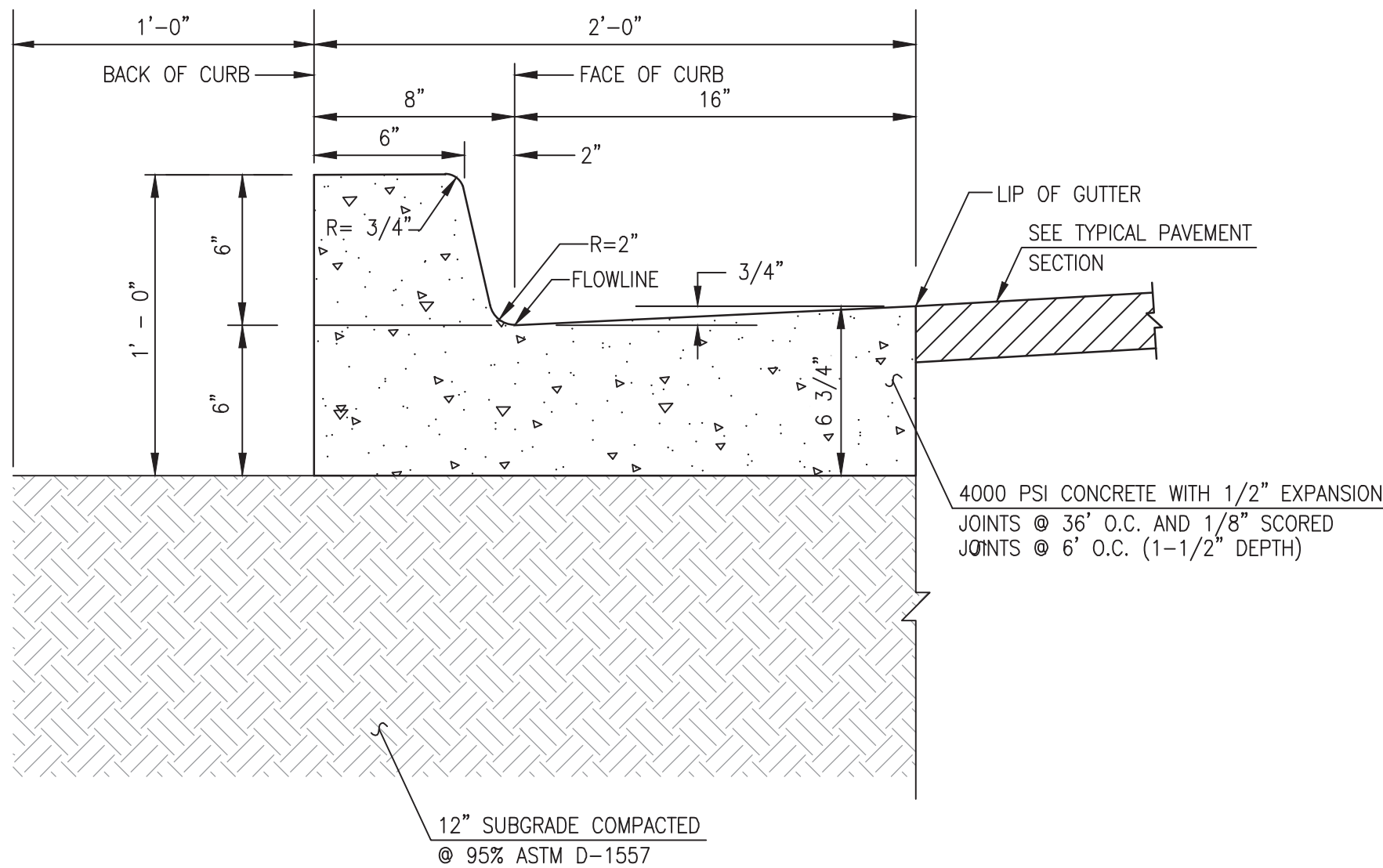
**TYPICAL SIGNS**  
SCALE: 1" = 1'



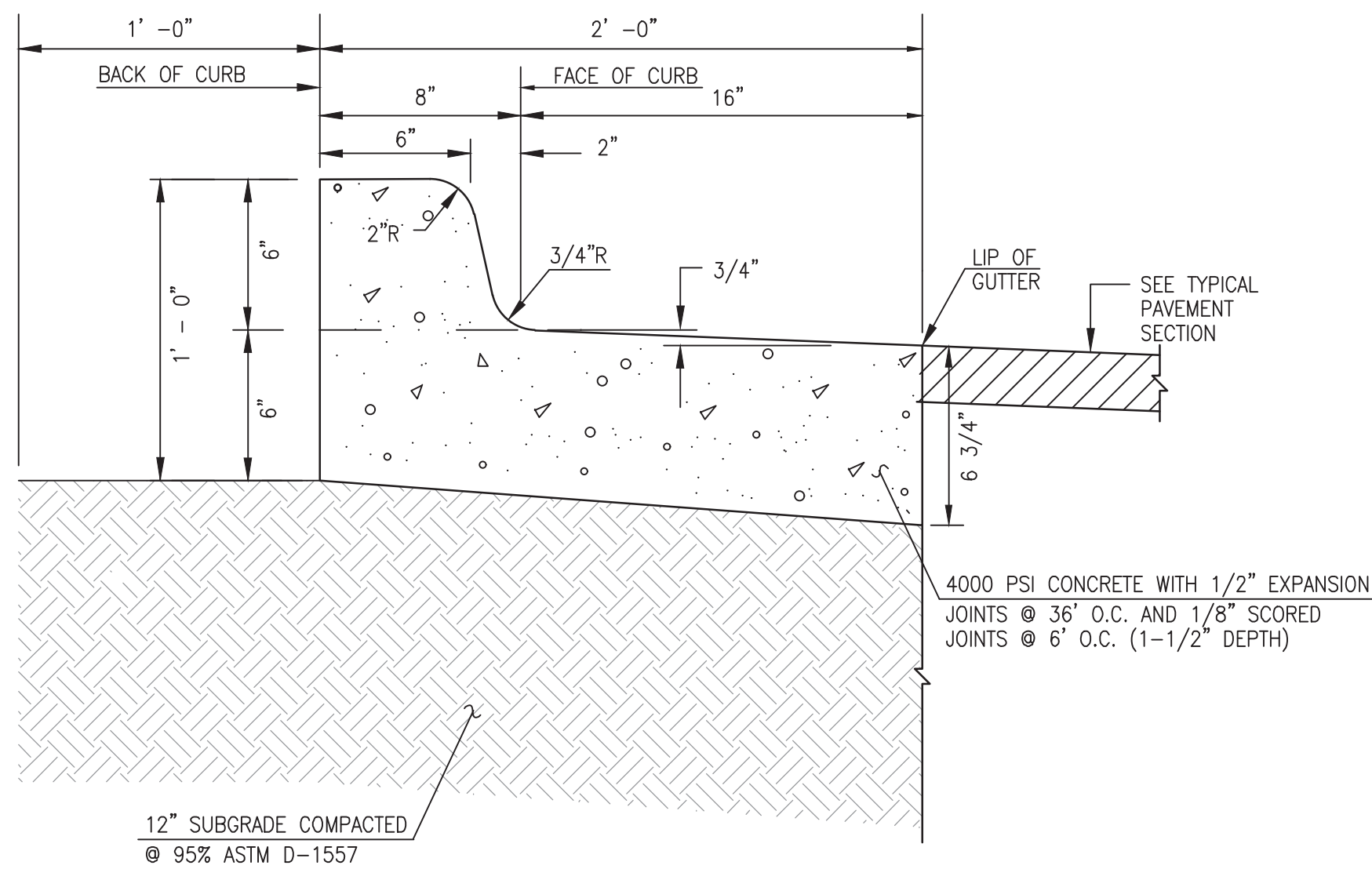
**TYPICAL 3" ASPHALT PAVING SECTION**  
SCALE: 1" = 5' (VEHICULAR TRAFFIC AREAS)

**ROAD SECTION NOTES:**

- SEE SHEET ... FOR STRIPING AND SIGNAGE
- CONTRACTOR SHALL TEST SUBGRADE R-VALUE PRIOR TO CONSTRUCTION. IN THE EVENT THE R-VALUE IS LESS THAN 50, CONTRACTOR SHALL REMOVE 2 FT. OF SUBGRADE MATERIAL AND IMPORT SUITABLE MATERIAL WITH R-VALUE 50 OR GREATER.



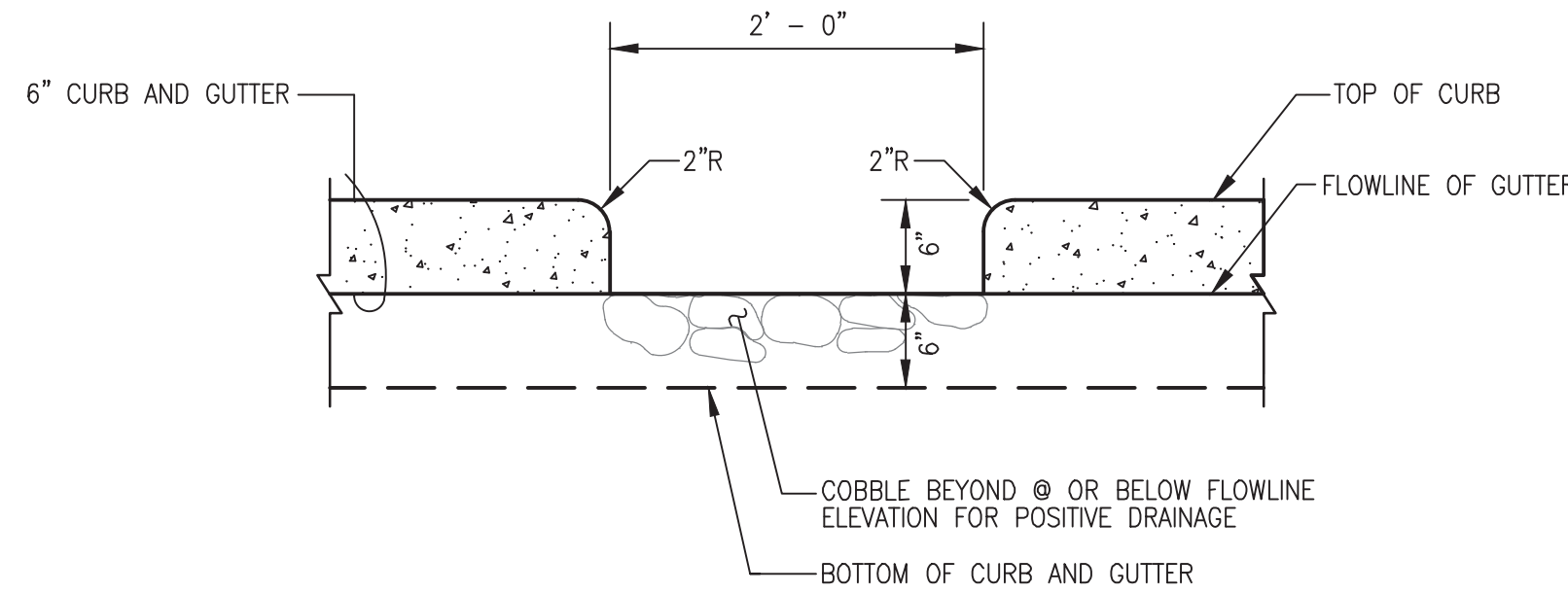
**TYPICAL SIX-INCH CURB & GUTTER**  
SCALE: 1" = 0'-6"



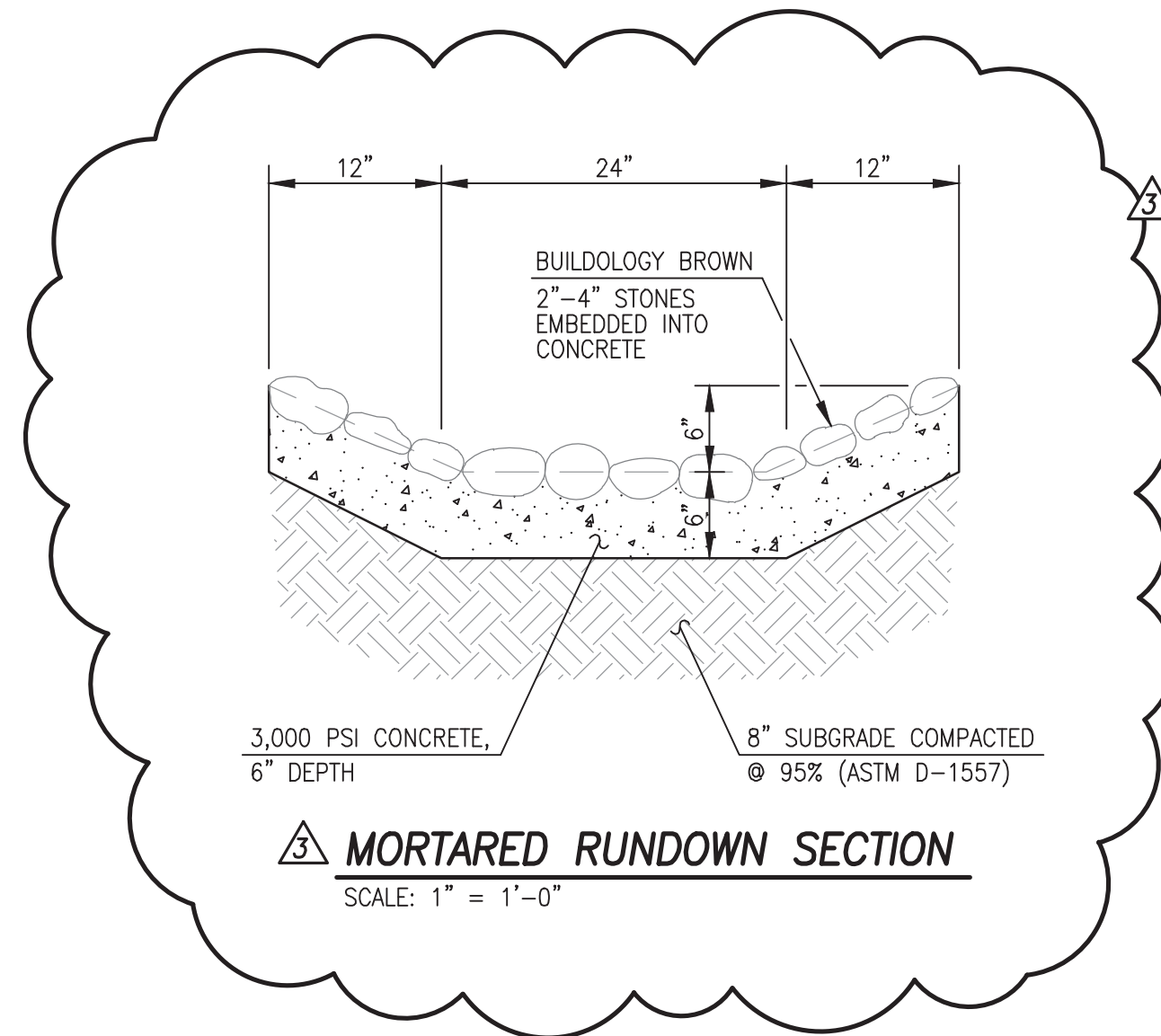
**TYPICAL SIX-INCH DEPRESSED CURB AND GUTTER**  
SCALE: 1" = 0'-6"

**NOTE:**

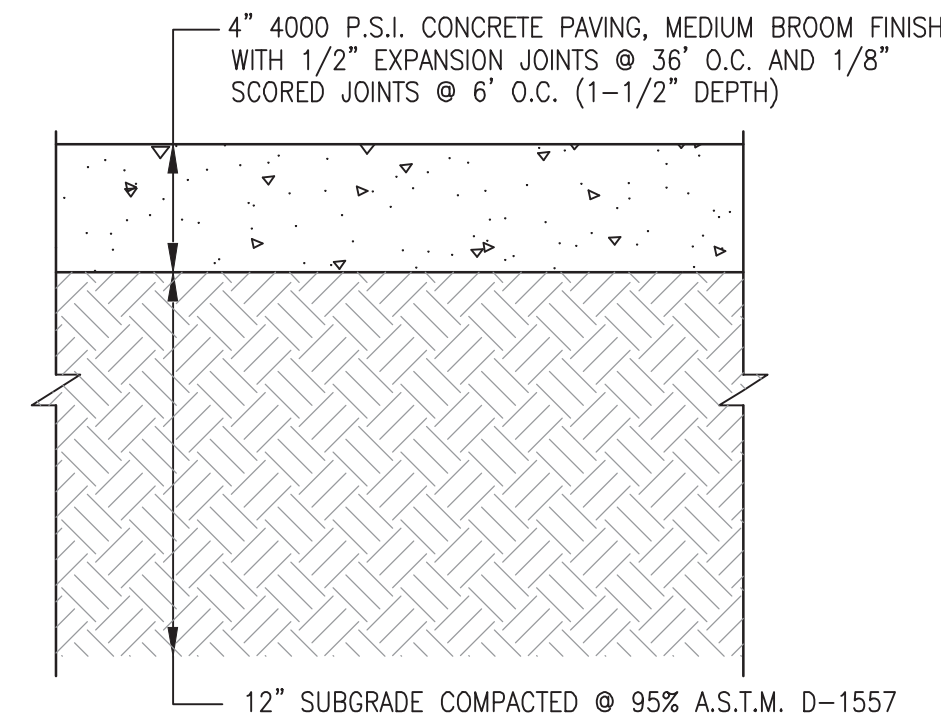
USE THIS SECTION FOR CASES WHERE PAVING SLOPES AWAY FROM FACE OF CURB



**CURB CUT SECTION**  
SCALE: 1" = 1'-0"



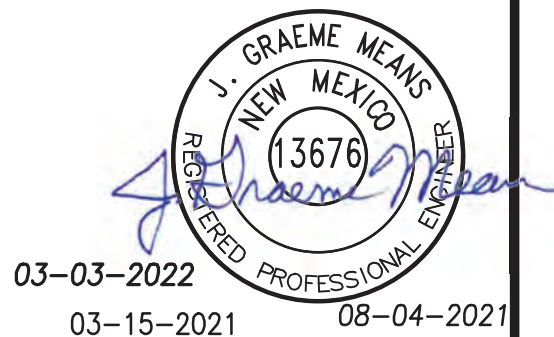
**MORTARED RUNDOWN SECTION**  
SCALE: 1" = 1'-0"



**TYPICAL CONCRETE SIDEWALK SECTION**  
SCALE: 1" = 6"

**ROAD SECTION NOTES:**

- SEE SHEET ... FOR STRIPING AND SIGNAGE
- CONTRACTOR SHALL TEST SUBGRADE R-VALUE PRIOR TO CONSTRUCTION. IN THE EVENT THE R-VALUE IS LESS THAN 50, CONTRACTOR SHALL REMOVE 2 FT. OF SUBGRADE MATERIAL AND IMPORT SUITABLE MATERIAL WITH R-VALUE 50 OR GREATER.



DESIGNED BY	NO.	DATE	BY	REVISIONS	JOB NO.
R.J.C.	09/21	G.M.	CITY COMMENTS		2020.044.3
J.Y.R.	03/22	G.M.	ADDED RUNDOWN		DATE 03-2021
G.M.					SHEET C-501