

- 01 BOLLARD. SEE DETAIL A4/A5-101.
- 02 NEW TRANSFORMER. SEE ELECTRICAL DRAWINGS.
- 03 EXISTING DOCK AND GUARDRAIL TO REMAIN. SEE SHEET A-201 FOR GUARD RAIL MODIFICATIONS.
- 04 NEW CONCRETE STAIR TO EXISTING DOCK. EXTEND GUARDRAIL TO END OF DOCK SOUTH TO BUILDING WALL. SEE STRUCTURAL AND SHEET A-201.
- 05 TRASH ENCLOSURE. SEE DETAIL D4/A5-101.
- 06 BIKE RACK. SEE DETAIL A5/A5-101.
- 07 3" WIDE STRIPING. COLOR WHITE TYPICAL, COLOR BLUE AT HANDICAP PARKING SPACES AND AISLES.
- 08 EXISTING CHAIN LINK GATE TO REMAIN.
- 09 MODIFY EXISTING DOCK TO INCORPORATE RAMP AS SHOWN. PROVIDE GUARD RAIL ALONG WEST SIDE OF RAMP/DOCK. SEE STRUCTURAL.
- 10 EXISTING CURB CUT.
- 11 HANDICAP PARKING SIGN, TYP OF 3. MOUNT 6" BACK FROM CURB/RAMP. SEE DETAIL D3/A5-101.
- 12 MOTORCYCLE PARKING SIGN. SEE DETAIL A5/A5-101.
- 13 NEW POWER POLE BY PNM. EXACT LOCATION TO BE DETERMINED.
- 14 PARKING BUMPER, TYP OF 5. SEE DETAIL D2/A5-101.
- 15 EXISTING CHAIN LINK FENCE TO REMAIN.
- 16 PROPERTY LINE.
- 17 DOCK LEVELER.
- 18 CONCRETE RAMP (1:12 MAXIMUM SLOPE), STAIR AND LANDING WITH STEEL TUBE HANDRAIL AND WOVEN WIRE MESH IN STEEL TUBE FRAME GUARDRAILS. SEE B4/A5-101.
- 19 CHAIN LINK FENCE GUARD RAIL ALONG RAMP AND NEW DOCK. SEE SHEET A-201 FOR EXTENT AND HEIGHT.
- 20 EXISTING ASPHALT TO REMAIN.
- 21 ADA ACCESSIBLE ACCESS TO PUBLIC SIDEWALK. PROVIDE 3'-0" WIDE

OCCUPANCY	SQ. FOOTAGE	SPACES/SF	PARKING SPACES
MANUFACTURING	17812 SF	1/1000	18
WAREHOUSE	9003 SF	1/2000	5
OFFICE	3321 SF	1/200	17

PARKING SPACES REQUIRED:	40
TOTAL PARKING SPACES PROVIDED:	39
MOTORCYCLE PARKING SPACES REQ'D & PROV'D (IN ADDITION):	2
BICYCLE PARKING SPACES REQUIRED & PROVIDED:	3
HANDICAP PARKING SPACES REQUIRED & PROVIDED:	3

NOTE: PER THE OFF-STREET PARKING REGULATIONS, BUILDINGS CONSTRUCTED BEFORE OCTOBER 22, 1965 NEED SUPPLY PARKING ONLY TO THE EXTENT ON-PREMISE GROUND SPACE IS AVAILABLE.



1801 Rio Grande Boulevard, N.W.
Albuquerque, New Mexico
Phone: (505) 842-1113
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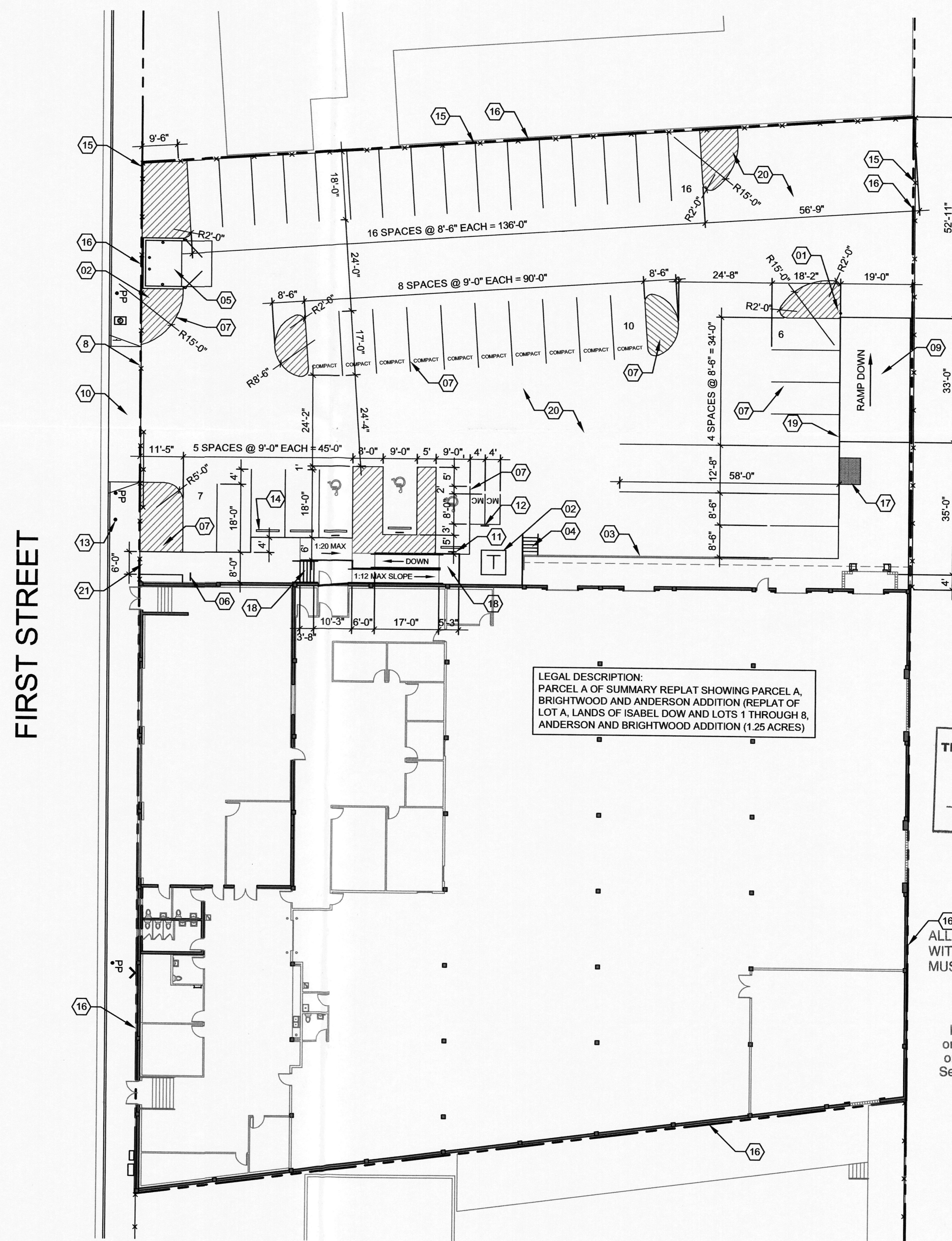
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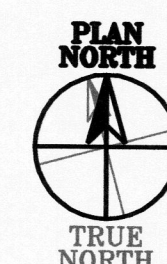
SITE PLAN

SHEET NUMBER
AS-101



**TRAFFIC CIRCULATION LAYOUT
APPROVED**

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

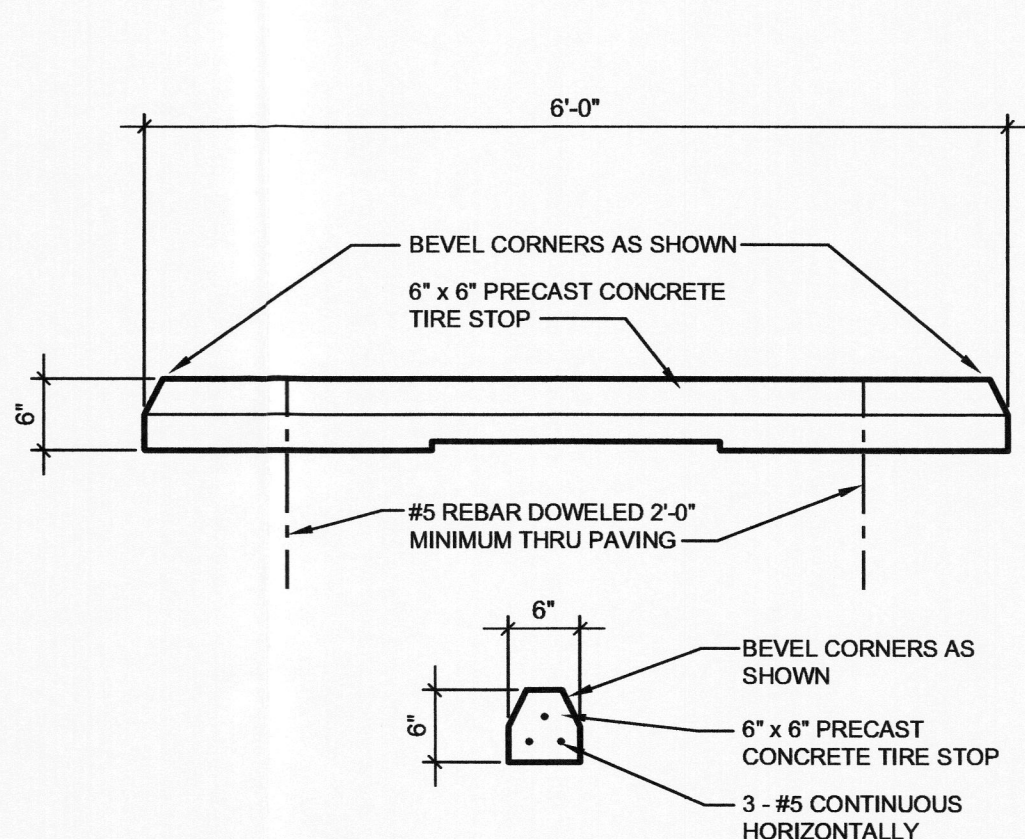


SITE PLAN

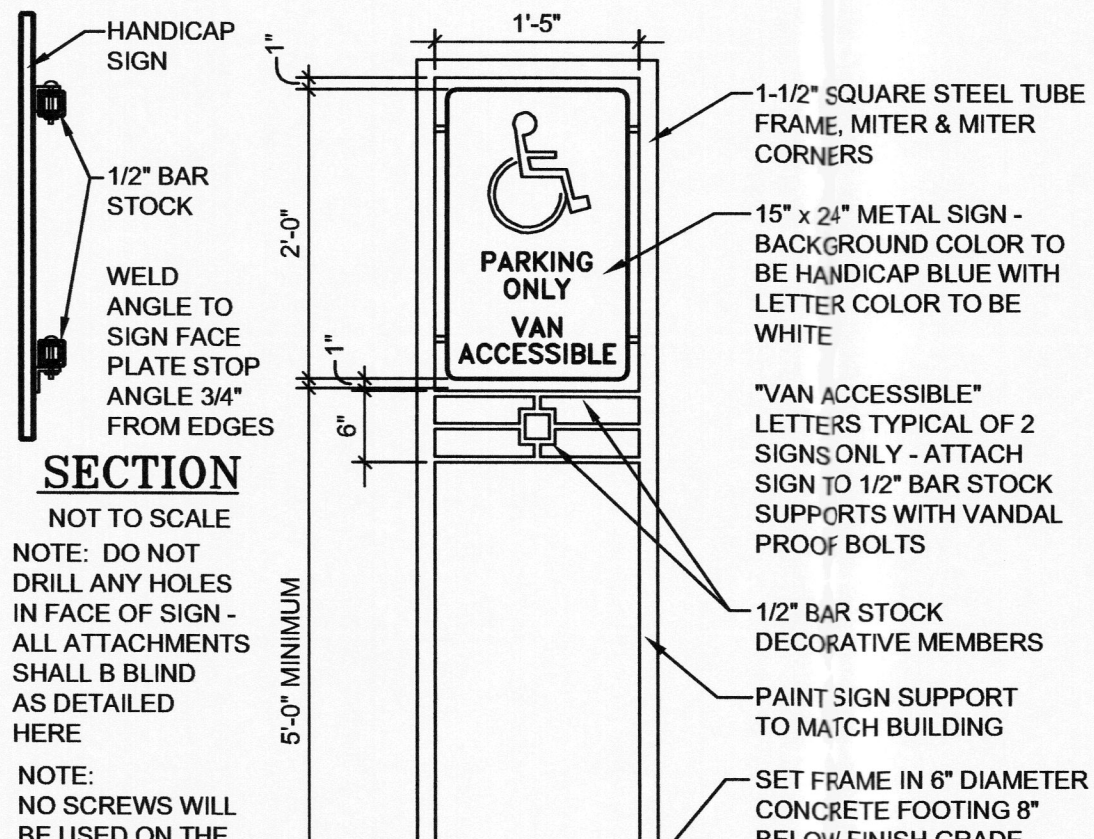
A1 SCALE: 1" = 20'



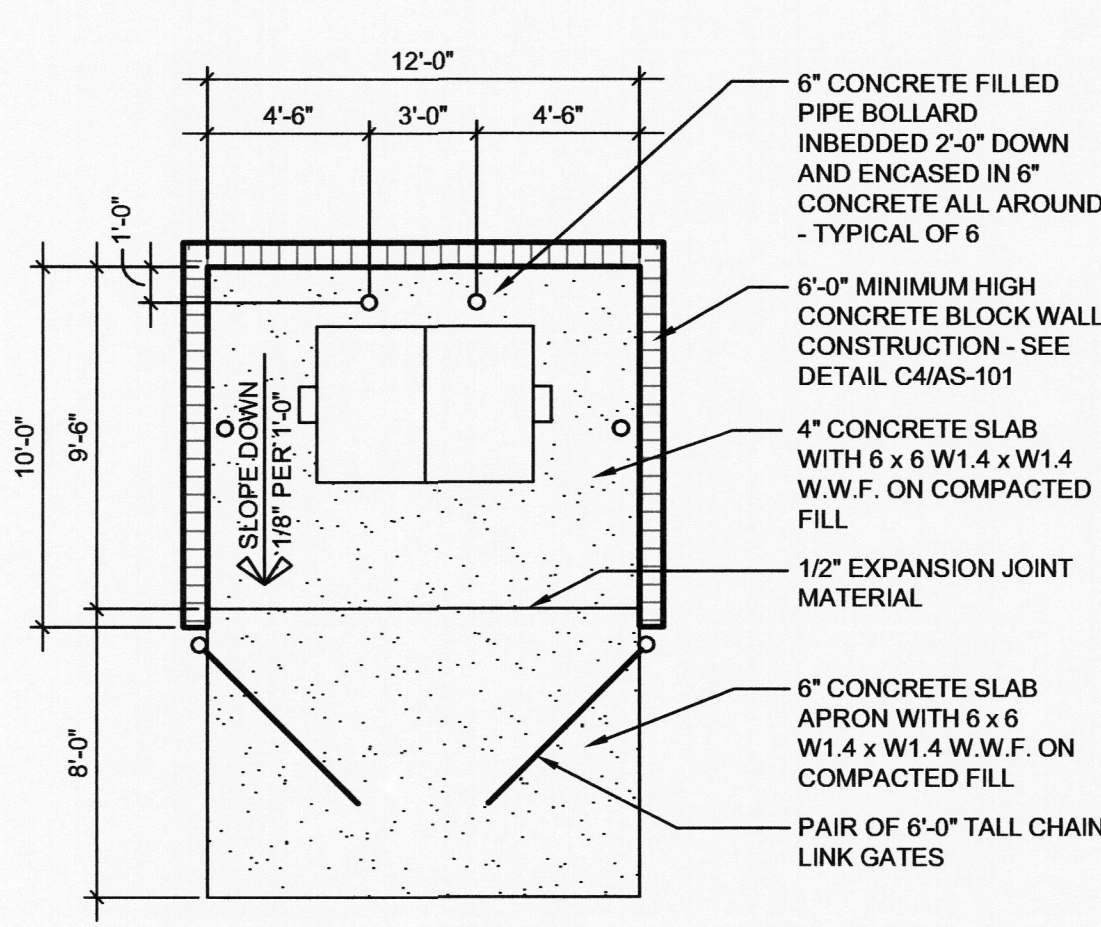
D1 J-14 VICINITY MAP
SCALE: NTS



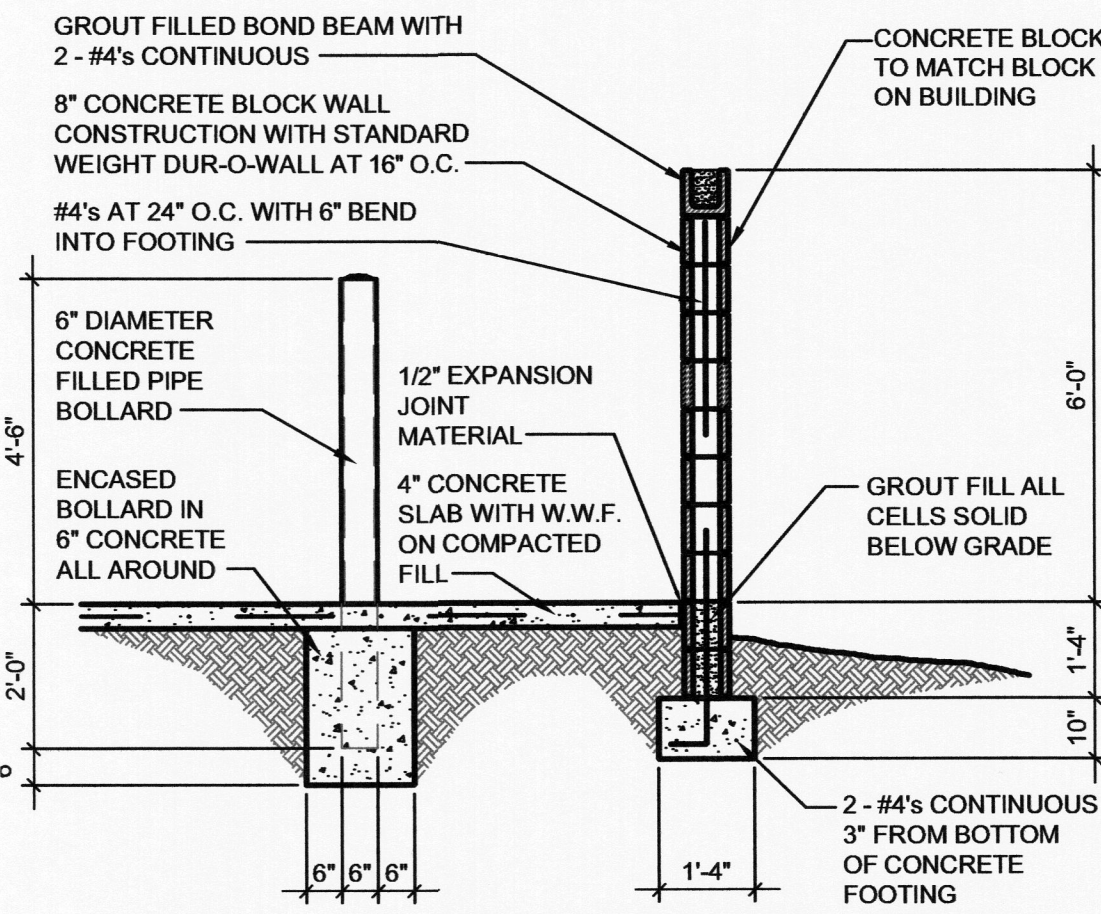
D2 PARKING BUMPER
SCALE: 3/4" = 1'-0"



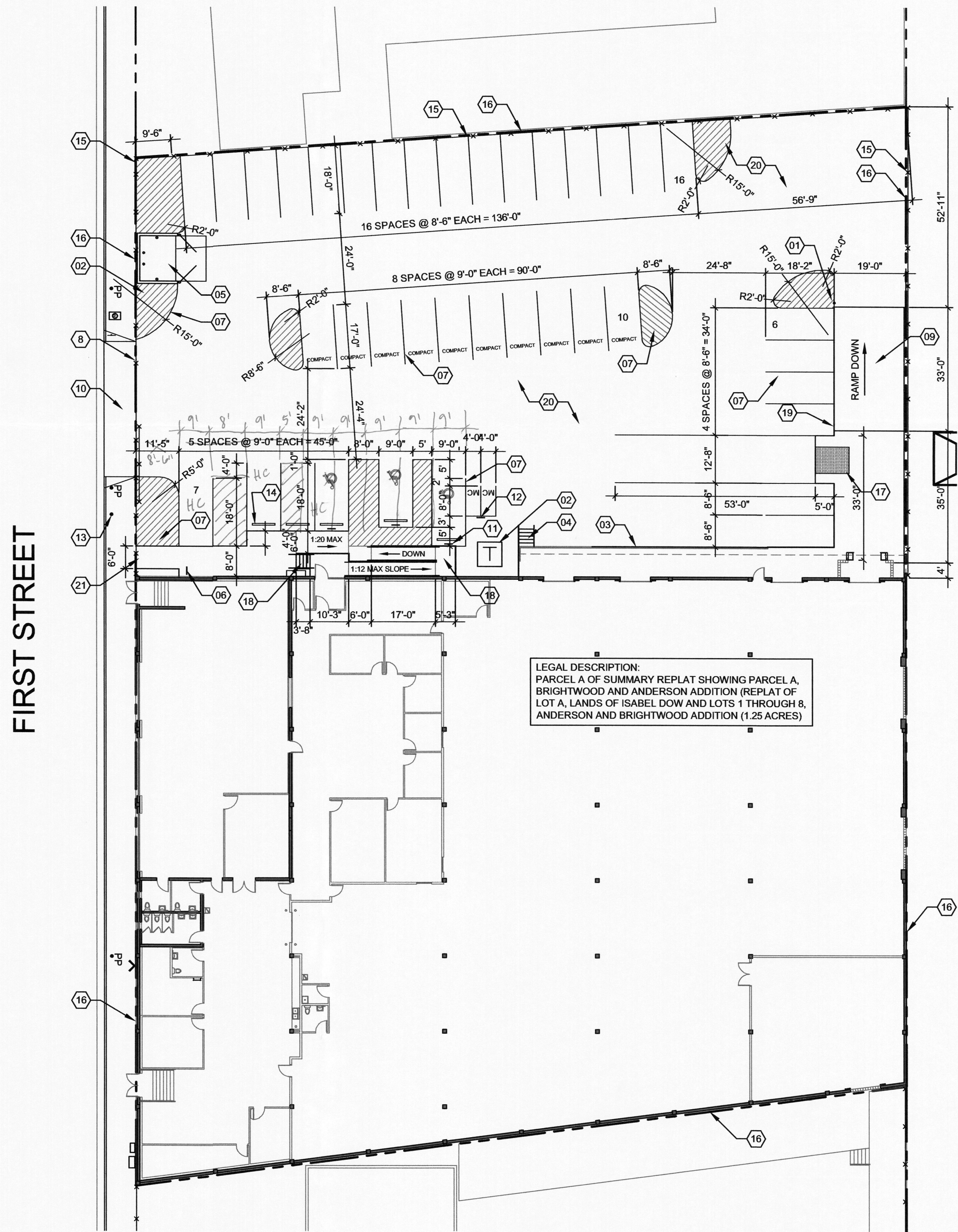
D3 HANDICAP SIGN
SCALE: 3/4" = 1'-0"



D4 TRASH ENCLOSURE
SCALE: 3/16" = 1'-0"



C4 ENCLOSURE WALL
SCALE: 3/8" = 1'-0"



SITE PLAN
SCALE: 1" = 20'

GENERAL SHEET NOTES

- SEE SHEET G-001 FOR GENERAL NOTES AND SYMBOLS.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION AND DEMOLITION.
- TREES AND SHRUBS SHALL BE PLANTED NO LESS THAN 3'-0" AWAY FROM ANY EXISTING OR NEW UNDERGROUND UTILITY LINES.

SHEET KEY NOTES

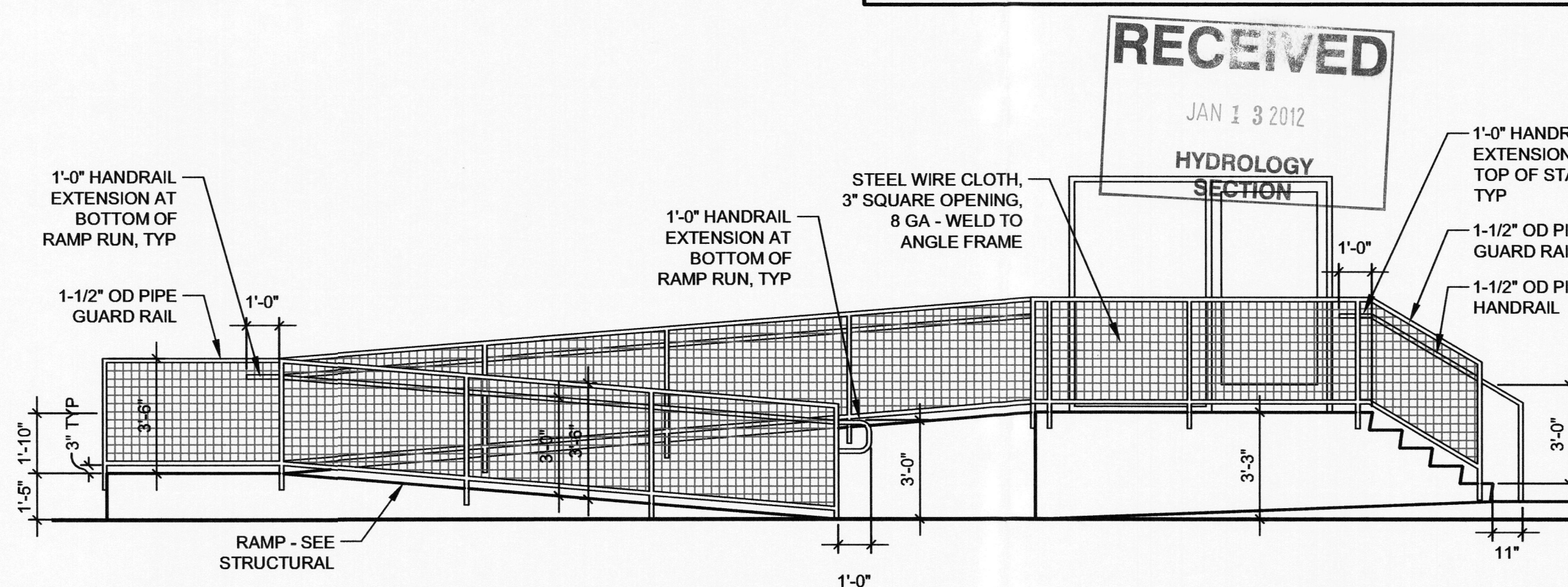
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PARKING ANALYSIS

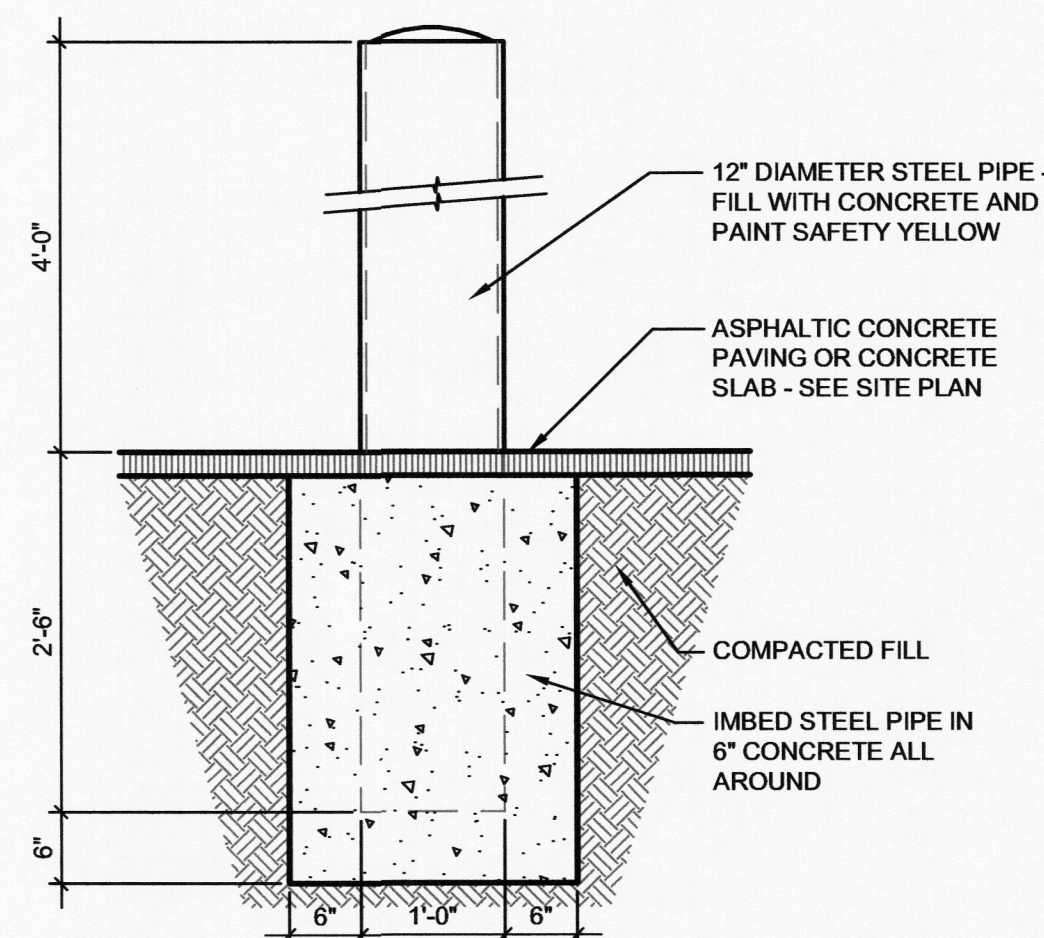
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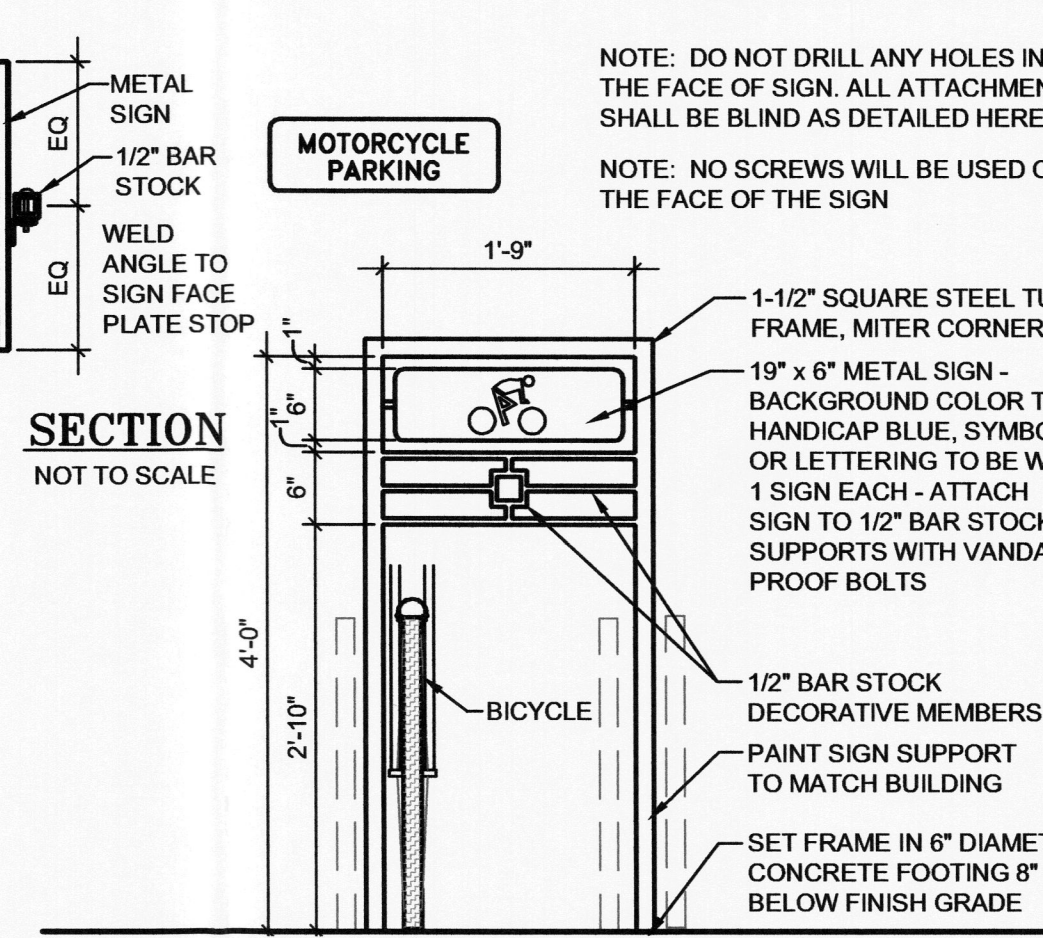
NOTE: PER THE OFF-STREET PARKING REGULATIONS, BUILDINGS CONSTRUCTED BEFORE OCTOBER 22, 1985 NEED SUPPLY PARKING ONLY TO THE EXTENT ON-PREMISE GROUND SPACE IS AVAILABLE.



B4 RAMP ELEVATION
SCALE: 1/4" = 1'-0"



A4 EXTERIOR BOLLARD
SCALE: 3/4" = 1'-0"



A5 BIKE RACK SIGN
SCALE: 3/4" = 1'-0"



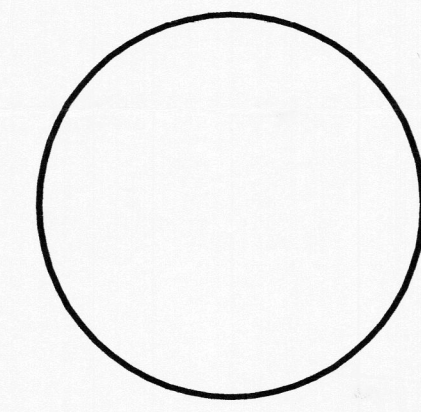
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MARK	DATE	REVISIONS	DESCRIPTION
	10/5/11	REVISIONS	
	7/27/11	PLAN REVIEW REVISIONS	

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SITE PLAN

SHEET NUMBER

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