

Drainage Certification
I, Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial accordance with the approved plans and specifications. The drainage engineer has reviewed the project and has determined that the project is in substantial compliance with the approved plans and specifications. This certification is submitted in support of a request for Certificate of Occupancy. As-built grades shown in parenthesis are for information only. All grades shall be certified with public work order plans. The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Isaacson & Arfman, P.A.
3-8-10
Date
NY License No. 17631
NY License No. 17631

PROJECT DATA

LEGAL DESCRIPTION: LOTS 13 THRU 21, BLOCK 11, FRANCISCO ARMIJO AND OTERO ADDITION, ALBUQUERQUE, N.M.

SITE AREA: 0.729 ACRES

FLOOD ZONE: THE MAJORITY OF THE SUBJECT PROPERTY LIES WITHIN ZONE "X", (AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN). A PORTION OF THE SUBJECT PROPERTY LIES WITHIN ZONE "AO" (FLOOD DESTRUCTIVE OF 1 FOOT) PER F.I.R.M. MAP NO. 334, EFFECTIVE DATE 11-19-03. A C.L.O.M.R. WILL BE PREPARED (BASED ON FILL) AND FILED.

SURVEYOR: SURV-TEK INC. RUSS P. HUGG NMS NO. 9750 PHONE: 505-897-3366 9384 VALLEY VIEW DRIVE N.W. ALBUQUERQUE, NEW MEXICO 87114

TEMPORARY BENCHMARK: SURV-TEK INC. CONTROL POINT 600 NAIL AND BRASS DISK LOCATED NEAR THE SOUTHEAST PROPERTY CORNER (SEE PLAN) LS 9750 ELEV. 4957.53

BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY MONUMENT "17-114", ELEVATION = 4957.484 FEET (NAVD83)

PROJECT INFORMATION SCOPE

PROPERTY: THE SITE IS A DEVELOPED (PAVED PARKING LOT) SU-3 PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP J-14. THE SITE IS BOUND TO THE EAST BY A PUBLIC ALLEY, TO THE WEST BY 2ND STREET, TO THE NORTH BY LOMAS BLVD. AND TO THE SOUTH BY DEVELOPED COMMERCIAL PROPERTY.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A MULTI-LEVEL HOUSING AND RETAIL FACILITY WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

DRAINAGE PLAN CONCEPT: THE PROPOSED DEVELOPMENT WILL REPLACE EXISTING ASPHALT PAVEMENT. THE INTRODUCTION OF LANDSCAPING AND TWO 4,500 GALLON WATER COLLECTION CISTERNS WILL ASSIST IN MAINTAINING OR REDUCING HISTORIC DISCHARGE FROM THE SITE. ALL SITE DISCHARGE WILL BE DIRECTED TO THE ADJACENT STREETS WITH APPROXIMATELY 50% DISCHARGING TO SECOND STREET AND 50% DISCHARGING TO THE ALLEY (TO BE CONSTRUCTED BY SEPARATE WORK ORDER) TO ENTER THE EXISTING PUBLIC STORM DRAIN SYSTEM.

REQUIRED BLDG. FLOODWALL

GENERAL NOTES

- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.
- MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
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- COORDINATE WORK WITH SITE PLAN, DEMOLITION PLAN, UTILITY PLAN AND LANDSCAPE PLAN.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
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- OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE REGULARLY (AFTER EACH RAINFALL) TO IDENTIFY AREAS OF EROSION AND INSTALL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

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- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

VICINITY MAP

KEYED NOTES

- SITE ACCESS, ALLEY AND SITE UTILITIES TO BE CONSTRUCTED UNDER SEPARATE WORK ORDER. GRADES SHOWN ARE FOR INFORMATION ONLY.
- REMOVE EXISTING DRIVEWAY THIS AREA. REPLACE WITH STANDARD CURB AND GUTTER PER C.O.A. STD. DWG. 2415. MATCH TO AND FL OF EXISTING CURB BOTH SIDES - MAINTAIN POSITIVE DRAINAGE.
- CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN. SEE LAYOUT PLAN FOR PARKING LAYOUT.
- CONSTRUCT HEADER CURB PER C.O.A. STD. DWG. 2415 (S/M) WITHIN PROPERTY BETWEEN SCREEN WALL SEGMENTS AND AS NOTED. TOP OF HEADER CURB TO BE 0.3' ABOVE ALLEY GRADE.
- CONSTRUCT MEDIAN CURB AND GUTTER PER C.O.A. STD. DWG. 2415 AT ALL CURB LOCATIONS WITHIN PROPOSED PARKING AREA UNLESS NOTED OTHERWISE.
- CONSTRUCT PEDESTRIAN WALKS AT ELEVATIONS SHOWN. NOTE: SEE ARCHITECTURAL FOR DETAIL AND FOR EXTENTS OF CONCRETE, ASPHALT AND CRUSHER FINE WALKS.
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- INSTALL PVC DRAINPIPE AT INVERT ELEVATIONS SHOWN TO DISCHARGE CISTERN OVERFLOW THROUGH FACE OF WALL SEGMENT. SEE CISTERN DETAILS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- EXISTING PUBLIC STORM DRAIN INLET TO REMAIN. CONNECT 6" PVC STORM DRAIN TO BACK OF INLET PER COA STD DWG #2237.
- CONSTRUCT NEW CONCRETE DUMPSHIP PAD AND ENCLOSURE AT ELEVATIONS SHOWN.
- CONSTRUCT 12" WIDE MOW STRIP AT ELEVATIONS SHOWN, ADJACENT TO BLDG. THIS AREA.
- DASHED LINE REPRESENTS EXTENTS OF BUILDING FLOOD WALL PROTECTION. SEE SECTION THIS SHEET FOR GENERAL INFORMATION. DESIGN BY OTHERS.
- LIMITS OF FEMA FLOODPLAIN.
- INSTALL 4" 45' BEND, INVERT=57.3.
- INSTALL 6"x4" WYE, INVERT=57.1 AND 6"x4" ECCENTRIC REDUCER WEST.
- OVERHEAD METAL CANOPY
- INSTALL 4"x3" TEE, INVERT= 57.5

LEGEND

---	BOUNDARY LINE
- - - -	ADJOINING PROPERTY LINE
- - - -	EXISTING CURB & GUTTER
- - - -	EXISTING CONTOUR
- - - -	PROPOSED CONTOUR (0.5' INTERVALS)
58.2	PROPOSED SPOT ELEVATION
→	FLOW ARROW
FF = 4959.20	FINISH FLOOR ELEVATION
FL=72.5	FLOWLINE ELEVATION
INV=72.5	INVERT ELEVATION
- - - -	APPROXIMATE LIMITS OF FEMA FLOODPLAIN
-----	EXTENTS OF FLOODWALL
*57.0	DENOTES BOTTOM OF AS-BUILT LANDSCAPE MATERIAL
(57.40)	DENOTES AS-BUILT ALLEY GRADES - FOR INFORMATION ONLY. ALLEY GRADES SHALL BE CERTIFIED WITH PUBLIC WORK ORDER PLANS.

ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8829 Fax. 505-268-2632
1653 CO-101.dwg Oct 29, 2008

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SHEET NO. HYDROLOGY
CG-101
3 OF 5

architecture
interiors
landscape
planning
engineering

Dekker Perich Sabatini

7601 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@designingmy.com
ARCHITECT

ENGINEER

PROJECT

DOWNTOWN@700 2ND

Workforce Housing
700 Second Street
Albuquerque, New Mexico

REVISIONS

NO.	DESCRIPTION	DATE
1		
2		
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4		
5		
6		
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DRAWN BY

REVIEWED BY

DATE 10.28.08

PROJECT NO.

DRAWING NAME

GRADING AND DRAINAGE PLAN

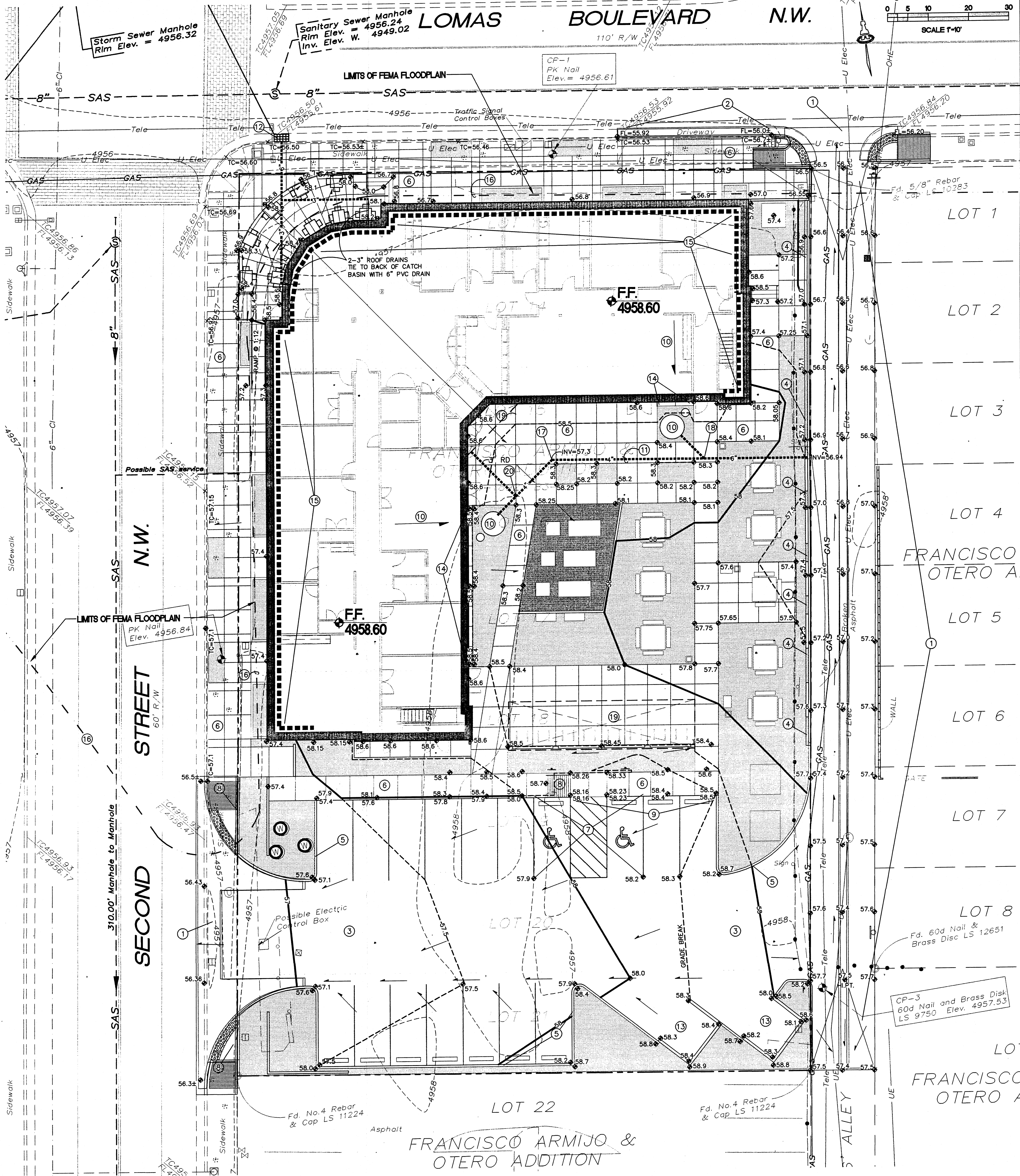
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SHEET NO. HYDROLOGY

CG-101

3 OF 5



PROJECT DATA

LEGAL DESCRIPTION: LOTS 13 THRU 21, BLOCK 11, FRANCISCO ARMIJO AND OTERO ADDITION, ALBUQUERQUE, N.M.

SITE AREA: 0.729 ACRES

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SURVEYOR: SURV-TEK INC.
RUSS P. HUGG NMPS NO. 9750
PHONE: 505-897-3366
9384 VALLEY VIEW DRIVE N.W.
ALBUQUERQUE, NEW MEXICO 87114

TEMPORARY BENCHMARK: SURV-TEK INC. CONTROL POINT 60D NAIL AND BRASS DISK LOCATED NEAR THE SOUTHEAST PROPERTY CORNER (SEE PLAN) LS 9750 ELEV. 4957.53

BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY MONUMENT "17-J14", ELEVATION = 4957.484 FEET (NAVD88)

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REQUIRED BLDG. FLOODWALL

EXISTING TO PROPOSED TW = 2%

SEE KEYED NOTE #15 FOR EXTENTS OF BUILDING FLOODWALL. TOP OF FLOODWALL TO BE MIN. 4958.6, CONSTRUCTED TO DESIGN BY OTHERS.

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APPROVAL	NAME	DATE
INSPECTOR		

VICINITY MAP

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---	BOUNDARY LINE
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=====	EXISTING CURB & GUTTER
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◆ 58.2	PROPOSED SPOT ELEVATION
→	FLOW ARROW
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-----	APPROXIMATE LIMITS OF FEMA FLOODPLAIN
-----	EXTENTS OF FLOODWALL

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY	
REVIEWED BY	
DATE	10.29.08
PROJECT NO.	
DRAWING NAME	

GRADING AND DRAINAGE PLAN

NOV 24 2008

HYDROLOGY

ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1883 CG-101.dwg Oct 28, 2008

SHEET NO.

CG-101

3 OF 5

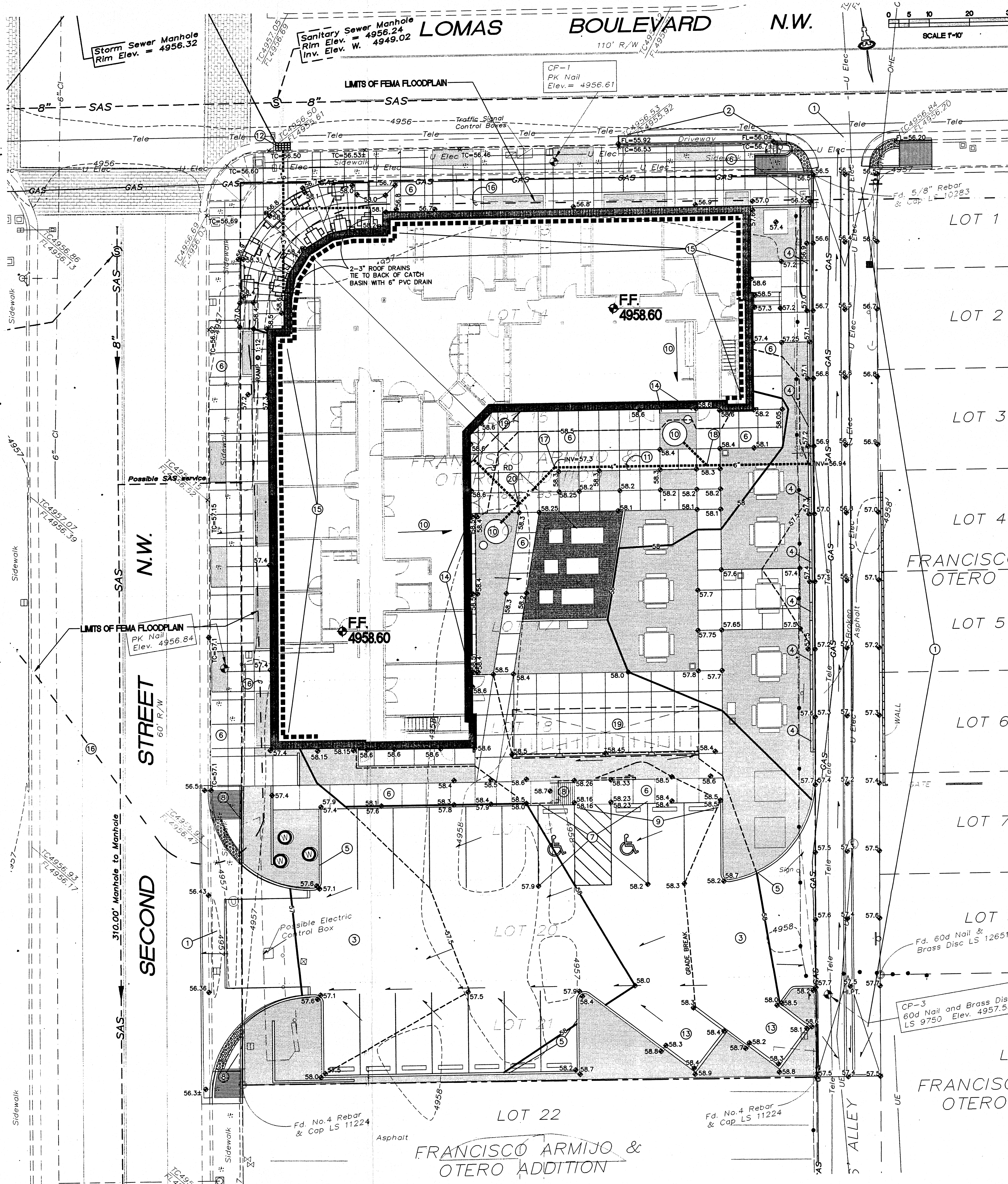
Dekker Perich Sabatini

7601 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org
ARCHITECT

architecture
interiors
landscape
planning
engineering

DOWNTOWN@700 2ND

Workforce Housing
700 Second Street
Albuquerque, New Mexico



PROJECT DATA

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- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL NAME DATE
INSPECTOR

VICINITY MAP

KEYED NOTES

- SITE ACCESS, ALLEY AND SITE UTILITIES TO BE CONSTRUCTED UNDER SEPARATE WORK ORDER. GRADES SHOWN ARE FOR INFORMATION ONLY.
- REMOVE EXISTING DRIVEWAY THIS AREA. REPLACE WITH STANDARD CURB AND GUTTER PER C.O.A. STD. DWG. 2415. MATCH TO AND FL OF EXISTING CURB BOTH SIDES - MAINTAIN POSITIVE DRAINAGE.
- CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN. SEE LAYOUT PLAN FOR PARKING LAYOUT.
- CONSTRUCT HEADER CURB PER C.O.A. STD. DWG. 2415 (SIM) WITHIN PROPERTY BETWEEN SCREEN WALL SEGMENTS AND AS NOTED. TOP OF HEADER CURB TO BE 0.3' ABOVE ALLEY GRADE.
- CONSTRUCT MEDIAN CURB AND GUTTER PER C.O.A. STD. DWG. 2415 AT ALL CURB LOCATIONS WITHIN PROPOSED PARKING AREA UNLESS NOTED OTHERWISE.
- CONSTRUCT PEDESTRIAN WALKS AT ELEVATIONS SHOWN. NOTE: SEE ARCHITECTURAL FOR DETAILS AND FOR EXTENTS OF CONCRETE, ASPHALT AND CRUSHER FINE WALKS.
- SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
- CONSTRUCT HANDICAP ACCESS RAMP. SEE ARCHITECTURAL FOR DETAILS.
- TOP OF WALK TO BE FLUSH WITH TOP OF ASPHALT PAVEMENT THIS AREA.
- BUILDING ROOF DISCHARGE TO BE RELEASED DIRECTLY TO TWO 2,900 GAL. CISTERNS (APPROX. 50% TO EACH).
- INSTALL PVC DRAINPIPE AT INVERT ELEVATIONS SHOWN TO DISCHARGE CISTERN OVERFLOW THROUGH FACE OF WALL SEGMENT. SEE CISTERN DETAILS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- EXISTING PUBLIC STORM DRAIN INLET TO REMAIN. CONNECT 6" PVC STORM DRAIN TO BACK OF INLET PER COA STD DWG #2237.
- CONSTRUCT NEW CONCRETE DUMPST PAD AND ENCLOSURE AT ELEVATIONS SHOWN.
- CONSTRUCT 12" WIDE MOW STRIP AT ELEVATIONS SHOWN, ADJACENT TO BLDG. THIS AREA.
- DASHED LINE REPRESENTS EXTENTS OF BUILDING FLOOD WALL PROTECTION. SEE SECTION THIS SHEET FOR GENERAL INFORMATION. DESIGN BY OTHERS.
- LIMITS OF FEMA FLOODPLAIN.
- INSTALL 4" 45° BEND, INVERT=57.3.
- INSTALL 6"x4" WYE, INVERT=57.1 AND 6"x4" ECCENTRIC REDUCER WEST.
- OVERHEAD METAL CANOPY
- INSTALL 4"x3" TEE, INVERT= 57.5

LEGEND

BOUNDARY LINE
ADJOINING PROPERTY LINE
EXISTING CURB & GUTTER
EXISTING CONTOUR
PROPOSED CONTOUR (0.5' INTERVALS)
PROPOSED SPOT ELEVATION
FLOW ARROW
FINISH FLOOR ELEVATION
FLOWLINE ELEVATION
INVERT ELEVATION
APPROXIMATE LIMITS OF FEMA FLOODPLAIN
EXTENTS OF FLOODWALL

FF = 4959.20
FL=72.5
INV=72.5

S.O.19 : NOTICE TO CONTRACTORS

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1853 CG-101.dwg Oct 28, 2008

CG-101
3 OF 5

Dekker Perich Sabatini
7601 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org
ARCHITECT

ENGINEER
SPOT M. MCGEE
NEW MEXICO
10519
10/24/08

PROJECT

DOWNTOWN@700 2ND
Workforce Housing
700 Second Street
Albuquerque, New Mexico

REVISIONS

DRAWN BY
REVIEWED BY
DATE 10.29.08
PROJECT NO.
DRAWING NAME

GRADING AND DRAINAGE PLAN

NOV 24 2008
HYDROLOGY SECTION

SHEET NO.

ARCHITECT

A. ALLEY TO BE ONE WAY NORTH TO LOMAS BOULEVARD.

B. BUILDING LIGHTING ALLOW SECOND ST. AND LOMAS BLVD. TO BE BUILDING MOUNTED AND SHALL COMPLY WITH DARK SKYS ORDINANCE. ALL LIGHTING SHALL HAVE DAYLIGHT SENSORS.

C. SITE AND PARKING LOT LIGHTING TO COMPLY WITH DARK SKYS ORDINANCE, AND SHALL HAVE DAYLIGHT SENSORS AND PHOTOVOLTAICS.

D. SEE BUILDING ELEVATIONS FOR BUILDING MOUNTED SIGNAGE.

E. DOWNTOWN 2010 SECTOR DEVELOPMENT PLAN BLOCK CONFIGURATION: THE BLOCK IS A RECTANGULAR 1/4 MILE BY 1/4 MILE TYPE "C" AND BLOCK TYPE "C", DUE TO THE SITE'S NON-CONFORMING BLOCK SIZE.

PLACEMENT/LOT WIDTH: 225' WHICH IS COMPRISED OF INCREMENTS OF 75', AS PER BLOCK TYPE "Q". THE LOT DEPTH OF 142' COMPLIES WITH BOTH BLOCK TYPES "Q" AND "Q". THE BUILDING WILL HAVE 90% STREET FRONTAGE, AS PER BOTH BLOCK TYPES "Q" AND "Q".

PARKING, INTERIOR SURFACE LOT AS PER BLOCK TYPE "Q", WITH VEHICULAR ALLEYS ON THE EAST AND WEST SIDES OF THE LOT, ADJACENT TO THE LOT.

THE HEIGHT AND PROFILE IS 4-STORY, WHICH IS BELOW THE MAXIMUM 5 STORY LIMIT OF BLOCK TYPE "Q". THE MINIMUM SETBACK IS 0'-0" FROM THE PROPERTY LINE FOR BOTH BLOCK TYPES "Q" AND "Q".

THE RECOMMENDED USES IN BOTH BLOCK TYPES "Q" AND "Q" COMPLY WITH THIS BUILDING USE OF COMMERCIAL/RETAIL ON THE FIRST FLOOR WITH HOUSING ABOVE.

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4. MAIN PUBLIC ENTRANCE, ADA ACCESSIBLE
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30. EXISTING MONITORING WELLS TO BE RELOCATED
31. EXISTING MONITORING WELLS TO REMAIN
32. FIRE HYDRANT
33. PIV AND FDC.

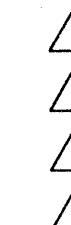
FIRE MARSHAL APPROVAL

Michael Holton (angle adjustments)
SOLID WASTE APPROVAL

7/18/08

DOWNTOWN@700 2ND
WORKFORCE HOUSING
700 2nd Street
Albuquerque, New Mexico

REVISIONS



DRAWN BY

REVIEWED BY

DAT

PROJECT NO. _____

DRAWING NAME

SITE PLAN

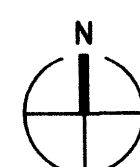
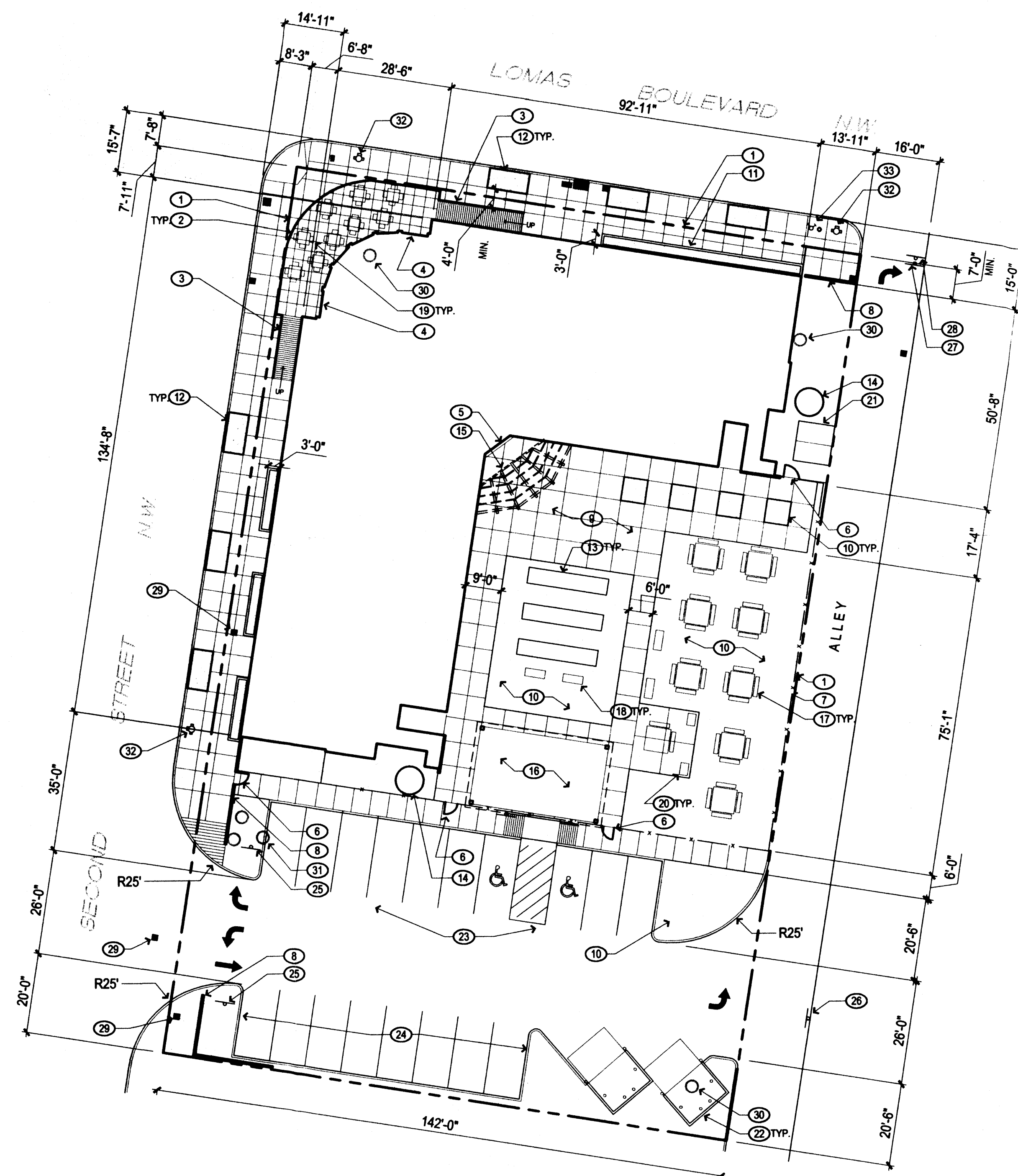
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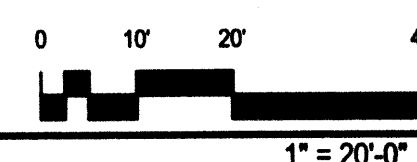
HYDROLOGY
SECTION

SHEET NO. _____

A100



SITE PLAN



**SITE
DEVELOPMENT PLAN
APPROVAL**

SU-3 DOWNTOWN URBAN CENTER

FILE NO: PA-08-73

Residential mixed-use
building and site plan.

Pass 1/25/08 2/1/08

PLANNING DIRECTOR DATE

AFB PLANS CHECKING OFFICE
924-3611

~~APPROVED~~ DISAPPROVED

~~11/18/09~~

SIGNATURE & DATE

Year	Actual (%)	Projected (%)
1950	7	-
1960	8	-
1970	9	-
1980	10	-
1990	11	-
2000	12	12
2010	-	14
2020	-	16
2030	-	17
2040	-	18
2050	-	18

REVISED SEE

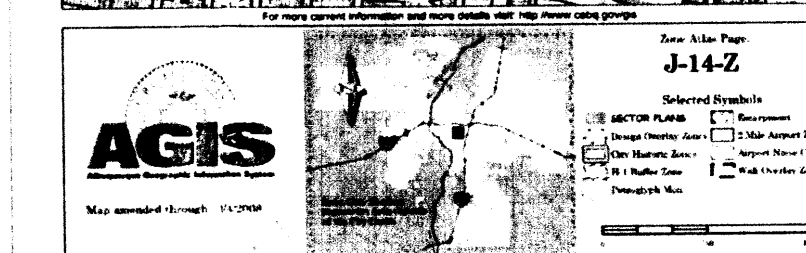
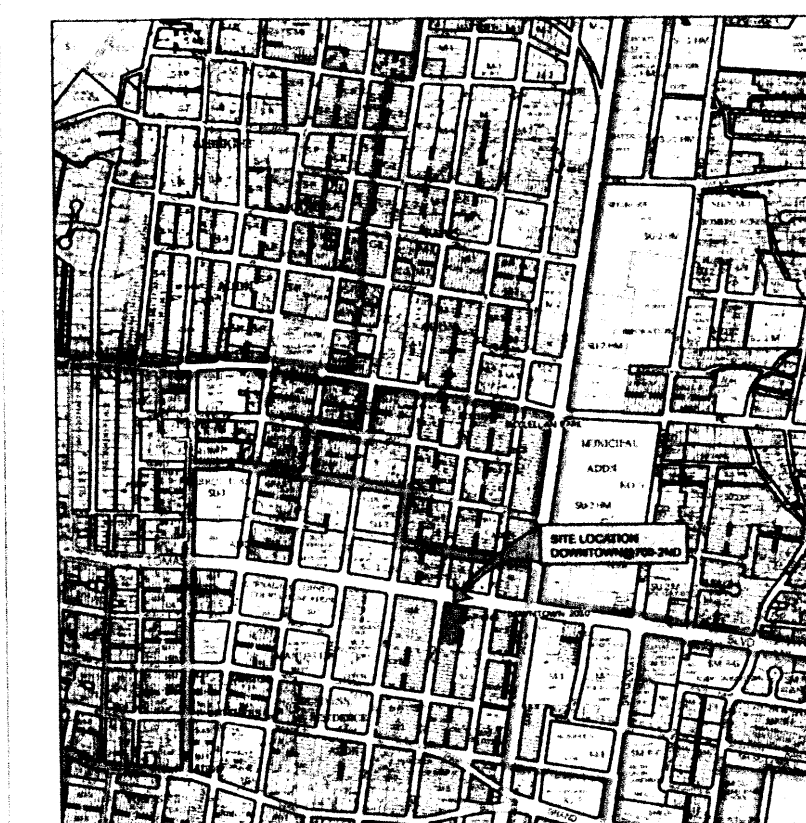
PLAY DATE

1. $\frac{1}{2}$

10/21/08

Find

File



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- PV AND FDC
- EXISTING FIRE HYDRANT

ENGINEER

PROJECT

**DOWNTOWN@700 2ND
WORKFORCE HOUSING**
700 2nd Street
Albuquerque, New Mexico

REVISIONS



DRAWN BY

REVIEWED BY

DATE 10.21.08

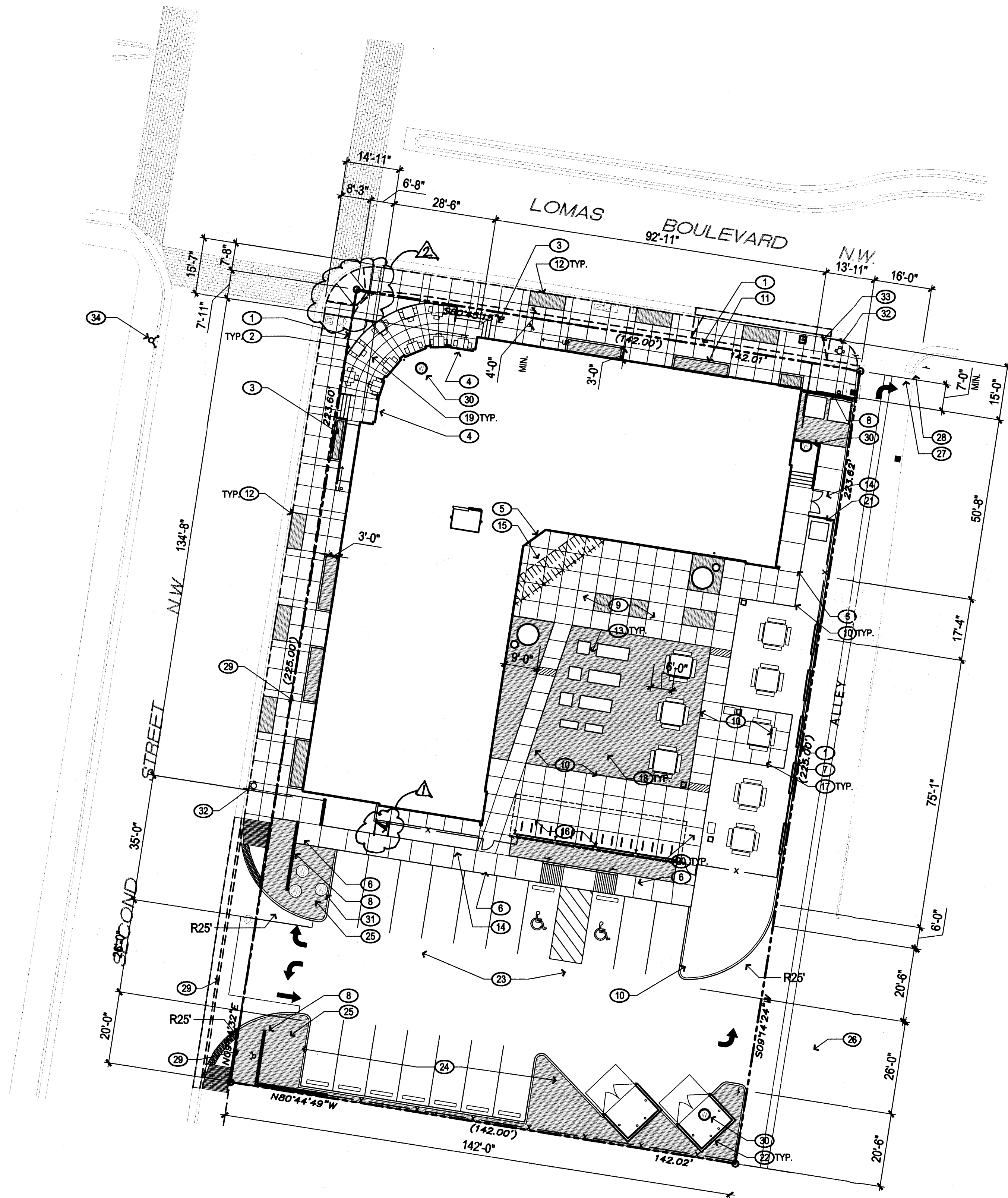
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DRAWING NAME

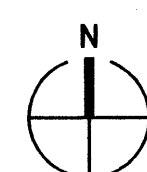
SITE PLAN

SHEET NO.

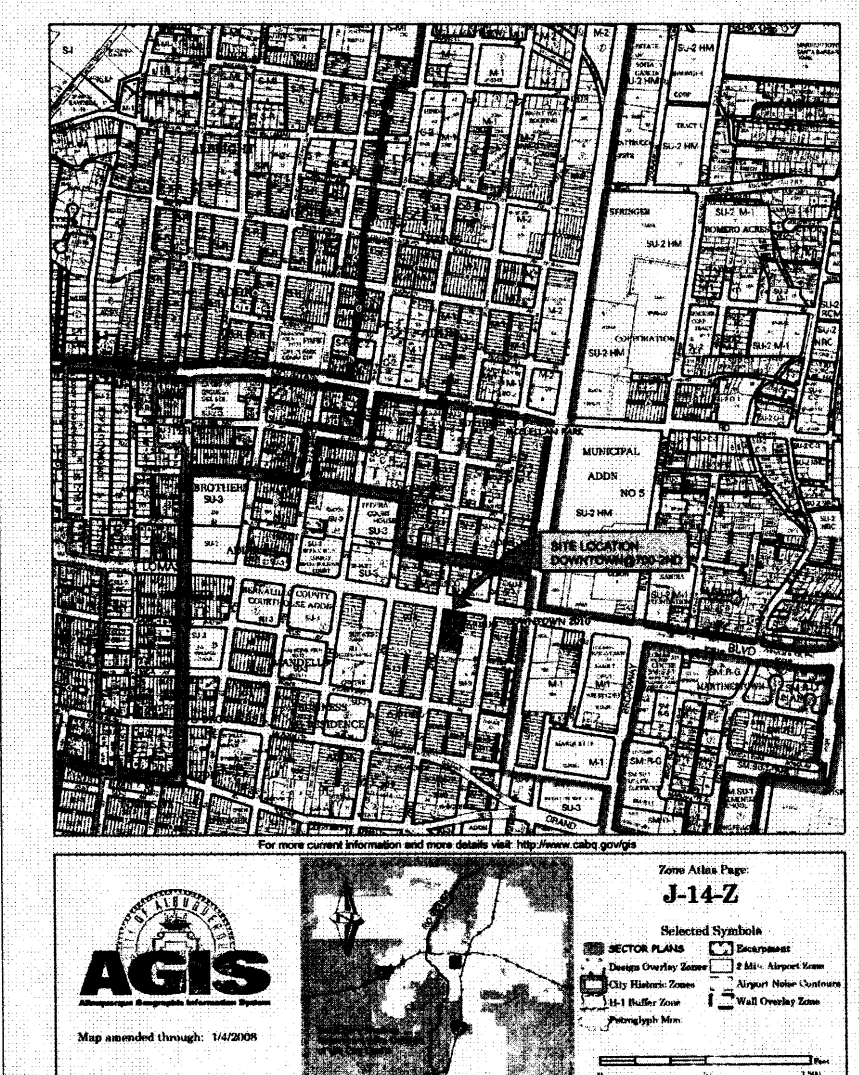
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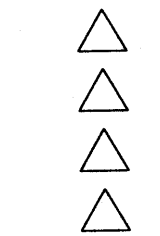
AFD PLANS CHECKING OFFICE
924-3611
APPROVED
7/10/10/10/10
SIGNATURE & DATE



SITE PLAN



DOWNTOWN@700 2ND
WORKFORCE HOUSING
700 2nd Street
Albuquerque, New Mexico



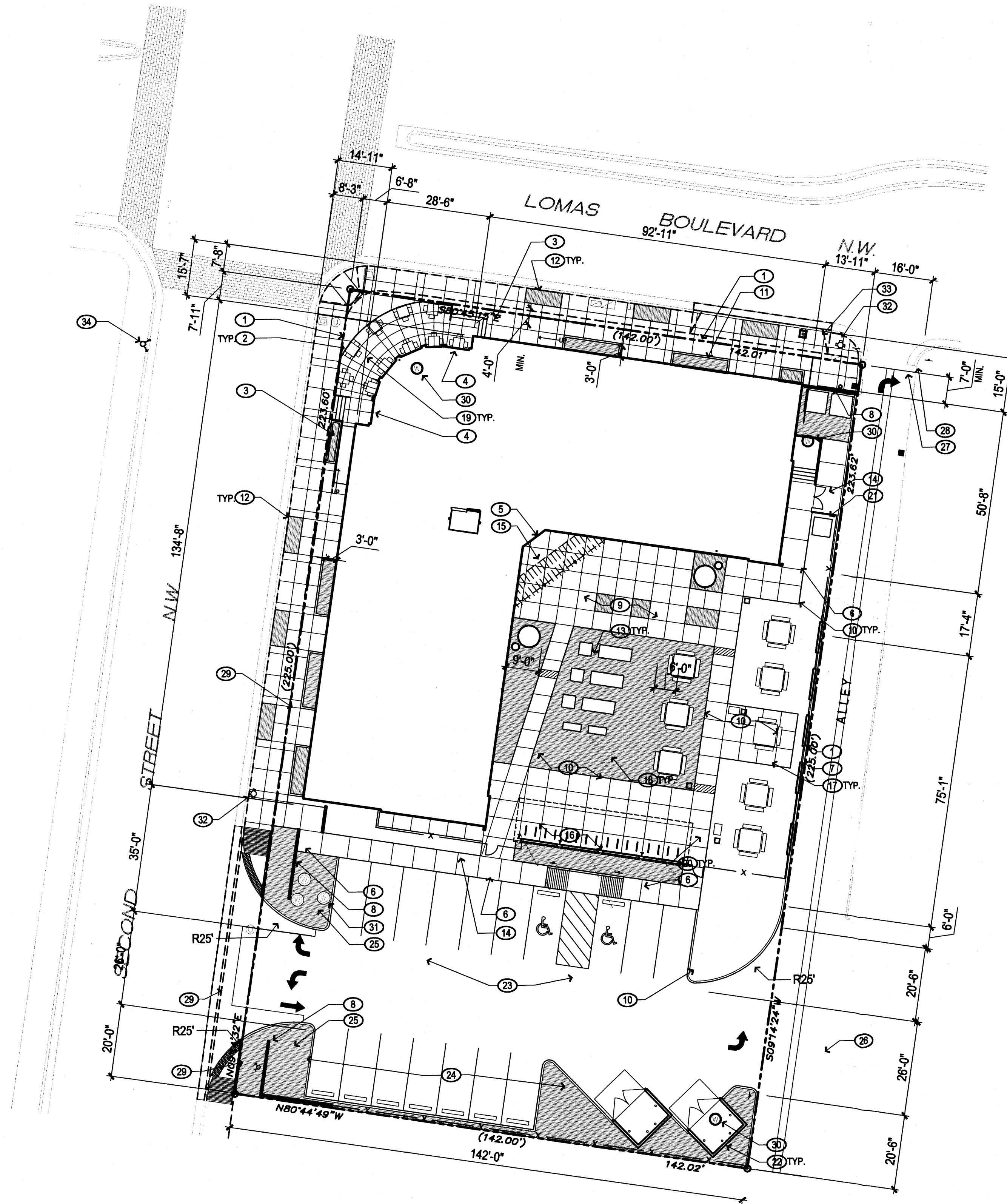
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GENERAL NOTES

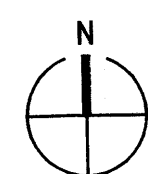
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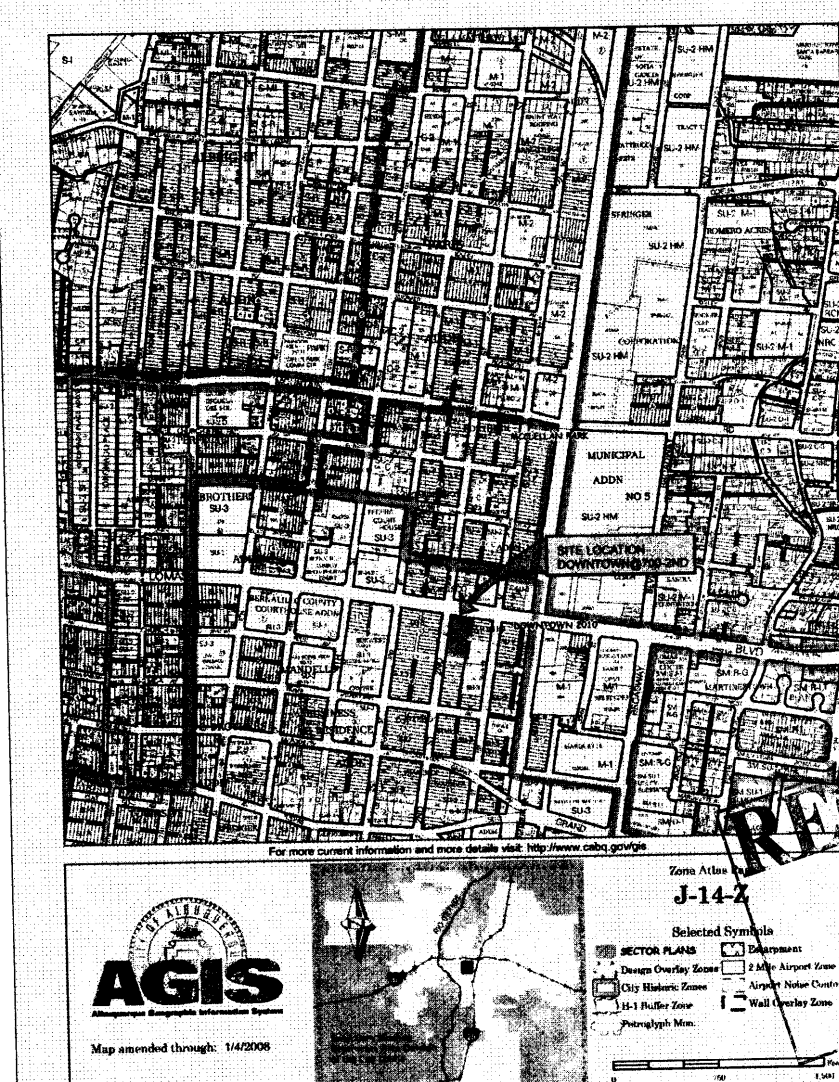
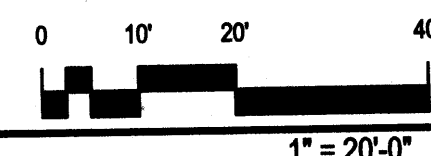
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AJD PLANS CHECKING OFFICE
924-3511
APPROVED/DISAPPROVED
10/21/08
SIGNATURE & DATE



SITE PLAN



DOWNTOWN@700 2ND
WORKFORCE HOUSING
700 2nd Street
Albuquerque, New Mexico

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FIRE MARSHAL APPROVAL

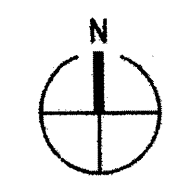
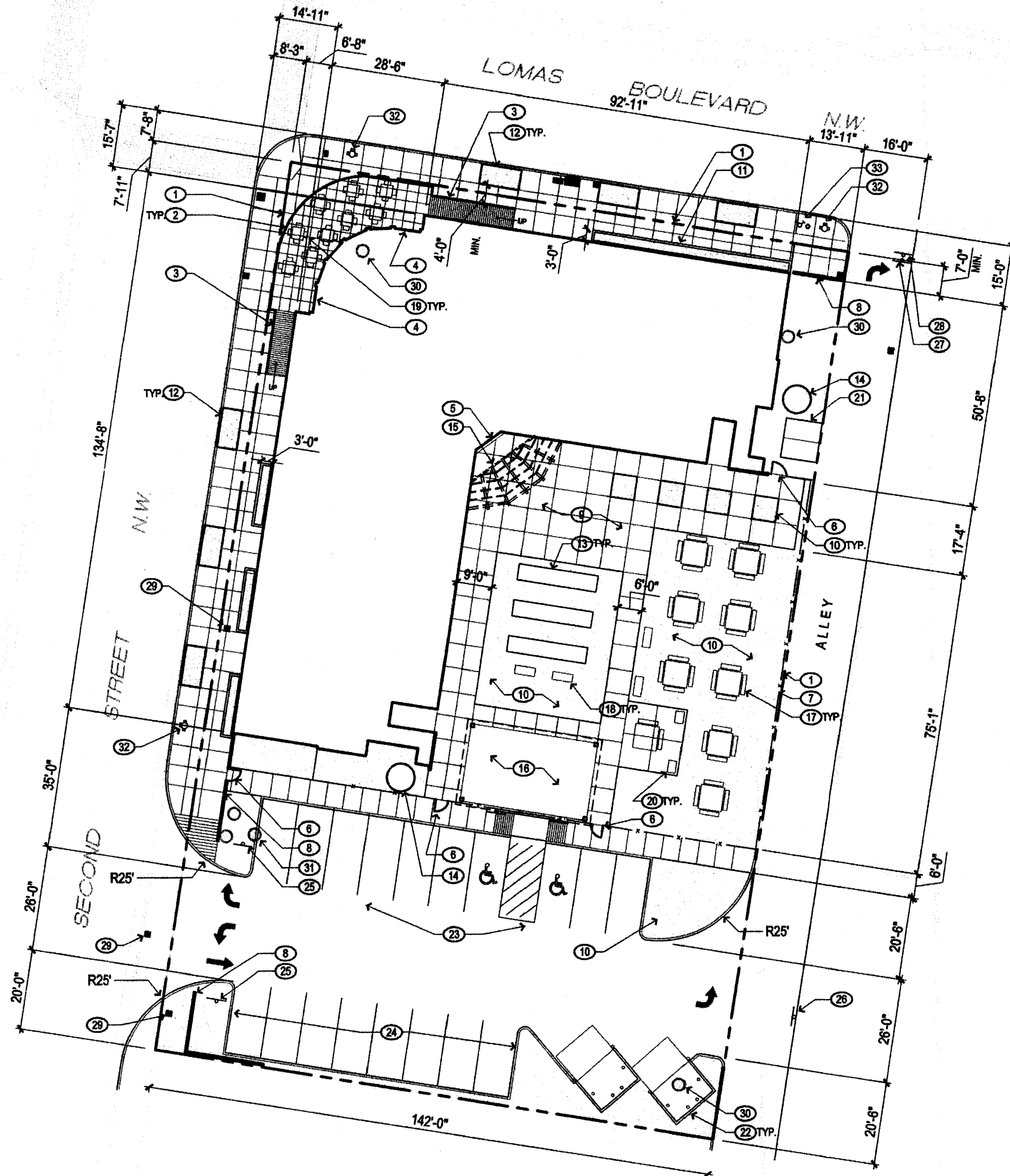
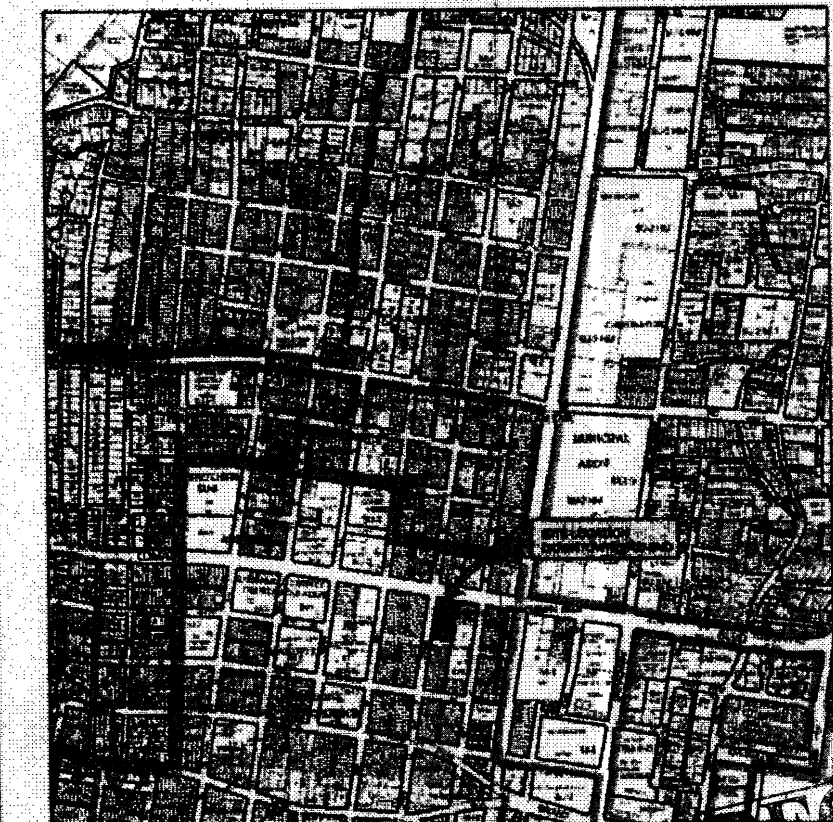
Michael Holton (angle adjustments)
SOLID WASTE APPROVAL

7/18/08

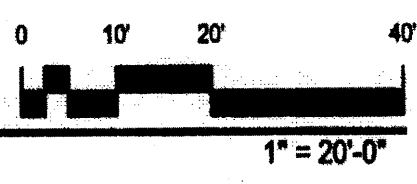
SITE
DEVELOPMENT PLAN
APPROVAL
SU-3 DOWNTOWN URBAN CENTER
FILE NO: PA-08-73
Residential mixed-use
building and site plan
Jesse B. Roberts 7/18/08
PLANNING DIRECTOR DATE

AP'S PLANS CHECKING OFFICE
824-3611
APPROVED
7/18/08
SIGNATURE & DATE

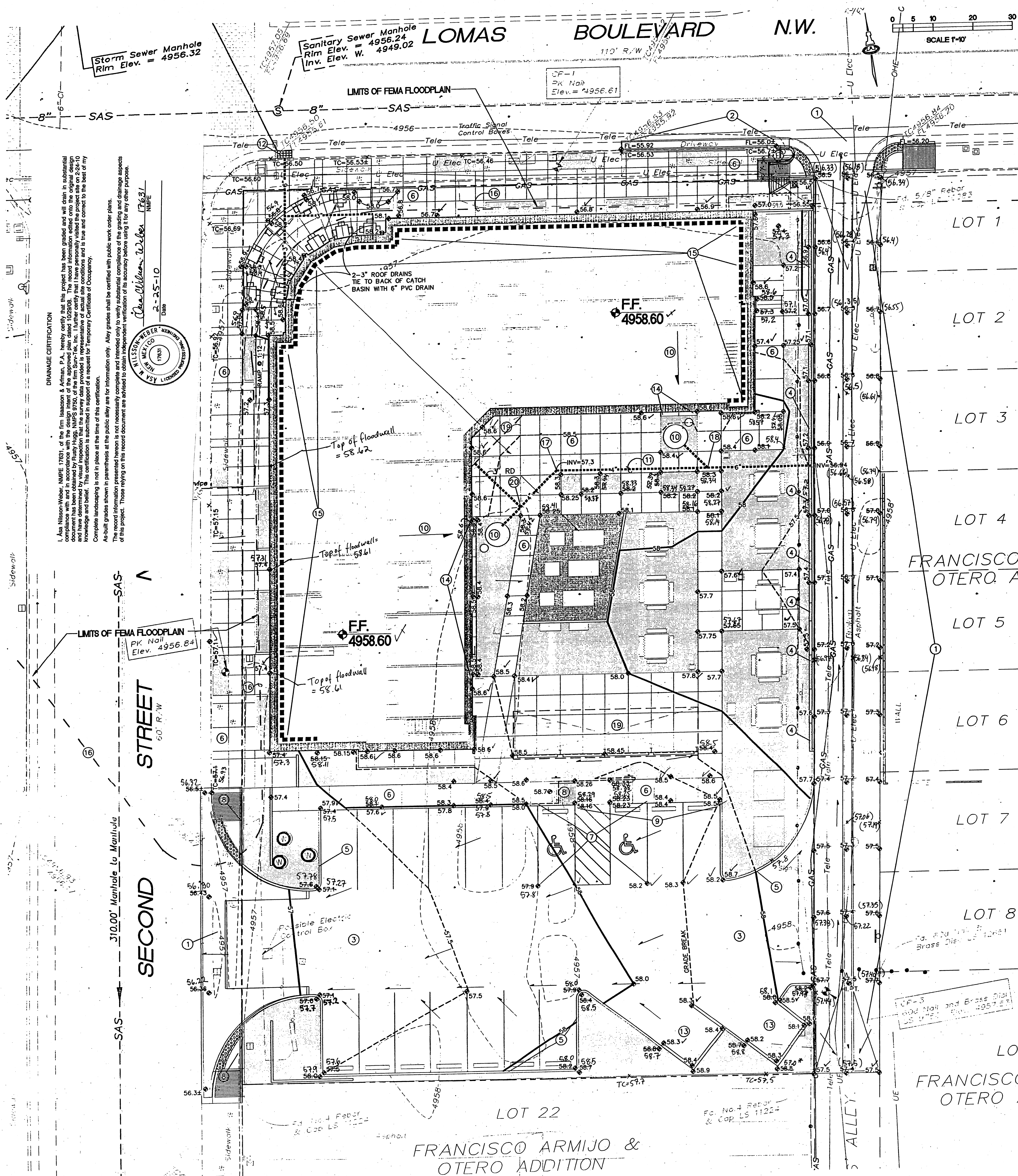
REVISED SEE
PLAN DATED
10/21/08
FAC



SITE PLAN



1" = 20'-0"



PROJECT DATA

LEGAL DESCRIPTION: LOTS 13 THRU 21, BLOCK 11, FRANCISCO ARMIJO AND OTERO ADDITION, ALBUQUERQUE, N.M.

SITE AREA: 0.729 ACRES

FLOOD ZONE: THE MAJORITY OF THE SUBJECT PROPERTY LIES WITHIN ZONE "X". (AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN). A PORTION OF THE SUBJECT PROPERTY LIES WITHIN ZONE "AO" (FLOOD DEPTH DESIGNATION OF 1 FOOT) PER F.I.R.M. MAP NO. 334, EFFECTIVE DATE 11-19-03. A C.L.O.M.R. WILL BE PREPARED (BASED ON FILL) AND FILED.

SURVEYOR: SURV-TEK INC.
RUSS P. HUGG N.M.P.S. NO. 9750
PHONE: 505-897-3360
9384 VALLEY VIEW DRIVE N.W.
ALBUQUERQUE, NEW MEXICO 87114

TEMPORARY BENCHMARK: SURV-TEK INC. CONTROL POINT 60D NAIL AND BRASS DISK LOCATED NEAR THE SOUTHEAST PROPERTY CORNER (SEE PLAN) LS 9750 ELEV. 4957.53

BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY MONUMENT 17-14, ELEVATION = 4957.484 FEET (NAVD88)

PROJECT INFORMATION SCOPE

PROPERTY: THE SITE IS A DEVELOPED (PAVED PARKING LOT) SU-3 PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP J-14. THE SITE IS BOUND TO THE EAST BY A PUBLIC ALLEY, TO THE WEST BY 2ND STREET, TO THE NORTH BY LOMAS BLVD. AND TO THE SOUTH BY DEVELOPED COMMERCIAL PROPERTY.

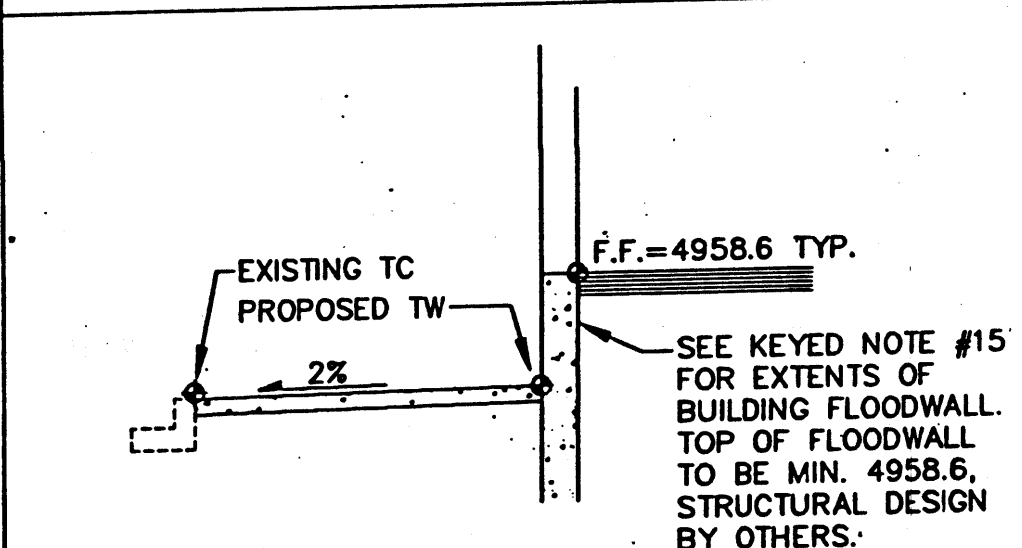
PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A MULTI-LEVEL HOUSING AND RETAIL FACILITY WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

DRAINAGE PLAN CONCEPT

THE PROPOSED DEVELOPMENT WILL REPLACE EXISTING ASPHALT PAVEMENT. THE INTRODUCTION OF LANDSCAPING AND TWO 4,500 GALLON WATER COLLECTION CISTERNS WILL ASSIST IN MAINTAINING OR REDUCING HISTORIC DISCHARGE FROM THE SITE. ALL SITE DISCHARGE WILL BE DIRECTED TO THE ADJACENT STREETS WITH APPROXIMATELY 50% DISCHARGING TO SECOND STREET AND 50% DISCHARGING TO THE ALLEY (TO BE CONSTRUCTED BY SEPARATE WORK ORDER) TO ENTER THE EXISTING PUBLIC STORM DRAIN SYSTEM.

REQUIRED BLDG. FLOODWALL



GENERAL NOTES

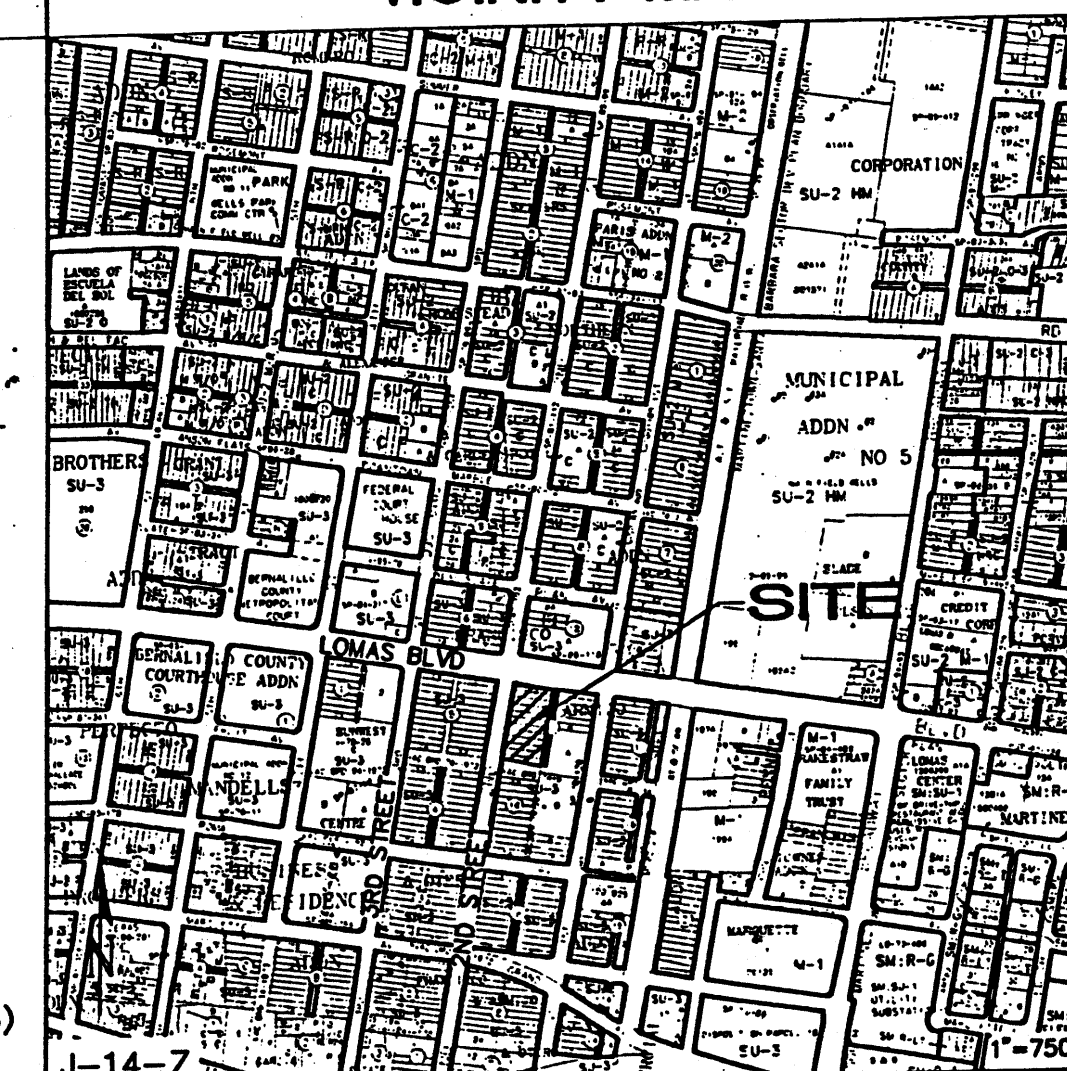
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.
- MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
- FIVE (5) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILIZATION LINES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- COORDINATE WORK WITH SITE PLAN, DEMOLITION PLAN, UTILITY PLAN AND LANDSCAPE PLAN.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
- ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS TO DRAIN TOWARD EXISTING AND / OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS "MATCH" OR "±", TRANSITIONS TO EXISTING SHALL BE SMOOTH AND LEVEL. ANY NEW PAVING SURFACE HOLDING WATER (BROBATH) SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE REGULARLY (AFTER EACH RAINFALL) TO IDENTIFY AREAS OF EROSION AND INSTALL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

S.O.19: NOTICE TO CONTRACTORS

- AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK DETAILED IN THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

VICINITY MAP



KEYED NOTES

- SITE ACCESS, ALLEY AND SITE UTILITIES TO BE CONSTRUCTED UNDER SEPARATE WORK ORDER. GRADES SHOWN ARE FOR INFORMATION ONLY.
- REMOVE EXISTING DRIVEWAY THIS AREA. REPLACE WITH STANDARD CURB AND GUTTER PER C.O.A. STD. DWS. 2415. MATCH TO AND FL. OF EXISTING CURB BOTH SIDES - MAINTAIN POSITIVE DRAINAGE.
- CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN. SEE LAYOUT PLAN FOR PARKING LAYOUT.
- CONSTRUCT HEADER CURB PER C.O.A. STD. DWS. 2415 (SW) WITHIN PROPERTY BETWEEN SCREEN WALL SEGMENTS AND AS NOTED. TOP OF HEADER CURB TO BE 0.3' ABOVE ALLEY GRADE.
- CONSTRUCT MEDIAN CURB AND GUTTER PER C.O.A. STD. DWS. 2415 AT ALL CURB LOCATIONS WITHIN PROPOSED PARKING AREA UNLESS NOTED OTHERWISE.
- CONSTRUCT PEDESTRIAN WALKS AT ELEVATIONS SHOWN. NOTE: SEE ARCHITECTURAL FOR DETAILS AND FOR EXTENTS OF CONCRETE, ASPHALT AND CRUSHER FINE WALKS.
- SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
- CONSTRUCT HANDICAP ACCESS RAMP. SEE ARCHITECTURAL FOR DETAILS.
- TOP OF WALK TO BE FLUSH WITH TOP OF ASPHALT PAVEMENT THIS AREA.
- BUILDING ROOF DISCHARGE TO BE RELEASED DIRECTLY TO TWO 2,900 GAL. CISTERNS (APPROX. 50% TO EACH).
- INSTALL PVC DRAINPIPE AT INVERT ELEVATIONS SHOWN TO DISCHARGE CISTERN OVERFLOW THROUGH FACE OF WALL SEGMENT. SEE CISTERN DETAILS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- EXISTING PUBLIC STORM DRAIN INLET TO REMAIN. CONNECT 6" PVC STORM DRAIN TO BACK OF INLET PER COA STD DWG #2237.
- CONSTRUCT NEW CONCRETE DUMPSIDE PAD AND ENCLOSURE AT ELEVATIONS SHOWN.
- CONSTRUCT 12" WIDE MOW STRIP AT ELEVATIONS SHOWN. ADJACENT TO BLDG. THIS AREA.
- DASHED LINE REPRESENTS EXTENTS OF BUILDING FLOOD WALL PROTECTION. SEE SECTION THIS SHEET FOR GENERAL INFORMATION. DESIGN BY OTHERS.
- LIMITS OF FEMA FLOODPLAIN.
- INSTALL 4" 45° BEND, INVERT=57.3.
- INSTALL 6"x4" WYE, INVERT=57.1 AND 6"x4" ECCENTRIC REDUCER WEST.
- OVERHEAD METAL CANOPY
- INSTALL 4"x3" TEE, INVERT= 57.5

LEGEND

- BOUNDARY LINE
- ADJOINING PROPERTY LINE
- EXISTING CURB & GUTTER
- EXISTING CONTOUR
- PROPOSED CONTOUR (0.5' INTERVALS)
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FINISH FLOOR ELEVATION
- FLOWLINE ELEVATION
- INVERT ELEVATION
- APPROXIMATE LIMITS OF FEMA FLOODPLAIN
- EXTENTS OF FLOODWALL
- DENOTES BOTTOM OF AS-BUILT LANDSCAPE MATERIAL
- DENOTES AS-BUILT ALLEY GRADES - FOR INFORMATION ONLY. ALLEY GRADES SHALL BE CERTIFIED WITH PUBLIC WORK ORDER PLANS.

Dekker Perich Sabatini
7601 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org
ARCHITECT

ENGINEER
SCOTT M. MCGEE
10519
10/21/08
PROJECT

DOWNTOWN@700 2ND
Workforce Housing
700 Second Street
Albuquerque, New Mexico

REVISIONS
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DRAWN BY
REVIEWED BY
DATE 10.28.08
PROJECT NO.
DRAWING NAME

GRADING AND DRAINAGE PLAN

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8829 Fax. 505-268-2632
1653 CG-101.dwg Oct 29, 2008

CG-101
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