

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

October 22, 2015

Denise Hammer
Wright & Hammer Architects
1217 Aliso Dr., NE
Albuquerque, NM 87110

**Re: AHCH First Street Campus Expansion
1220 First St., NW
Certificate of Occupancy – Transportation Development
Engineer's/Architect's Stamp dated 12-5-14 (J14-D172)
Certification dated 10-20-15**

Dear Ms. Hammer,

Based upon the information provided in your submittal received 10-20-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 - KDM)

PROJECT TITLE: AHCH First Street Campus Expansion ZONE MAP: J-14 D172
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot A-1 Block 20 Paris Addition
 CITY ADDRESS: 1220 First Street NW 87102

ENGINEERING FIRM: High Mesa Consulting Group CONTACT: J. Graeme Means, PE
 ADDRESS: 6010 Midway Park Blvd. NE PHONE: 505-345-4250
 CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87109

OWNER: Albuquerque Health Care for the Homeless CONTACT: Chuck Frink
 ADDRESS: 1217 First Street NW PHONE: 505-550-3881
 CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87102

ARCHITECT: Wright and Hammer Architects CONTACT: Denise Hammer
 ADDRESS: 1735 Aliso Drive, NE PHONE: 505-266-6764
 CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87110

SURVEYOR: High Mesa Consulting Group Charles G. Cala, Jr. NMPS
 ADDRESS: 6010 Midway Park Blvd. NE CONTACT: #11184
 CITY, STATE: Albuquerque, New Mexico PHONE: 505-345-4250
 ZIP CODE: 87109

CONTRACTOR: Enterprise Builders Corporation CONTACT: Chris Baca, VP
 ADDRESS: P.O. Box 3987 PHONE: 505-264-3955
 CITY, STATE: Albuquerque, NM ZIP CODE: 87190

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

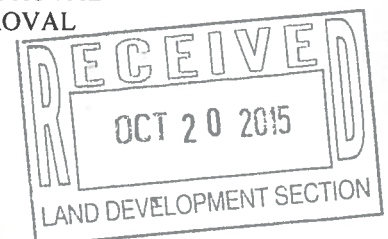
CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (FINAL)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 20 OCT, 2015 BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

TRAFFIC CERTIFICATION

20 OCTOBER, 2015

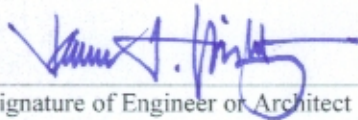
ALBUQUERQUE HEALTH CARE FOR THE HOMELESS
1220 FIRST STREET, NW, ALBUQUERQUE, NM 87102
BUILDING PERMIT # T201492749 DATE: 12-10-14

I, JAMES WRIGHT, NMRA #1342, OF THE FIRM WRIGHT AND HAMMER ARCHITECTS, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12-05-2014. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 10-20-2015 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A FINAL CERTIFICATE OF OCCUPANCY.

NO EXCEPTIONS:

THERE ARE NO OUTSTANDING ITEMS THAT NEED TO BE CONSTRUCTED AND NO ITEMS THAT APPEAR TO HAVE BEEN BUILT OUT OF 'SUBSTANTIAL COMPLIANCE.'

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

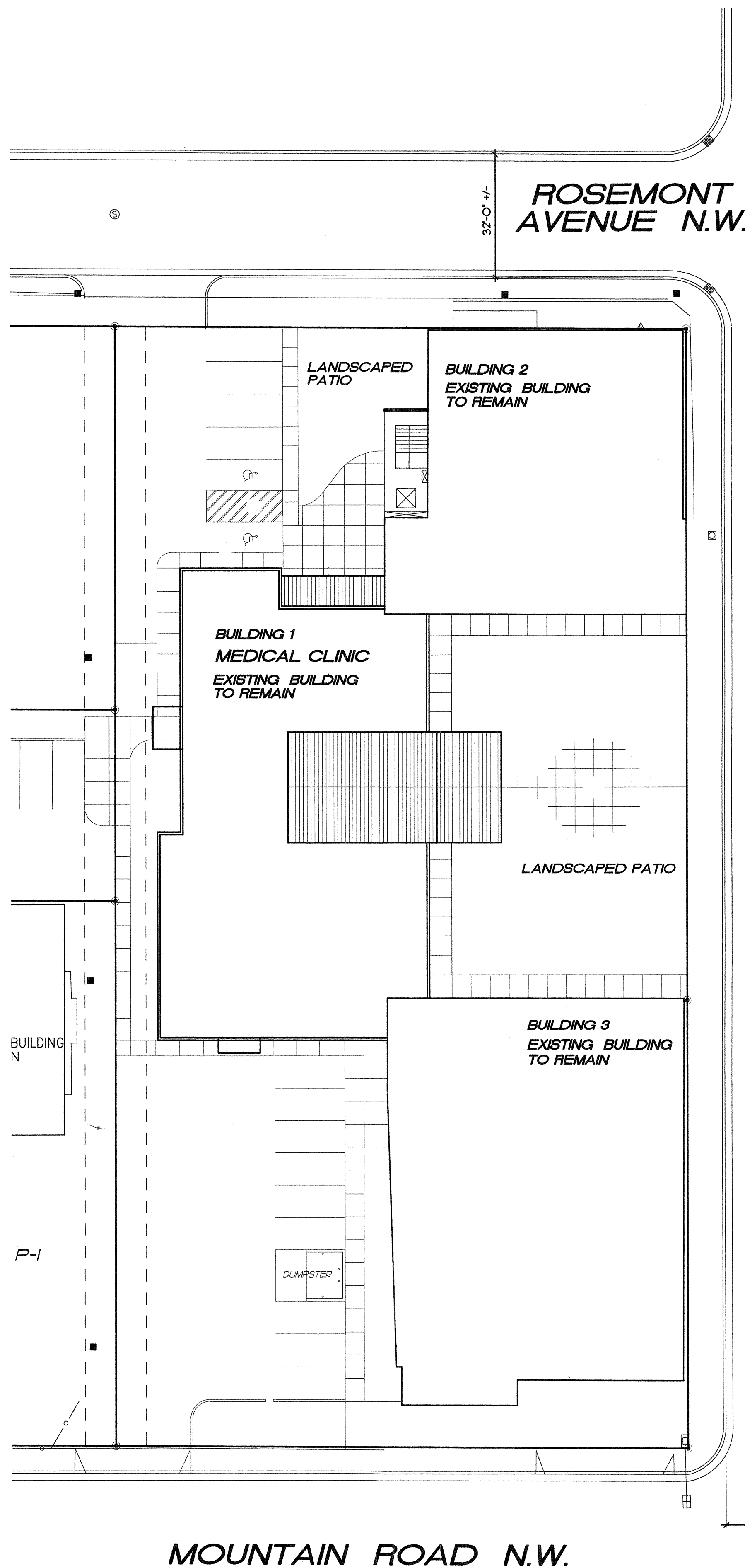


Signature of Engineer or Architect

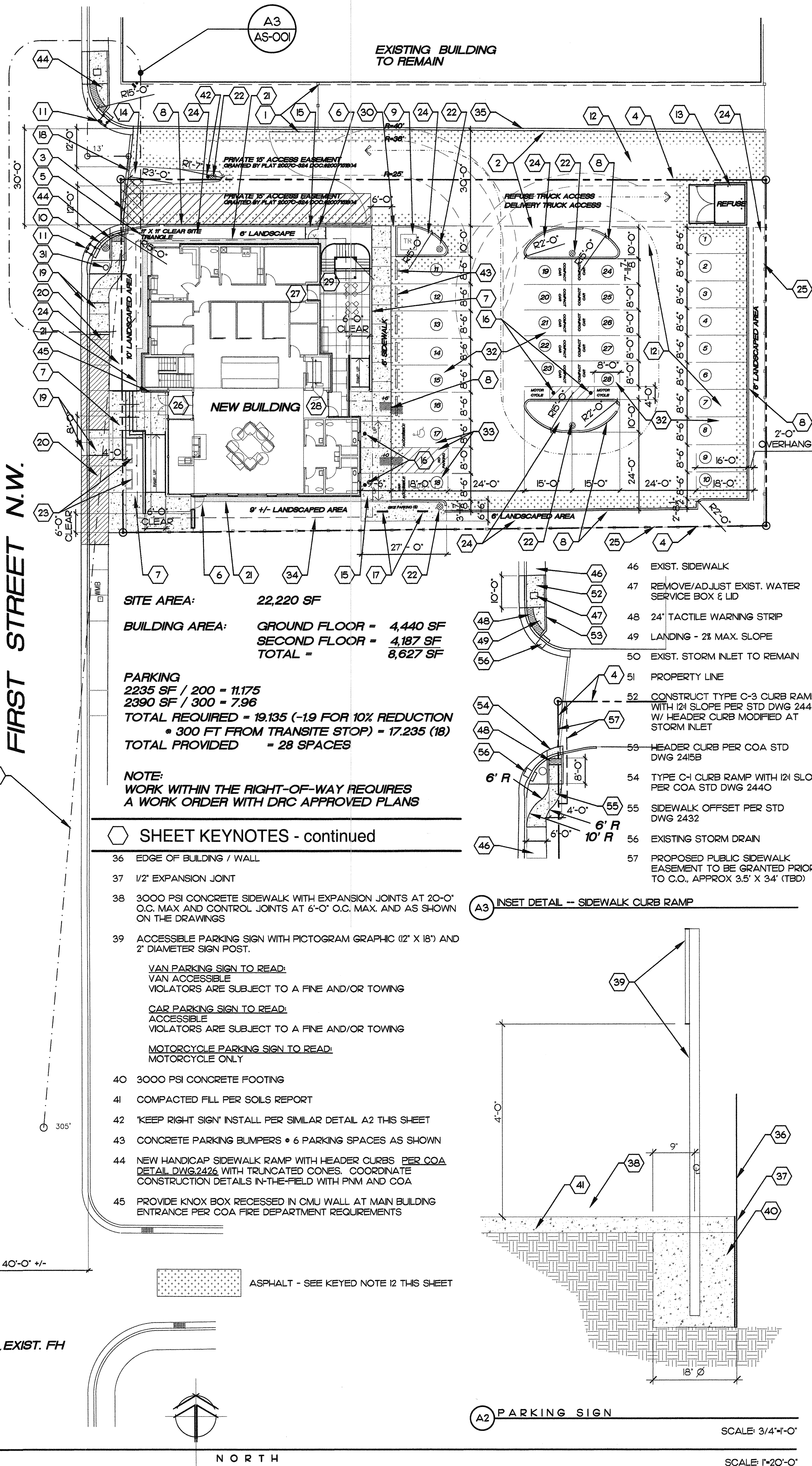
ENGINEER'S OR ARCHITECT'S STAMP

10/20/2015
Date

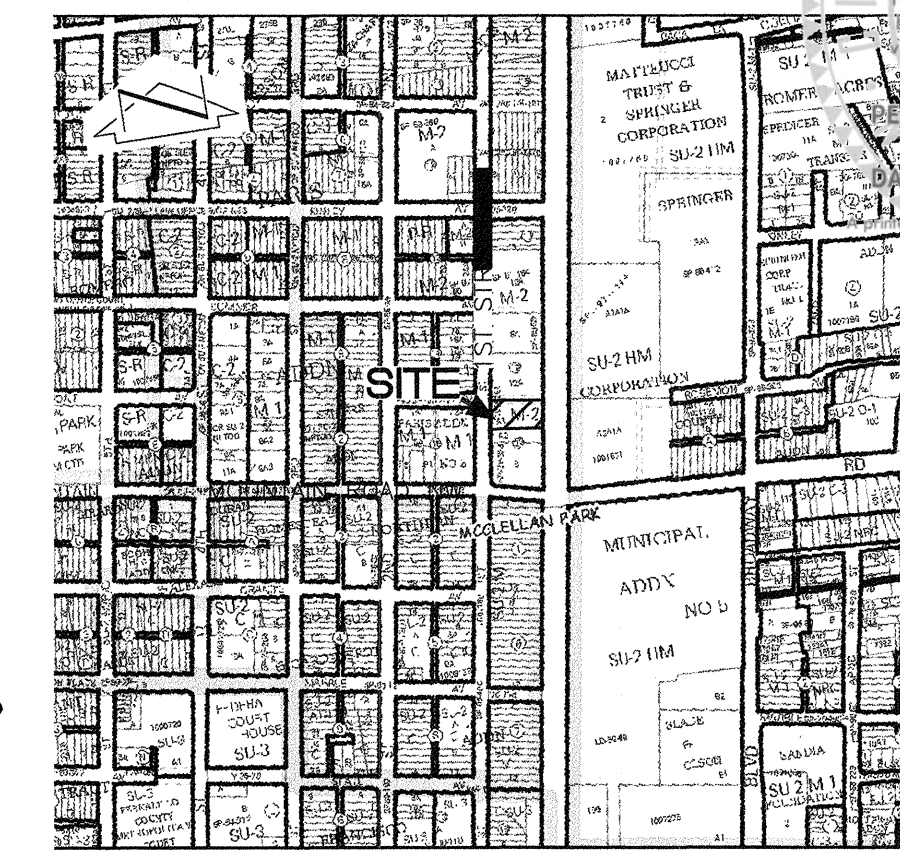




FIRST STREET N.W.



SITE LOCATION MAP: J-14



PROPERTY DESCRIPTION

ADDRESS:
1220 FIRST STREET NW ALBUQUERQUE, NM

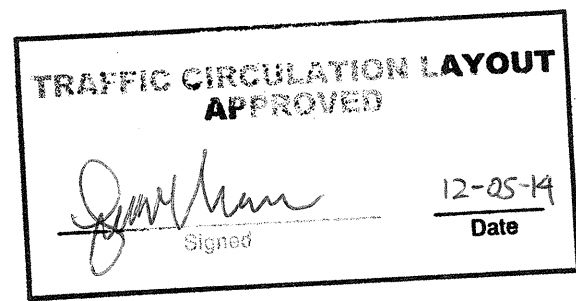
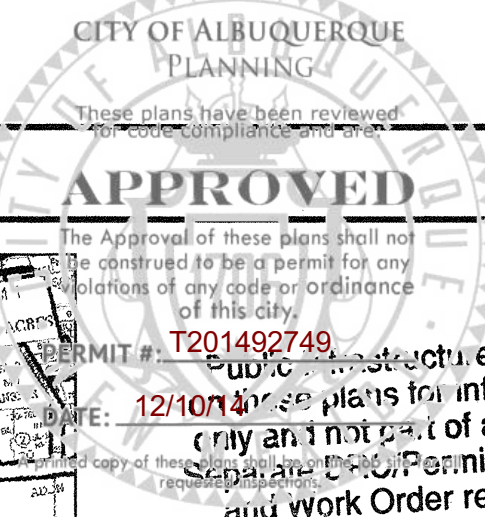
LEGAL DESCRIPTION:
LOT A-1, BLOCK 20, PARIS ADDITION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 31, 2007, BOOK 2007C, PAGE 324, DOC. #2007151804.

TYPE OF DEVELOPMENT

OFFICE BUILDING SOCIAL SERVICES

SHEET KEYNOTES

1. TUBE STEEL FENCING AND APPROXIMATE 30'-0" WIDE DOUBLE-SWINGING AUTOMATIC GATE WITH KNOX BOX SWITCH PER FIRE DEPARTMENT REQUIREMENTS. EXTEND TO EXISTING AND NEW BUILDINGS - SEE DETAILS
2. EXISTING 30'-0" WIDE ACCESS EASEMENT
3. GAS COMPANY OF NM EASEMENT
4. PROPERTY LINE, TYPICAL
5. UNOBSTRUCTED LINE OF SIGHT FROM EXISTING VEHICLE - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA
6. TUBE STEEL PEDESTRIAN GATE. SEE DETAIL
7. EXTERIOR CONCRETE PAVEMENT / STAIRS / RAMP / PATIO / WALLS. SEE ENLARGED PLAN
8. NEW 6" CONCRETE CURB OR RAISED SIDEWALK. SEE DETAIL
9. ELECTRICAL TRANSFORMER LOCATION. INSTALLATION PER PNM REQUIREMENTS. SEE ELECTRICAL PLANS
10. PNM TO REPLACE EXISTING ELECTRICAL POLE WITH FREESTANDING POLE (NO GUY WIRE). POLE SHALL BE RELOCATED 18' BEHIND FACE OF CURB
11. EXISTING STORM DRAIN
12. PARKING LOT: NEW ASPHALT PAVEMENT - 4-1/2" THICK * PARKING SPACES, 6" THICK * DRIVE AREAS. SEE GRADING PLAN AND SOILS REPORT FOR ADDITIONAL REQUIREMENTS -- 1% MINIMUM / 8% MAXIMUM SLOPE PER GRADING AND DRAINAGE PLAN
13. CMU DUMPSTER ENCLOSURE. SEE ENLARGED PLAN AND DETAIL
14. CONCRETE MOUNTABLE ROLL TYPE CURB PER COA DETAIL DWG.2415, PAINT YELLOW
15. NEW SITE INTERIOR CONCRETE SIDEWALK. SEE DETAIL
16. ACCESSIBLE PARKING / MOTORCYCLE PARKING SIGNAGE. SEE DETAIL
17. TWO (2) BIKE PARKING RACKS INSTALLED TO ACCOMMODATE A TOTAL OF 8 BIKES. SEE SITE PLAN FOR ADDITIONAL INFORMATION
18. EXISTING STREET PAVEMENT TO REMAIN. TRANSITION TO ASPHALT PRIVATE DRIVE PER COA DETAIL DWG.2426
19. EXISTING STREET CURB/GUTTER TO REMAIN. REPLACE EXISTING SIDEWALK PER COA DETAIL DWG.2430
20. NEW SIDEWALK AND STANDARD CURB/GUTTER TO REPLACE EXISTING CURB CUTS PER COA DETAILS DWG.2415 AND 2430 (REPLACES REMOVED CURB CUTS)
21. 18" WIDE BUILDING PERIMETER CONCRETE APRON. SEE DETAIL
22. LIGHT POLE WITH RAISED CONCRETE PEDESTAL. SEE ELECTRICAL PLANS
23. EXTERIOR BENCHES INSTALLED IN CONCRETE FOOTINGS IN LANDSCAPED AREA PER MANUFACTURER'S RECOMMENDATIONS. SEE SPECIFICATIONS
24. LANDSCAPED AREA. SEE LANDSCAPE PLANTING PLAN
25. NEW 6'-0" HIGH CHAIN-LINK PERIMETER FENCE. SEE DETAIL
26. PRIMARY BUILDING FRONT ENTRANCE
27. PRIMARY BUILDING REAR ENTRANCE
28. GROUND FLOOR EXIT
29. SECOND FLOOR EXIT VIA STAIR
30. CONCRETE RUNDOWN PER GRADING PLAN
31. NEW FIRE HYDRANT TO BE INSTALLED UNDER A SEPARATE PERMIT AND WITHIN 100' OF THE NEW FDC
32. PARKING AREAS WITH 6% MAXIMUM SLOPE, TYPICAL
33. ACCESSIBLE PARKING SPACES WITH SLOPE OF 2% MAXIMUM. THE WORDS 'NO PARKING' IN THE ACCESS AISLE SHALL BE AT LEAST 1'-0" HIGH AND AT LEAST 2" WIDE
34. LIMITS OF AREA REMOVED FROM FLOODPLAIN
35. NEW CONCRETE OUT-OFF WALL, FLUSH WITH ASPHALT PER COA DETAIL DWG.2415B

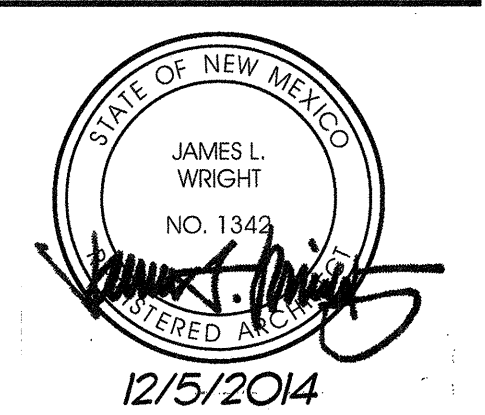


ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

CITY OF ALBUQUERQUE - eSTAMP

WRIGHT AND HAMMER ARCHITECTS

CONTACT INFORMATION:
DENISE HAMMER, PROJECT ARCHITECT
1735 ALISO DRIVE, NE
ALBUQUERQUE, NM 87110
505-266-6764
Denise@WrightandHammer.com



PROJECT CONSULTANTS:

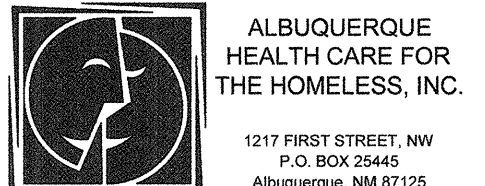
CIVIL ENGINEER:
HIGH MESA CONSULTING GROUP

LANDSCAPING:
BY ARCHITECT

STRUCTURAL ENGINEER:
JK GROUP

MECHANICAL ENGINEER:
ARSED ENGINEERING

ELECTRICAL ENGINEER:
ALLIED ENGINEERING & DESIGN



HEALTH CARE
for the homeless

FIRST STREET
CAMPUS EXPANSION
1220 FIRST STREET, NW
ALBUQUERQUE, NEW MEXICO

OWNER'S CONTACT:
CHUCK FRANK,
FACILITIES MANAGER
1217 FIRST STREET, NW
P.O. BOX 25445
ALBUQUERQUE, NM 87125
505-787-1182

MARK	DATE	DESCRIPTION
2	11/17/14	REVISION
1	10/23/14	REVISION
9/26/14		ISSUE DATE
ISSUE INFORMATION		
PROJECT NO.: 0303.001.40109		
COPYRIGHT: WRIGHT & HAMMER ARCHITECTS 2014		

TRAFFIC
CIRCULATION
LAYOUT

AS-001