



**Planning Department
Transportation Development Services**

October 30, 2014

Denise Hammer
Wright and Hammer Architects
1735 Aliso Drive NE
Albuquerque, NM 87110

**Re: Health Care for the Homeless, 1220 First Street NW
Traffic Circulation Layout**
Architect's Stamp dated 9-26-14 (J14-D172)

Dear Ms. Hammer,

Thank you for your updated site plan based on prior comments. Based upon the information provided in your submittal received 10-29-14, the following comments need to be addressed prior to approval for Building Permit:

PO Box 1293

Albuquerque

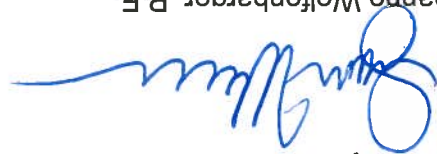
New Mexico 87103

www.cabq.gov

1. After reviewing the provided plat, there still needs to be some verification that the property owner to the north is in approval of the construction within his property. You may achieve this by having him sign a letter that he approves the paving improvements shown on the latest and greatest site plan or by having him give his signature on a copy of the latest site plan.
2. The wheelchair ramps across the 30-foot access easement look good in concept along with some of the dimensions that were added. However, the City of Albuquerque is unable to approve the site plan showing that the remaining construction details can be worked out in the field. Show the remaining details including remaining wheelchair ramp and truncated dome area dimensions, proposed easement dimensions, required slopes, and dimensioning and call-out of header curb. (The proposed spot elevations look like they will work to provide the required 2% cross-slope across the 30-foot access easement. Proceed to call out the 2% maximum cross-slope across the 30-foot easement.) Provide this detail within the set of plans.
3. Coordinate with Jane Rael (924-3992) regarding the required sidewalk easement for the south wheelchair ramp. The provided easement document is a separate document that needs to be done by a professional surveyor. To help you expedite the process of getting the project constructed, make sure that the easement is approved prior to Certificate of Occupancy. It does not have to be done prior to getting the Traffic Circulation Layout approved.

Resubmit the final package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3924.

Sincerely,

A handwritten signature in blue ink, appearing to read "Jeanne Wolfenbarger".

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Albuquerque Healthcare for the Homeless First Street Expansio Building Permit #: 201492749 City Drainage #: J-14/D172

DRB#: 1005251 EPC#: _____ Work Order#: _____

Legal Description: Tract A, Albuquerque Healthcare for the Homeless, Inc.

City Address: 1220 First Street NW

Engineering Firm: High Mesa Consulting Group Contact: Graeme Means #13676

Address: 6010-B Midway Park Blvd NE, Albuquerque, NM 87109

Phone#: 345-4250 Fax#: _____ E-mail: gmeans@highmesacg.com

Owner: Albuquerque Healthcare for the Homeless Contact: Architect

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: Wright and Hammer Architects Contact: Denise Hammer

Address: 1735 Aliso Dirve NE

Phone#: 266-6764 Fax#: _____ E-mail: denise@wrightandhammer.com

Surveyor: High Mesa Consulting Group Contact: Chuck Cala #11184

Address: 6010-B Midway Park Blvd NE, Albuquerque, NM 87109

Phone#: 345-4250 Fax#: _____ E-mail: ccala@highmesacg.com

Contractor: Not yet Selected Contact: _____

Address: _____

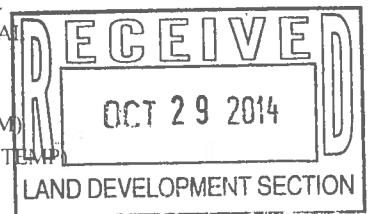
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☒ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: 10/29/14 By: Denise Hammer

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

W R I G H T A N D H A M M E R A R C H I T E C T S

29 October, 2014

Ms. Jeanne Wolfenbarger, P.E.
City of Albuquerque
Senior Engineer, Planning Department
Development and Building services
P.O. Box 1293
Albuquerque, NM 87103

Re: AHCH Albuquerque Health Care for the Homeless, 1220 First Street NW,
Traffic Circulation Layout
Architect's Stamp dated 9-26-14 (J14-D172)

Dear Ms. Wolfenbarger:

Based on your letter dated 10-15-2014, please find the enclosed revisions to the Traffic Circulation Layout originally submitted on 10-10-2014, as well as the following responses to address your comments:

1. The Owner is trying to provide additional off-street parking to alleviate the congestion of on-street parking in the area. Some staff members from AHCH located across the street will use this parking lot.
2. Street widths are shown on the original drawing. The Rosemont dimension is located near the street label and the First Street dimension is located at the intersection of First and Mountain. The easement has been labeled as "Private 15-foot Access easement".
3. Handicapped spaces have been revised.
4. Parking spaces are 18' deep with 2' overhang. This is clarified on the revised drawing.
5. Detail was originally provided on sheet SITE501, and has been added to SITE000 (AS-001).
6. "No Parking" text size has been added to Keyed Note #33.
7. Radii at curb entrance, wheelchair ramps, and lane widths have been indicated on the revised drawing.
8. New PNM pole will be relocated 18" behind face of curb as shown on revised drawing.
9. "Keep Right" sign and yellow paint have been added to keyed Note #14.
10. Ramp has been widened to 6'-0" clear.
11. Ramp has been widened to 6'-0" clear.
12. 6" curbs were originally identified by elevation changes. Keyed Note #8 has been modified to also include this information.
13. Delivery route has been identified.
14. Keyed Note #12 originally indicated asphalt. This note has been modified to clarify the thickness.
15. Keyed Note #5 has been modified to include additional clarification regarding the clear sight triangle.
16. Easement was Granted by PLAT 2007C-324 (Doc.#2007151804) and this has been uploaded to the Documents Folder on the City Electronic Transmission site.
17. Per your previous e-mail, no DRC approval is required.
18. Two copies of revised drawing are included.

If you have further questions, please contact me at 266-6764.

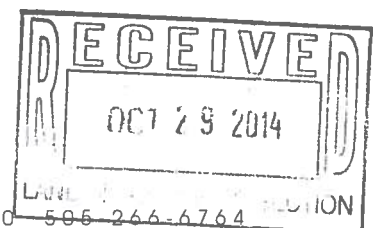
Sincerely,

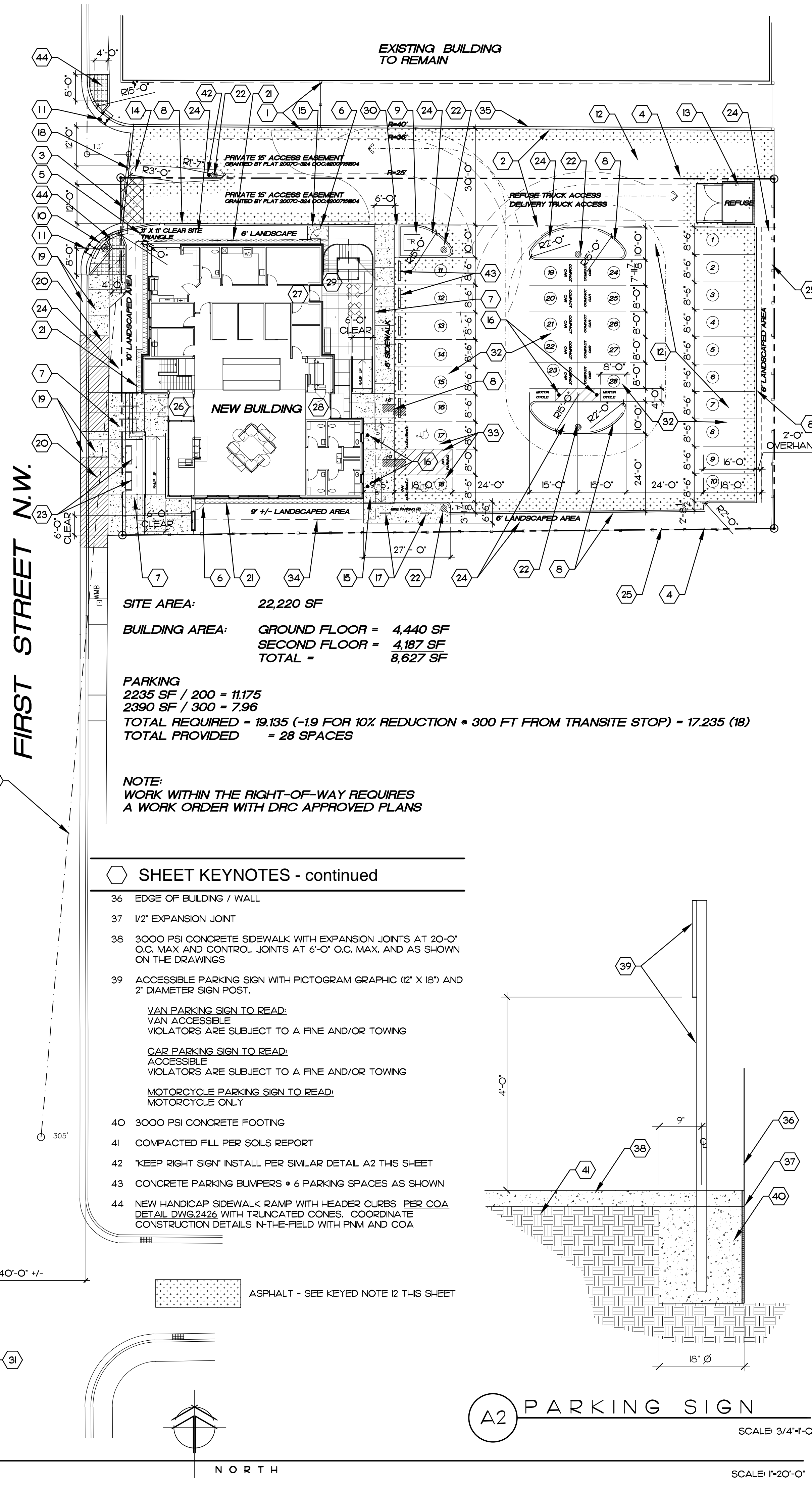
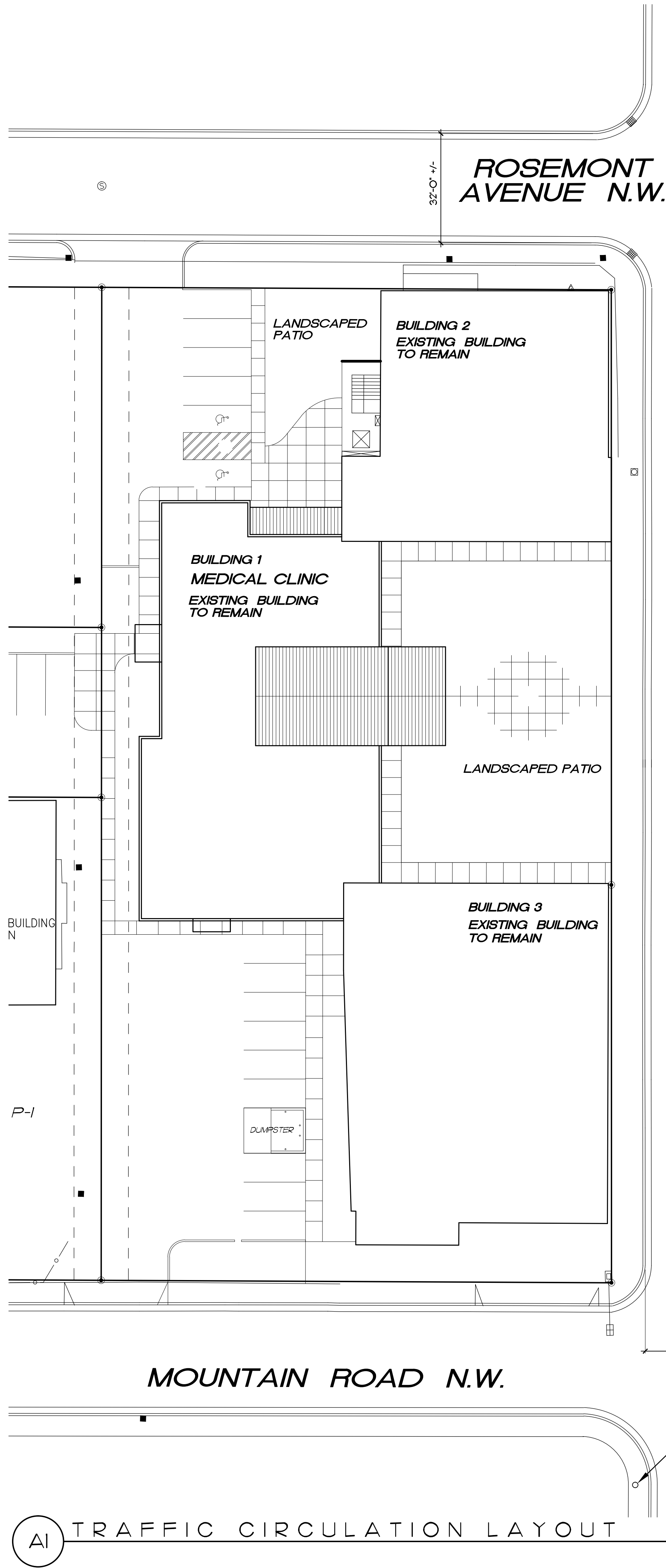


Denise Hammer, Architect

Enclosures:

Sheet AS-001, revised and dated 10-23-2014 (2 copies)

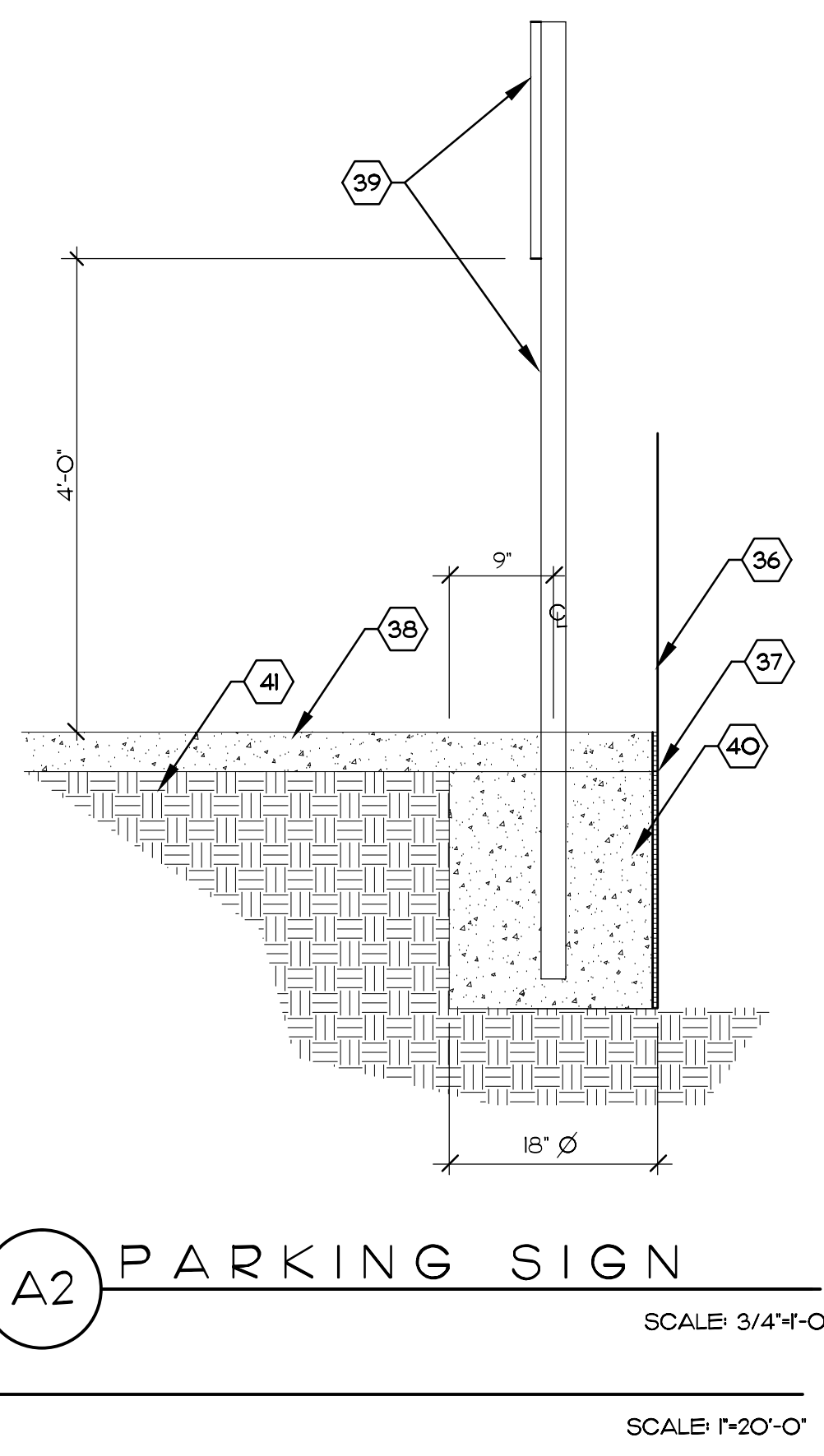




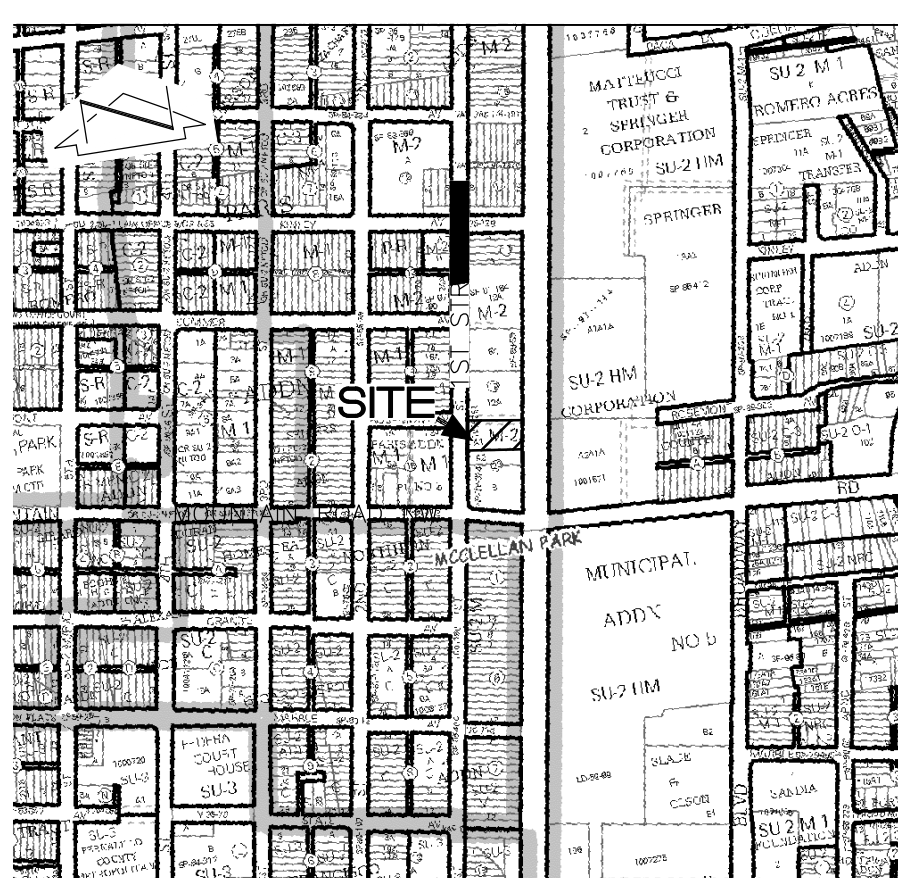
SITE AREA: 22,220 SF
BUILDING AREA: GROUND FLOOR = 4,440 SF
SECOND FLOOR = 4,187 SF
TOTAL = 8,627 SF
PARKING
2235 SF / 200 = 11.175
2390 SF / 300 = 7.96
TOTAL REQUIRED = 19,135 (-19 FOR 10% REDUCTION • 300 FT FROM TRANSITE STOP) = 17,235 (18)
TOTAL PROVIDED = 28 SPACES
NOTE:
WORK WITHIN THE RIGHT-OF-WAY REQUIRES
A WORK ORDER WITH DRC APPROVED PLANS

SHEET KEYNOTES - continued

- 36 EDGE OF BUILDING / WALL
- 37 1/2" EXPANSION JOINT
- 38 3000 PSI CONCRETE SIDEWALK WITH EXPANSION JOINTS AT 20'-0" O.C. MAX. AND CONTROL JOINTS AT 6'-0" O.C. MAX. AND AS SHOWN ON THE DRAWINGS
- 39 ACCESSIBLE PARKING SIGN WITH PICTOGRAM GRAPHIC (12" X 18") AND 2" DIAMETER SIGN POST.
VAN PARKING SIGN TO READ:
VAN ACCESSIBLE
VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING
CAR PARKING SIGN TO READ:
ACCESSIBLE
VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING
MOTORCYCLE PARKING SIGN TO READ:
MOTORCYCLE ONLY
- 40 3000 PSI CONCRETE FOOTING
- 41 COMPACTED FILL PER SOILS REPORT
- 42 "KEEP RIGHT SIGN" INSTALL PER SIMILAR DETAIL A2 THIS SHEET
- 43 CONCRETE PARKING BUMPERS • 6 PARKING SPACES AS SHOWN
- 44 NEW HANDICAP SIDEWALK RAMP WITH HEADER CURBS PER COA DETAIL DWG.2426 WITH TRUNCATED CONES. COORDINATE CONSTRUCTION DETAILS IN-THE-FIELD WITH PNM AND COA



SITE LOCATION MAP: J-14



PROPERTY DESCRIPTION

ADDRESS:
1220 FIRST STREET NW ALBUQUERQUE, NM
LEGAL DESCRIPTION:
LOT A-I, BLOCK 20, PARIS ADDITION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 31, 2007, BOOK 2007C, PAGE 324, DOC. #200751804.

TYPE OF DEVELOPMENT

OFFICE BUILDING SOCIAL SERVICES

SHEET KEYNOTES

- 1 TUBE STEEL FENCING AND APPROXIMATE 30'-0" WIDE DOUBLE-SWINGING AUTOMATIC GATE WITH KNOX BOX PER FIRE DEPARTMENT REQUIREMENTS, EXTEND TO EXISTING AND NEW BUILDINGS -- SEE DETAILS
- 2 EXISTING 30'-0" WIDE ACCESS EASEMENT
- 3 GAS COMPANY OF NM EASEMENT
- 4 PROPERTY LINE, TYPICAL
- 5 UNOBSTRUCTED LINE OF SIGHT FROM EXISTING VEHICLE - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA
- 6 TUBE STEEL PEDESTRIAN GATE. SEE DETAIL
- 7 EXTERIOR CONCRETE PAVEMENT / STAIRS / RAMP / PATIO / WALLS. SEE ENLARGED PLAN
- 8 NEW 6" CONCRETE CURB OR RAISED SIDEWALK. SEE DETAIL
- 9 ELECTRICAL TRANSFORMER LOCATION. INSTALLATION PER PNM REQUIREMENTS. SEE ELECTRICAL PLANS
- 10 PNM TO REPLACE EXISTING ELECTRICAL POLE WITH FREESTANDING POLE (NO GUY WIRE). POLE SHALL BE RELOCATED 15' BEHIND FACE OF CURB
- 11 EXISTING STORM DRAIN
- 12 PARKING LOT: NEW ASPHALT PAVEMENT - 4-1/2" THICK • PARKING SPACES, 6" THICK • DRIVE AREAS. SEE GRADING PLAN AND SOILS REPORT FOR ADDITIONAL REQUIREMENTS -- 1% MINIMUM / 5% MAXIMUM SLOPE PER GRADING AND DRAINAGE PLAN
- 13 CNU DUMPSTER ENCLOSURE. SEE ENLARGED PLAN AND DETAIL
- 14 CONCRETE MOUNTABLE ROLL TYPE CURB PER COA DETAIL DWG.2415, PAINT YELLOW
- 15 NEW SITE INTERIOR CONCRETE SIDEWALK. SEE DETAIL
- 16 ACCESSIBLE PARKING / MOTORCYCLE PARKING SIGNAGE. SEE DETAIL
- 17 TWO (2) BKE PARKING RACKS INSTALLED TO ACCOMMODATE A TOTAL OF 8 BIKES. SEE SITE PLAN FOR ADDITIONAL INFORMATION
- 18 EXISTING STREET PAVEMENT TO REMAIN. TRANSITION TO ASPHALT PRIVATE DRIVE PER COA DETAIL DWG.2426
- 19 EXISTING STREET CURB/GUTTER TO REMAIN. REPLACE EXISTING SIDEWALK PER COA DETAIL DWG.2430
- 20 NEW SIDEWALK AND STANDARD CURB/GUTTER TO REPLACE EXISTING CURB CUTS PER COA DETAILS DWG.2415 AND 2430 (REPLACES REMOVED CURB CUTS)
- 21 18" WIDE BUILDING PERIMETER CONCRETE APRON. SEE DETAIL
- 22 LIGHT POLE WITH RAISED CONCRETE PEDESTAL. SEE ELECTRICAL PLANS
- 23 EXTERIOR BENCHES INSTALLED IN CONCRETE FOOTINGS IN LANDSCAPED AREA PER MANUFACTURER'S RECOMMENDATIONS. SEE SPECIFICATIONS
- 24 LANDSCAPED AREA. SEE LANDSCAPE PLANTING PLAN
- 25 NEW 6'-0" HIGH CHAIN-LINK PERIMETER FENCE. SEE DETAIL
- 26 PRIMARY BUILDING FRONT ENTRANCE
- 27 PRIMARY BUILDING REAR ENTRANCE
- 28 GROUND FLOOR EXIT
- 29 SECOND FLOOR EXIT VIA STAIR
- 30 CONCRETE RUNDOWN PER GRADING PLAN
- 31 EXISTING FIRE HYDRANT
- 32 PARKING AREAS WITH 6% MAXIMUM SLOPE, TYPICAL
- 33 ACCESSIBLE PARKING SPACES WITH SLOPE OF 2% MAXIMUM. THE WORDS 'NO PARKING' IN THE ACCESS AISLE SHALL BE AT LEAST 1'-0" HIGH AND AT LEAST 2" WIDE
- 34 LIMITS OF AREA REMOVED FROM FLOODPLAIN
- 35 NEW CONCRETE CUT-OFF WALL, FLUSH WITH ASPHALT PER COA DETAIL DWG.2415B

WRIGHT AND HAMMER
ARCHITECTS
1225 ALISO DRIVE, NE
ALBUQUERQUE, NM 87110
505-266-6764

CITY OF ALBUQUERQUE - eSTAMP

WRIGHT AND HAMMER ARCHITECTS

CONTACT INFORMATION:
DENISE HAMMER, PROJECT ARCHITECT
1735 ALISO DRIVE, NE
ALBUQUERQUE, NM 87110
505-266-6764
Denise@WrightandHammer.com

STATE OF NEW MEXICO
JAMES L. WRIGHT
NO. 1342
9/26/2014

PROJECT CONSULTANTS:

CIVIL ENGINEER:
HIGH MESA CONSULTING GROUP

LANDSCAPING:
BY ARCHITECT

STRUCTURAL ENGINEER:
JKK GROUP

MECHANICAL ENGINEER:
ARSED ENGINEERING

ELECTRICAL ENGINEER:
ALLIED ENGINEERING & DESIGN

ALBUQUERQUE
HEALTH CARE FOR
THE HOMELESS, INC.
1217 FIRST STREET, NW
P.O. BOX 25445
Albuquerque, NM 87125

HEALTH CARE
for the homeless
FIRST STREET
CAMPUS EXPANSION
1220 FIRST STREET, NW
ALBUQUERQUE, NEW MEXICO

OWNER'S CONTACT:
CHUCK FRINK,
FACILITIES MANAGER
1217 FIRST STREET, NW
P.O. BOX 25445
ALBUQUERQUE, NM 87125
505-767-1182

MARK	DATE	DESCRIPTION
1	10/23/14	REVISION
	9/26/14	ISSUE DATE

ISSUE INFORMATION
PROJECT NO.: 0303.001.40105
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WRIGHT & HAMMER ARCHITECTS 2014

TRAFFIC
CIRCULATION
LAYOUT

AS-001