



June 1, 2016

Kristin Stevens
Integrated Design & Architecture
906 ½ Park Ave., SW
Albuquerque, NM 87102

Re: **Cuatro**
1319 4th St., NW
Traffic Circulation Layout
Engineer's/Architect's Stamp **5-26-16** (J14-D173)

Dear Mrs. Stevens,

Based upon the information provided in your submittal received 5-26-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Label the compact parking spaces by placing the words "**COMPACT**" on the pavement of each space.
2. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**" Please call out detail and location of HC signs.
3. Show all drive aisle widths and radii.
4. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 ft. Landscape island radius for delivery trucks, fire trucks, etc. is 25 ft. or larger.
5. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3*). Please show this detail for Kinley Ave. and Summer Ave.
6. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
7. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
8. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
9. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
10. Please include two copies of the traffic circulation layout at the next submittal.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File

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New Mexico 87103

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: CUATRO Building Permit #: T201493017 Hydrology File #: J14/D173
DRB#: 14DRB-70332 EPC#: _____ Work Order#: 744381
Legal Description: TR A PLAT of TR A Quatro (being a REPL of LTS 1-12 BLK 2 PARIS ADDN)
City Address: 1319 4TH Street NW Albuquerque, New Mexico 87102

Applicant: Integrated Design & Architecture Contact: Kristin Stevens
Address: 906 1/2 Park Ave, SW Albuquerque, New Mexico 87102
Phone#: 505-243-3499 Fax#: 505-243-3583 E-mail: kristin@integrateddesignarch.com

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ AS-BUILT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

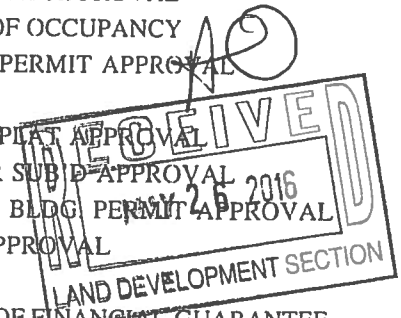
- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING/ESC PERMIT APPROVAL

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB D APPROVAL
☐ SITE PLAN FOR BLDG PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING?

☐ OTHER (SPECIFY) _____



IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: May 26, 2016 By: Mrs. Kristin Stevens

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

FEE RECEIVED: _____



VICINITY MAP

ZONE ATLAS - J-14-Z ZONING: C-2 COMMERCIAL RETAIL



Executive Summary

- ACCESS TO SOUTH ENTRANCE OF SITE WAS APPROVED AT ORIGINAL DRB SUBMITTAL AND PERMIT REVIEW AS 24'-0" WIDE. AS A FIELD REVISION THE SOUTH ENTRANCE WAS BROUGHT DOWN TO 22'-0" WIDE TO ALLOW FOR THE AUTOMATIC CAR GATE TO OPEN TO THE WEST, AND NOT RUN THROUGH THE WEST SITE WALL TO THE OUTSIDE OF THE PROPERTY LINE. MAY 26, 2015 THIS CHANGE WAS APPROVED THROUGH E-PLAN BY HYDROLOGY, TRANSPORTATION, AND ZONING. FIRE AND TRAFFIC DEPARTMENTS WERE CONSULTED. THE DRIVEWAY THROUGH THE PROPERTY WILL REMAIN AT 24'-0" WIDE.
- ALL FIRE ACCESS LANES ARE USING 4TH STREET NW AND PARKING LOT ENTRANCE FROM THE SOUTH OFF OF SUMMER AVENUE.
- SERVICE AREA ACCESS IS THROUGH THE MAIN ENTRANCE ON THE EAST SIDE OF THE BUILDING AT TOWER B ONLY. ON STREET PARKING IS AVAILABLE ON KINLEY AVENUE, 4TH STREET, AND SUMMER AVENUE.

Legal Description

TR A PLAT OF TR A QUATRO (BEING A REPL OF LTS 1-12 BLK 2 PARIS ADDN)

AS SURVEYED LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Albuquerque Grant in Projected Section 17, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being and comprising all of Lots numbered One (1) through Twelve (12), inclusive in Block numbered Two (2) of the Paris Addition as the same are shown and designated on the Map of said Addition, filed in the office of the Probate Clerk and Ex-Officio Recorder of Bernalillo County, New Mexico on December 29, 1892 more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750 using New Mexico State Plane, Central Zone (NAD 83) grid bearings and ground distances as follows:

BEGINNING at the Southeast corner of said Lot 12, Block 2, Paris Addition (a 5/8" Rebar and cap stamped "L.S. 9750" set) a point of intersection of the Westerly right of way line of Fourth Street N.W. and the Northerly right of way line of Summer Avenue N.W. whence the Albuquerque Control Survey Monument "17-J14" bears S 42°08'26" W, 2727.78 feet distant; Thence,

N 80°47'57" W, 142.00 feet along said Northerly right of way line of Summer Avenue N.W. to the Southwest corner of said Lot 12, Block 2, Paris Addition (a 5/8" Rebar and cap stamped "L.S. 9750" set); Thence,

N 09°12'03" E, 300.00 feet along the Westerly line of said Block 2, Paris Addition to the Northwest corner of said Lot 1, Block 2, Paris Addition (a 5/8" Rebar and cap stamped "L.S. 9750" set), said point also being a point on the Southerly right of way line of Kinley Avenue N.W.; Thence,

S 80°47'57" E, 142.00 feet along said Southerly right of way line of Kinley Avenue N.W. to the Northeast corner of said Lot 1, Block 2, Paris Addition (a 5/8" Rebar and cap stamped "L.S. 9750" set), said point also being a point of intersection of said Southerly right of way line of Kinley Avenue N.W. and said Westerly right of way line of Fourth Street N.W.; Thence,

S 09°12'03" W, 300.00 feet along said Westerly right of way line of Fourth Street N.W. to the Southeast corner and point of beginning of the parcel herein described.

Said parcel contains 0.9780 acre, more or less.

Site / Building Data

PROJECT ADDRESS: 1319 4TH NW, ALBUQUERQUE, NM 87102

TYPE OF DEVELOPMENT: MULTI-FAMILY SENIOR HOUSING

SITE ACREAGE: 0.98 ACRES

TOTAL UNITS: 56

TOTAL D.U. = 57.14

TOTAL GROSS SQ.FT. PER TOWER: TOWER A: 19,828.43 SQ. FT.
TOWER B: 25,903.30 SQ. FT.
TOWER C: 20,388.82 SQ. FT.
66,120.55 SQ. FT.

TOTAL GROSS SQ. FT.:

CONSTRUCTION TYPE: V-A

BUILDING HEIGHT: TOWER A: 38'-8"

TOWER B: 49'-8"

TOWER C: 38'-8"

Site / Building Data

♿ = ACCESSIBLE PARKING (4)

☐ = NEW STREET LIGHTING STANDARD

☆ = EXISTING STREET LIGHTING STANDARD

🔍 = EXISTING (1) & NEW FIRE HYDRANT (1)

🏍 = MOTORCYCLE PARKING (3)

■ = NEW CONCRETE

▨ = DG-1, CRUSHER FINES GRAVEL, SEE LANDSCAPE.

▩ = DG-2, CRUSHER FINES AT GARDEN AREA, SEE LANDSCAPE.

Parking Calculations

NOTE: PARKING CALCULATIONS ARE BASED ON THE "NORTH 4TH RANK III CORRIDOR PLAN"

REQUIRED PARKING CALCULATIONS

REQUIRED RESIDENTIAL PARKING:

(13) EFFICIENCIES => @ 1.5 SPACE PER = 19.5 SPACES

(23) 1 BEDROOMS => @ 1.5 SPACES PER = 34.5 SPACES

(20) 2 BEDROOMS => @ 1.5 SPACES PER = 30 SPACES

TOTAL: 84 RESIDENTIAL SPACES REQUIRED

REQUIRED NON-RESIDENTIAL PARKING:

1,800 SQ. FT. MULTI-PURPOSE (TENANTS ONLY) = 0 SPACES

249 SQ. FT. SALES OFFICE => @ 3/1,000 SQ. FT. = 3 SPACES

SHARED PARKING FACTOR 1.4 REDUCES TO = 2.1 = 3 SPACES

2,271 SQ. FT. EXERCISE AREA (TENANTS ONLY) = 0 SPACES

TOTAL: 3 NON-RESIDENTIAL SPACES REQUIRED

PARKING REDUCTIONS:

NFTODD 10% REDUCTION = -8.7 SPACES

Q14-16-3 (6) (A) 10% TRANSIT REDUCTION -8.7 SPACES

Q14-16-3 (6) (B) 5% TRANSIT SHELTER -4.4 SPACES

TOTAL: -21.8 = 22 SPACES

TOTAL REQUIRED PARKING SPACES = 65

PARKING SPACES PROVIDED

OFF-STREET PARKING PROVIDED:

(50) STANDARD SPACES

(4) ACCESSIBLE SPACES

54 OFF-STREET PARKING SPACES PROVIDED

ON-STREET PARKING PROVIDED:

(15) STANDARD SPACES (7) SPACES COUNT TOWARDS PARKING

TOTAL PARKING PROVIDED 61 ≠ 65 REQUIRED PARKING SPACES

(4) ACCESSIBLE PARKING SPACES

(4) MOTORCYCLE SPACES

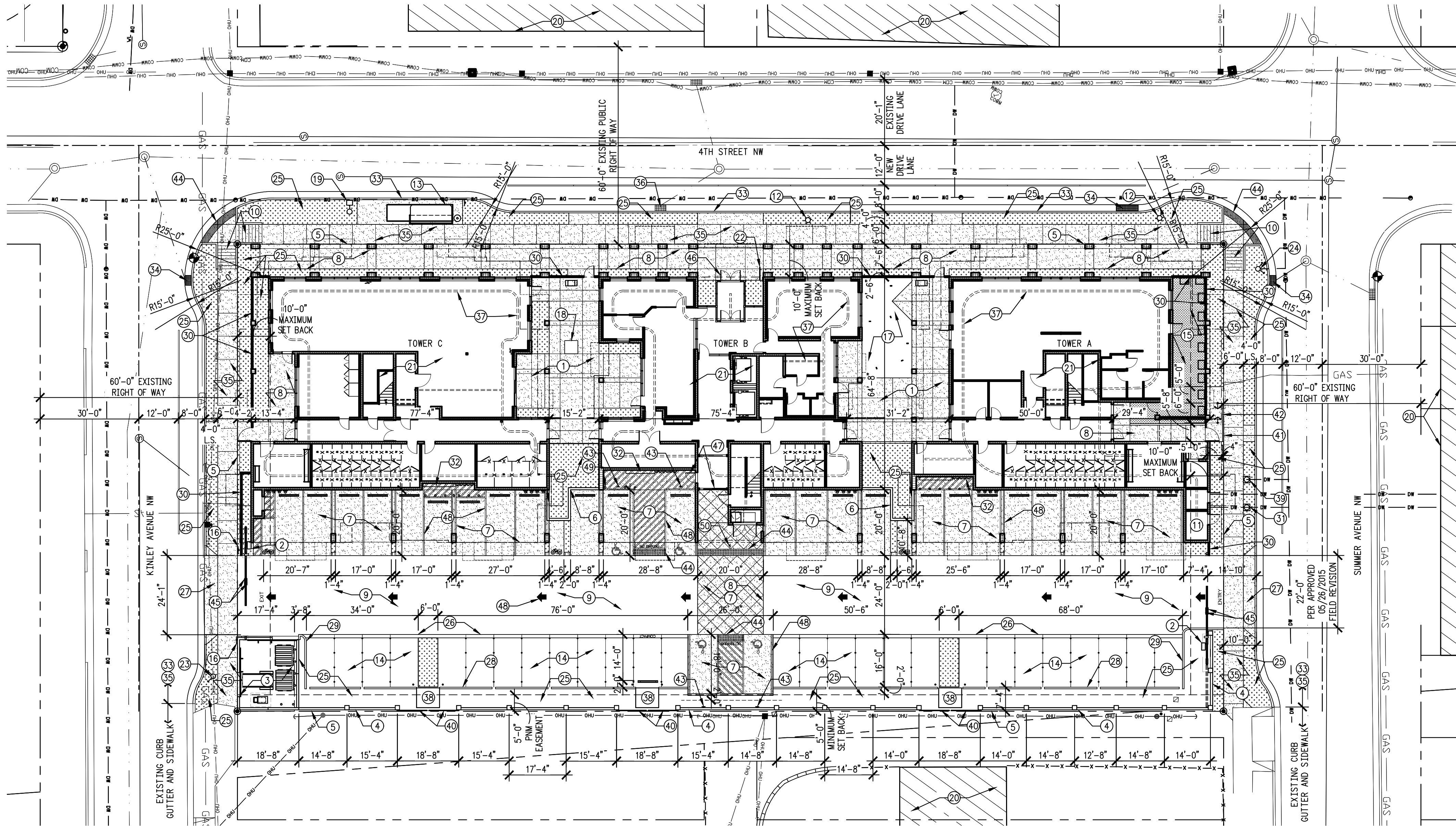
(28) BICYCLE PARKING SPACES

General Notes

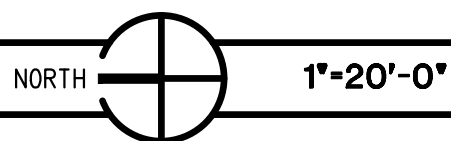
- NORTH FOURTH TRANSIT ORIENTED DEVELOPMENT (NFTOD) BUILDING HEIGHT: 4 STORIES WITH A MAXIMUM OF 52 FEET
3 STORIES WITH A MAXIMUM OF 40 FEET
GROUND STORY CLEAR HEIGHT = 10'-0" MINIMUM
- SETBACKS PER SECTOR DEVELOPMENT PLAN:
0'-10' FRONT SETBACK @ 4TH STREET (0' PROVIDED)
0'-10' SIDE STREET SETBACK @ SUMMER & KINLEY AVE. (8' PROVIDED)
5'-10' REAR SETBACK INCLUDING ALLEY WIDTH
- TOPOGRAPHY/ DRAINAGE: SITE IS RELATIVELY FLAT. DRAINAGE IS PREDOMINATELY FROM EAST TO WEST, LEADING FROM THE PARKING LOT TO THE WEST EDGE PLANTER.
- VISIT SITE TO BECOME FAMILIAR WITH ALL EXISTING VISIBLE CONDITIONS.
- WHERE REMOVAL OCCURS, MODIFY PER PLANS.
- PROVIDE CONSTRUCTION FENCING. COORDINATE EXACT LOCATION WITH OWNER PRIOR TO PLACEMENT.
- THE ENTIRE SITE TO HAVE ADA ACCESS TO ALL BUILDINGS. ELEVATION CHANGES SHALL BE ACCOMMODATED WITH SLOPED SIDEWALKS FIRST. SLOPED SIDEWALKS SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE.
- WHERE RAMPS ARE REQUIRED SLOPE SHALL NOT EXCEED 1:12 WITH A CROSS SLOPE NOT EXCEEDING 2%.
- PLANNING HISTORY: THIS PROJECT IS LOCATED IN THE NORTH 4TH RANK III CORRIDOR PLAN AND WAS APPROVED THROUGH DRB APPLICATION NUMBER: 14DRB-70332 AS PROJECT NUMBER: 1007059.

Keyed Notes

- PATIO AREA WITH BARBEQUES AND PICNIC TABLES.
- ROLLING ELECTRICAL GATE, SEE DETAILS 13 & 14/SITE401.
- REFUSE ENCLOSURE WITH GATE, SEE DETAILS SITE501.
- 6' HIGH, STANDARD 8x8x16 INTEGRAL COLOR CMU BLOCK WALL, SEE DETAIL 1/SITE400.
- TYPICAL PROPERTY LINE.
- 4" HIGH 8x8x16 CMU BLOCK WALL WITH 4" CAP BLOCK, SEE DETAILS 3 & 4/SITE400.
- 6" CONCRETE PAVING, HEAVY BROOM FINISH. SEE DETAILS 6/SITE500. SEE GENERAL NOTE E. ACCESSIBLE PARKING SPACES. SEE 3 & 4/TCL101.
- 4" CONCRETE SIDEWALK, MEDIUM BROOM FINISH PERPENDICULAR TO SLOPE, TYP. SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% AGAINST DIRECTION OF TRAVEL. SEE DETAIL 3 & 4/SITE500.
- ASPHALT PAVING, PER COA STANDARDS. SEE GENERAL NOTE E.
- ACCESSIBLE CURB RAMP, PER COA STANDARDS, TYPICAL. SEE 2/TCL101.
- FIRE SPRINKLER CLOSET, SEE GROUND FLOOR PLAN, FIRE DEPARTMENT CONNECTION WITH SIGN, SEE DETAIL 6/TCL101.
- EXISTING POLE LIGHT FIXTURE, TO REMAIN.
- PROPOSED NEW CITY BUS SHELTER AT EXISTING BUS STOP.
- PERMEABLE PAVING, SEE CIVIL DRAWINGS. SEE GENERAL NOTE E.
- KITCHEN GARDEN AREA.
- "NO ENTRY" SIGN, SEE DETAILS 6/TCL101.
- PUTTING GREEN, SEE DETAIL 1/SITE500.
- WATER FEATURE, SEE DETAILS 2/LAND200.
- NEW POLE LIGHT FIXTURE, PER COA STANDARDS.
- EXISTING STRUCTURE.
- PROPOSED STRUCTURE, SEE GROUND FLOOR PLANS.
- BICYCLE RACK, EXTERIOR, SEE DETAIL 1/TCL101.
- NEW FIRE HYDRANT, SEE CIVIL SHEETS.
- EXISTING FIRE HYDRANT TO REMAIN.
- LANDSCAPE AREA, SEE LANDSCAPE SHEETS.
- FLUSH 12" WIDE CONCRETE RETAINING STRIP, SEE DETAIL 2/SITE500.
- NEW CONCRETE DRIVE PAD, PER COA STANDARDS. 1% MIN. TO 6% SLOPE MAX.
- NEW 6" CONCRETE PARKING CURBS WITH 12" CUT OUT FOR DRAINAGE, SEE DETAILS 8 & 9/SITE500.
- NEW 6" CONCRETE STAND UP CURBING, SEE DETAIL 10/SITE500.
- 6" REBAR FENCE, SEE SITE400 SHEETS.
- NEW 2" WATER LINE AND METER TAP PER COA STANDARDS.
- ELECTRICAL METERS AND PANELS, SEE ELECTRICAL SHEETS.
- NEW STANDARD CURB AND GUTTER PER COA STANDARDS.
- NEW STORM DRAINAGE INLETS PER COA STANDARDS.
- NEW 6" WIDE PUBLIC SIDEWALK PER COA STANDARDS.
- EXISTING STORM INLET TO REMAIN.
- RADON MITIGATION SYSTEM, SEE NOTE THIS SHEET.
- ELECTRICAL TRANSFORMER, SEE ELECTRICAL SHEETS.
- NEW 3/4" WATER TAP AND METER WITH AUTOMATIC WATERING SYSTEM PER CITY OF ALBUQUERQUE STANDARDS FOR IRRIGATION OF RIGHT-OF-WAY LANDSCAPING ONLY.
- 9'-2" W x 6'-0" H SLIDING LOCKED GATE FOR PMW ACCESS ONLY.
- 4" WIDE X 4" TALL CURB EDGE PROTECTION, PAINT CURB YELLOW.
- RAMP A MAXIMUM OF 6" VERTICALLY AT 1:12 SLOPE WITH A CROSS SLOPE OF 2% MAXIMUM TO GET DOWN TO CITY SIDEWALK LEVEL.
- ACCESSIBLE PARKING SIGN, SEE SITE SIGNAGE DETAIL 6/TCL101.
- TRUNCATED DOMES, PER ADA AND COA STANDARDS.
- ENTRANCE AND EXIT SIGNS MOUNTED TO AUTO GATE, SEE 6/TCL101.
- PUBLIC ENTRANCE DOOR TO BUILDING.
- TENANT ENTRANCE DOOR FROM PARKING LOT.
- PAINTED PARKING LOT STRIPING & LETTERINGS, TYP.
- BOLLARDS, TYPICAL, SEE DETAIL 5/TCL101.
- PEDESTRIAN CROSSING SIGN, SEE DETAIL 6/TCL101.



TRAFFIC CIRCULATION LAYOUT PLAN



KEY PLAN

NORTH NTS

906 1/2 Park Avenue SW
Albuquerque, NM 87102
tel:505.243.3499
fax:505.243.3583
info@integrateddesignarch.com
www.integrateddesignarch.com

Greater Albuquerque Housing Partnership CUATRO

Albuquerque, New Mexico

PROJECT ARCHITECT:
BOB HALL, AIA

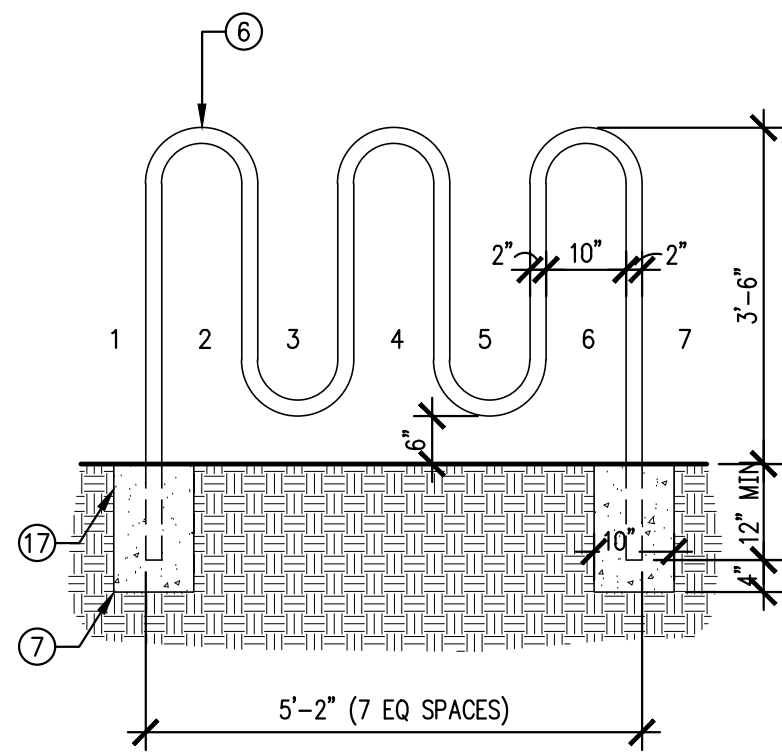
Project #:
IDA-14-13-P
Date:
MAY 26, 2016

TRAFFIC CIRCULATION LAYOUT PLAN

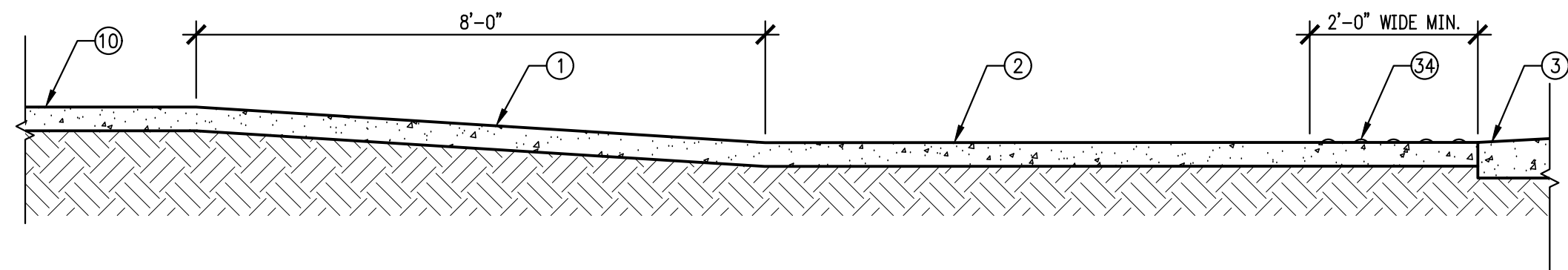
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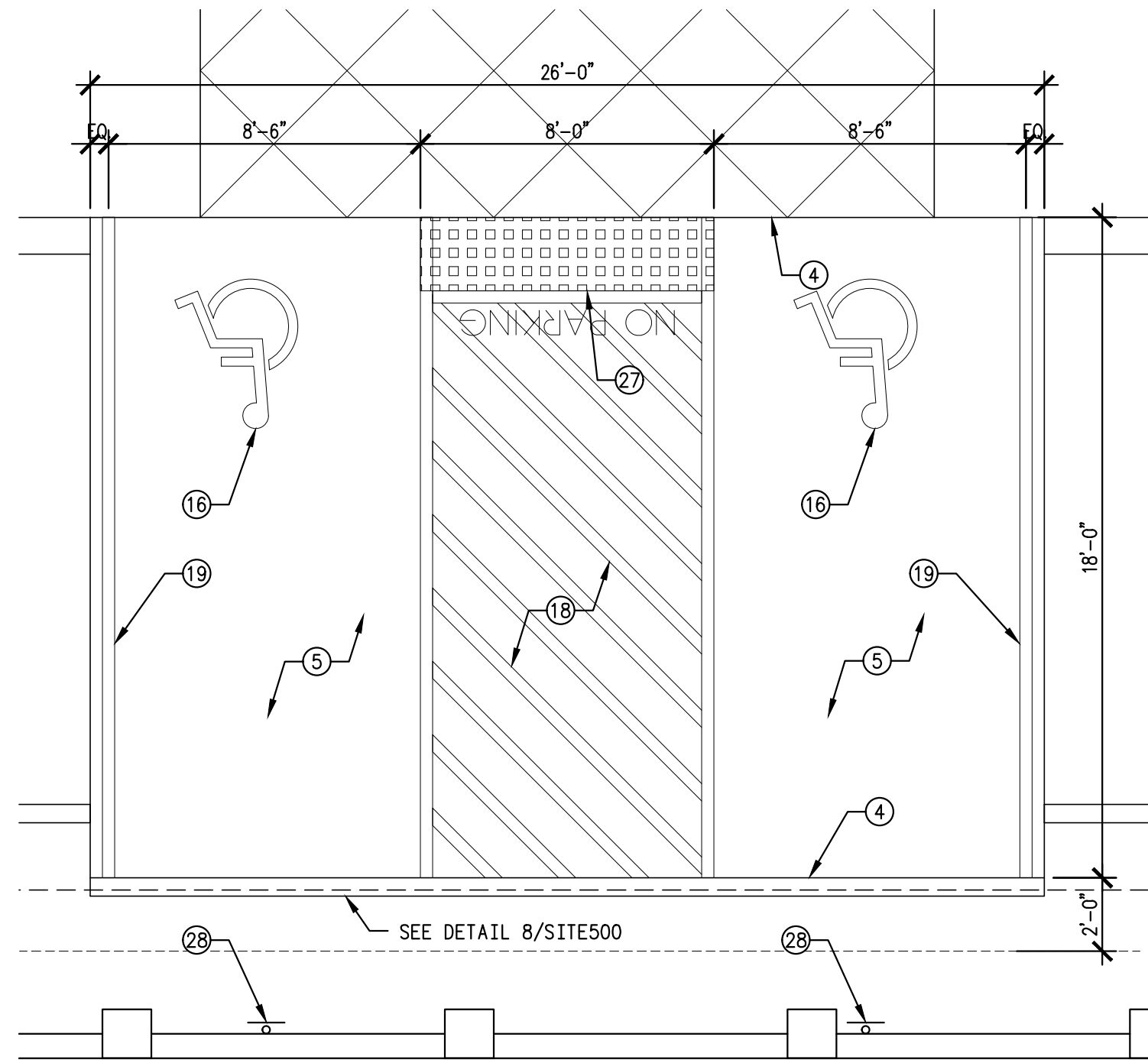
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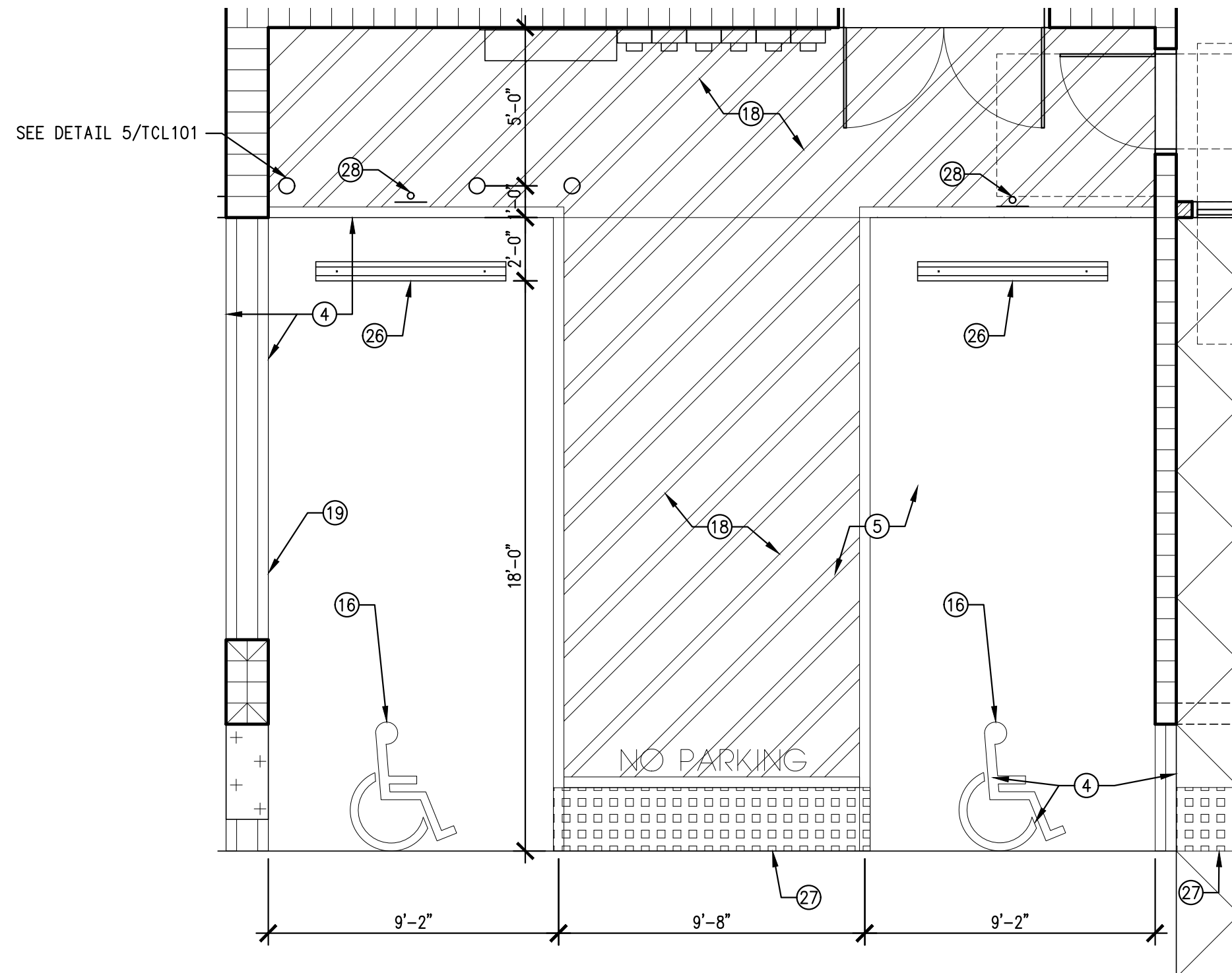
BICYCLE RACK 1 1/2"-1'-0"



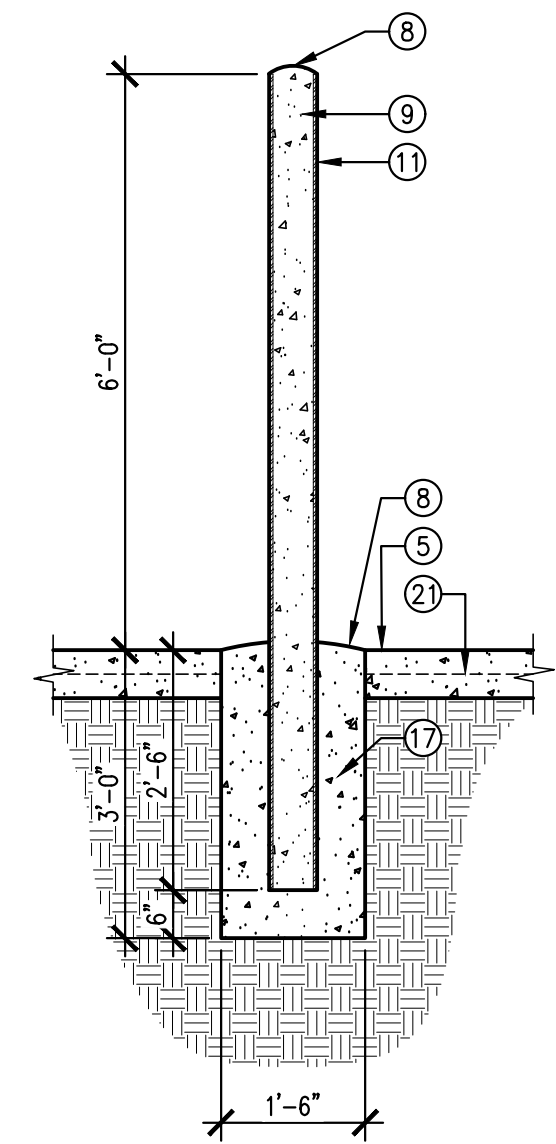
SECTION THROUGH CURB RAMP 2 1/2"-1'-0"



ACCESSIBLE PARKING SPACE 3 1/4"-1'-0"



ACCESSIBLE PARKING SPACE 4 1/4"-1'-0"



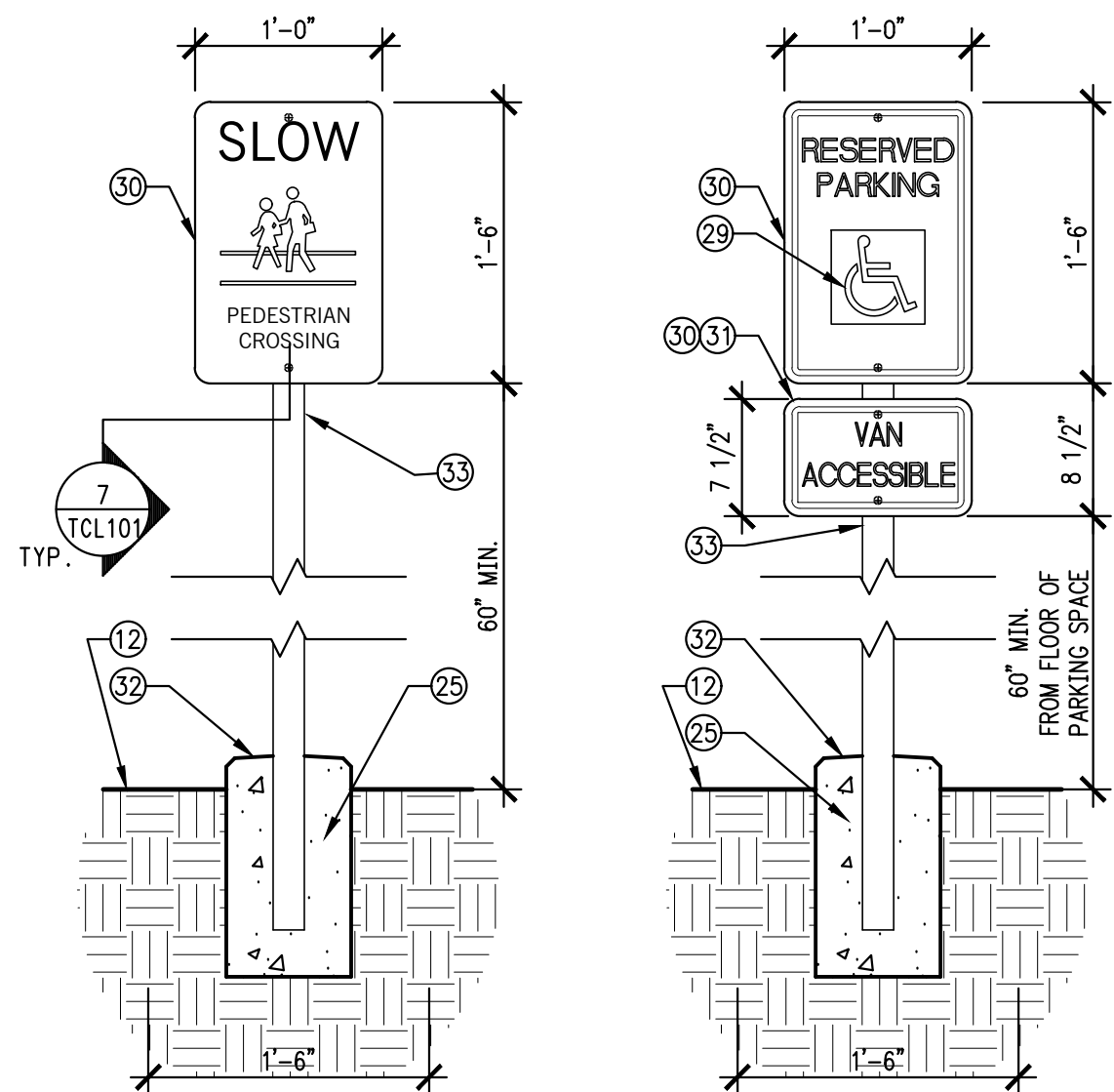
BOLLARD 5 3"-1'-0"

General Notes

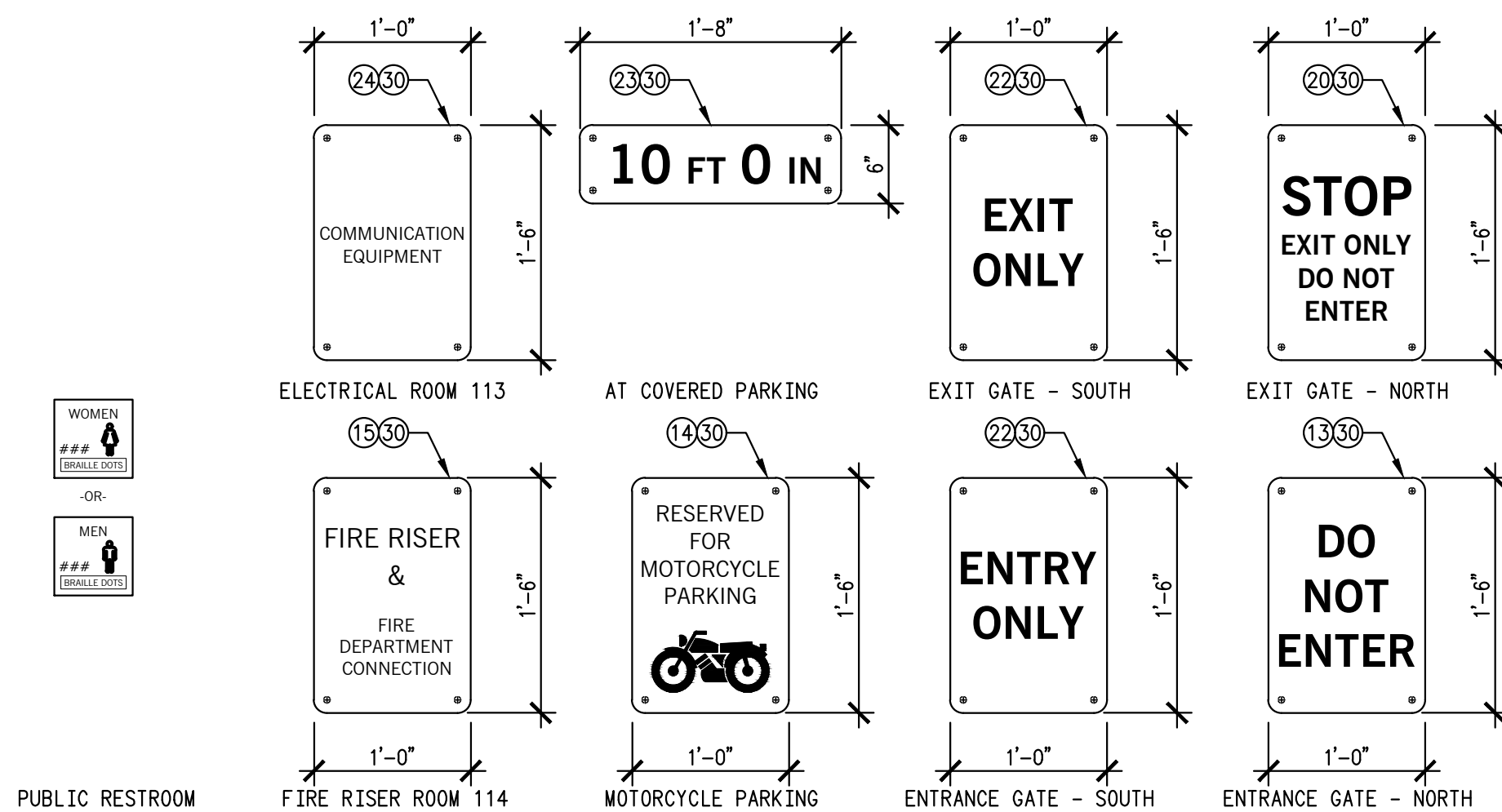
- PROTECT ALL EXISTING VEGETATION & CONSTRUCTION OUTSIDE OF REMOVAL ZONES.
- VISIT SITE & FIELD VERIFY EXTENT OF REMOVALS IN AREA OF NEW CONSTRUCTION PRIOR TO BID.
- VISIT SITE & NOTE ALL SURFACES, INTERIOR & EXTERIOR, PRIOR TO BID, INCLUDE IN BID. REMOVAL OF SURFACE STRUCTURES AS REQUIRED IN REMOVAL & NEW CONSTRUCTION ZONES.
- EXISTING CONDITIONS ARE DERIVED FROM AS-BUILT MEASUREMENTS CONDUCTED IN THE FIELD FOR GENERAL INFORMATION. FIELD VERIFY EXISTING CONDITIONS THROUGH EXPLORATORY DEMOLITION & OBSERVATION. PRIOR TO COMMENCEMENT OF WORK. IF EXISTING CONDITIONS DO NOT MATCH DRAWINGS NOTIFY ARCHITECT/ENGINEER IMMEDIATELY.
- WHERE REMOVAL OCCURS, MODIFY PER PLANS, IF NO MODIFICATIONS ARE INDICATED, REPAIR/PATCH TO MATCH ADJACENT FINISH MATERIAL.
- THE ENTIRE SITE TO HAVE ADA ACCESS TO ALL ENTRIES IN ALL TOWERS. ELEVATION CHANGES SHOULD BE ACCOMMODATED WITH SLOPED SIDEWALKS FIRST. SLOPED SIDEWALKS SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE.
- WHERE RAMPS ARE REQUIRED SLOPE SHALL NOT EXCEED 1:12 WITH A CROSS SLOPE NOT TO EXCEED 2%.
- ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS.
- FOR SITE AND BUILDING SIGNAGE SEE SITE PLANS, EXTERIOR ELEVATIONS AND SIGNAGE DETAIL SHEETS.

Keyed Notes

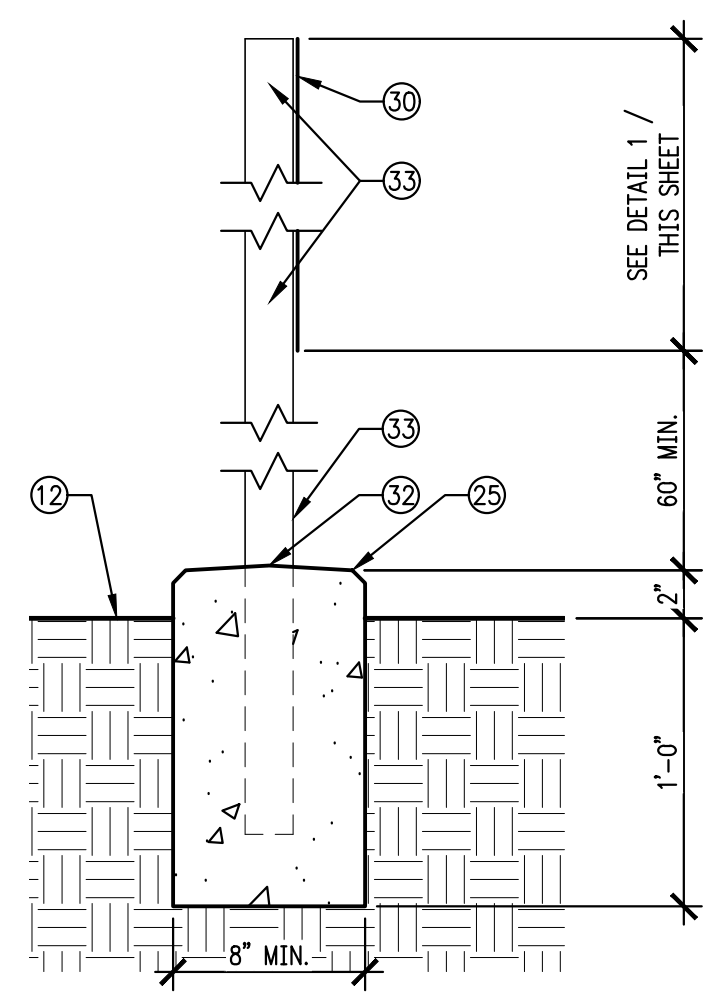
- ACCESSIBLE CURB RAMP, PER COA STANDARDS, SLOPE MAXIMUM OF 1:12 WITH A LESS THAN 2% CROSS SLOPE.
- CURB RAMP LANDING AREA PER ADA AND COA STANDARDS.
- GUTTER AT CURB ACCESS RAMP, PER COA STANDARDS.
- 1/2" EXPANSION JOINT, ASPHALT IMPREGNATED FIBER SET 1/8" BELOW TOP SURFACE OF CONCRETE. PAVEMENT SEALANT AT ALL EXPANSION JOINTS.
- 6" CONCRETE PAVING OVER COMPACTED SUB GRADE, HEAVY BROOM FINISH.
- 2" STEEL PIPE, PAINT.
- 4" MIN. CONCRETE COVERAGE ALL AROUND.
- CROWN FOR POSITIVE DRAINAGE.
- SOLID CONCRETE FILL.
- 4" THICK CONCRETE SIDEWALK WITH AIR ENTRAINMENT OVER COMPACTED SUB GRADE, MEDIUM BROOM FINISH PERPENDICULAR TO SLOPE, TYP. SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% AGAINST DIRECTION OF TRAVEL.
- 6" STEEL PIPE.
- FINISH GRADE.
- 2-1/2" TALL WHITE LETTERS ON RED SIGN.
- 1-1/4" TALL BLACK LETTERS ON WHITE SIGN.
- 1-1/2" & 1" TALL WHITE LETTERS ON RED SIGN.
- PAINTED ACCESSIBILITY SYMBOL.
- 3,000 PSI CONCRETE FOOTING/FILL.
- PAINTED ACCESSIBLE PARKING SPACE AISLE, STRIPED FOR NO-PARKING.
- PAINTED PARKING STRIP.
- 3" & 1-1/2" TALL WHITE LETTERS ON RED SIGN.
- 6X6X10X10 WWM.
- 2-1/2" TALL BLACK LETTERS ON WHITE SIGN.
- 3" & 2" TALL BLACK LETTERS ON WHITE SIGN.
- 1" TALL BLACK LETTERS ON WHITE SIGN.
- SIGN FOOTING, 3" MIN. CONCRETE COVERAGE ALL AROUND POST.
- PRE-CAST CONCRETE WHEEL STOP, WITH (2) #4 REBAR, DRILL SURFACE AS REQUIRED FOR 6" EMBED.
- DETECTABLE WARNINGS, PER ADA STANDARDS, TYP.
- ACCESSIBLE PARKING SIGNAGE, SEE 6/TCL101.
- INTERNATIONAL ACCESSIBILITY SYMBOL, WHITE ON BLUE BACKGROUND.
- 16 GA. METAL SIGN.
- 0 VAN ACCESSIBLE SPACES ONLY, 6' x 12" 16 GA. OR 1/4" FIBERGLASS SIGN WITH 2" BLUE LETTERS ON WHITE BACKGROUND.
- 1/2" SLOPE AWAY FROM SIGN POST.
- 2" PERFORATED STEEL SIGN POST.



SITE SIGNAGE - ELEVATIONS



6 1"-1'-0"



SIGN SECTION 7 1-1/2"-1'-0"

integrated
design architecture

906 1/2 Park Avenue SW
Albuquerque, NM 87102
tel:505.243.3499
fax:505.243.3583
info@integrateddesignarch.com
www.integrateddesignarch.com

Greater Albuquerque Housing Partnership CUATRO

| | |
|-------------------------------------|--|
| PROJECT ARCHITECT: BOB HALL, AIA | Project #: IDA-14-13-P Date: MAY 26, 2016 |
|-------------------------------------|--|

SITE PAVING & HANDRAIL DETAILS

| | |
|---------------------------------|----------|
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