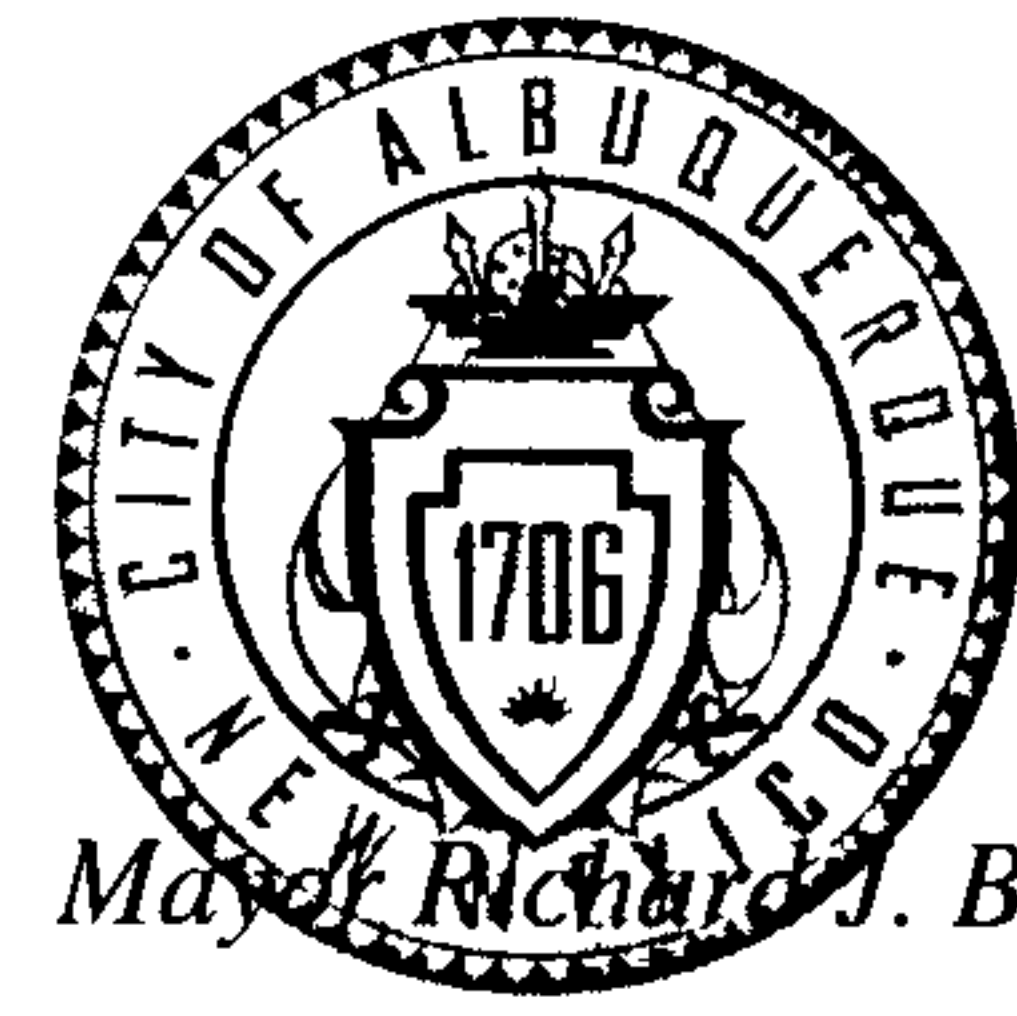


# CITY OF ALBUQUERQUE

Planning Department

Suzanne Lubar, Director



October 21, 2015

Reza Afaghpour, PE  
SBS Construction and Engineering, LLC  
10209 Snowflake Ct NW  
Albuquerque, NM 87114

**Re: Townhouses for Lobberegt  
608 8<sup>th</sup> St NW  
Request Permanent C.O. - Accepted  
Engineer's Stamp dated: 3-11-15 (J14D174)  
Certification dated: 10-19-15**

Dear Mr. Afaghpour,

PO Box 1293

Based on the Certification received 10/19/2015, the site is acceptable for release of Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

New Mexico 87103

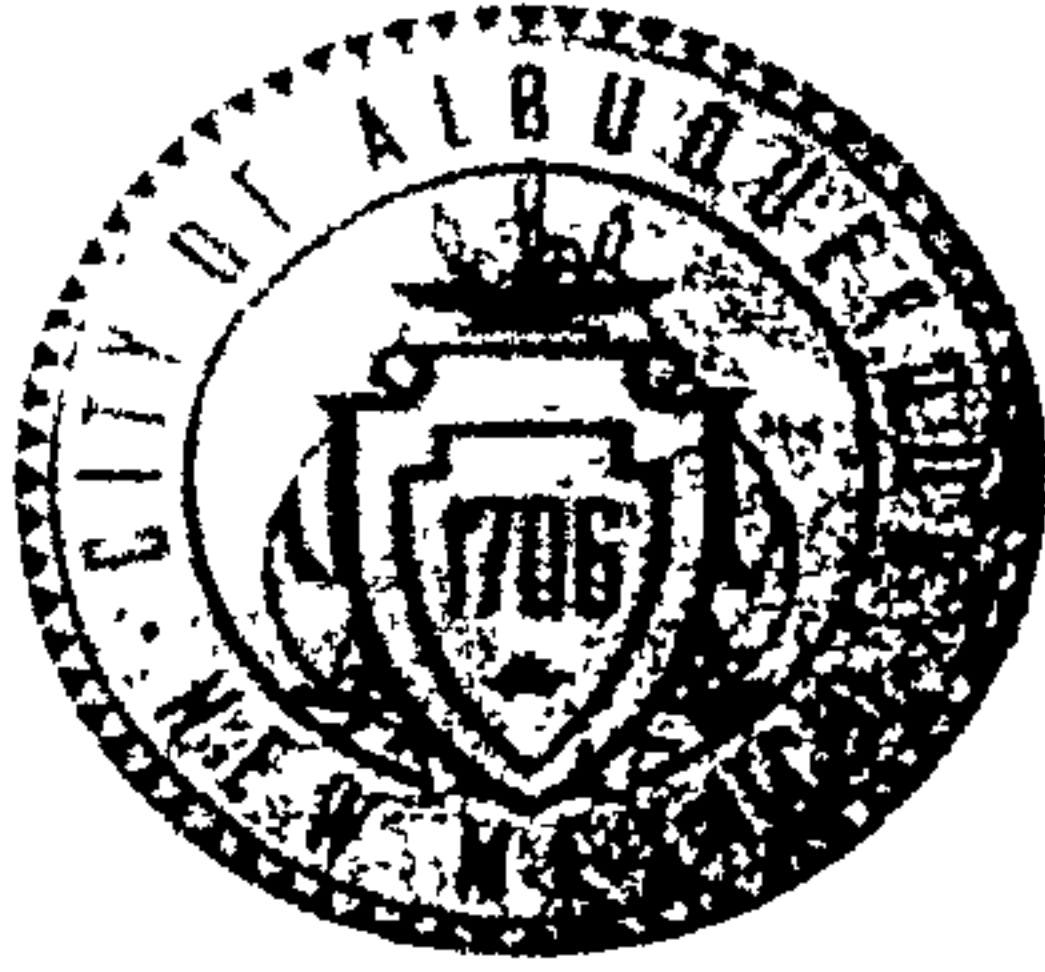
Sincerely,

Rita Harmon, P.E.

www.cabq.gov

Senior Engineer  
Planning Department

C: RR/RH  
email



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Townhouses for Lobbergt Building Permit # \_\_\_\_\_ City Drainage #: J14-D174  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Lot 1, Lands of Buchanan  
City Address: 608 8th St. NW  
Engineering Firm: SBS Construction and Eng. LLC Contact: Shawn PIAZAR  
Address: 10209 Snowflake Ct. NW, Alb. NM 87114  
Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@aol.com  
Owner: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Architect: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply

### DEPARTMENT:

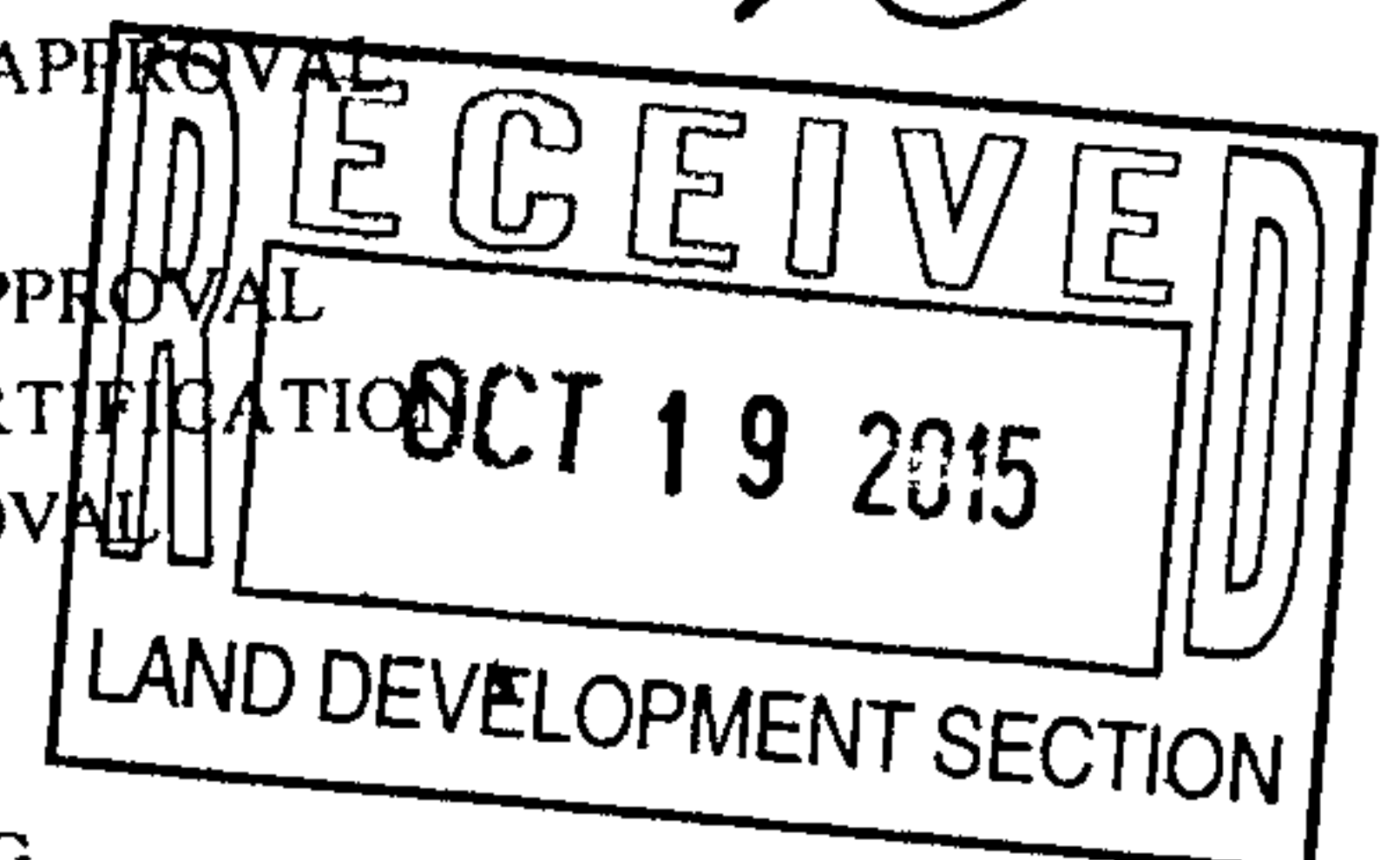
- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_



IS THIS A RESUBMITTAL? ☐ Yes ☐ No

DATE SUBMITTED: 10/19/15 By: Shawn PIAZAR

COA STAFF ELECTRONIC SUBMITTAL RECEIVED. \_\_\_\_\_

# CITY OF ALBUQUERQUE



March 26, 2015

Reza Afaghpour, PE  
SBS Construction and Engineering, LLC  
10209 Snowflake Ct NW  
Albuquerque, NM 87114

**Re: Townhouses for Lobberegt  
608 8<sup>th</sup> St NW  
Grading & Drainage Plan  
Engineer's Stamp dated: 3-11-15 (J14D174)**

Dear Mr. Afaghpour,

Based upon the information provided in your submittal received 3/12/2015, this plan is approved for Grading Permit and Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

PO Box 1293

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Rita Harmon, P.E.  
Senior Engineer  
Planning Department

C: RR/RH  
email

# CITY OF ALBUQUERQUE



February 13, 2015

Reza Afaghpour, PE  
SBS Construction and Engineering, LLC  
10209 Snowflake Ct NW  
Albuquerque, NM 87114

**Re: 608 8<sup>th</sup> St. NW**  
**Grading & Drainage Plan**  
**Engineer's Stamp dated: 1-19-14 (J14D174)**

Dear Mr. Afaghpour,

Based upon the information provided in your submittal received 1/28/2015, this plan cannot be approved until the following comments are addressed.

- Provide direction of roof flows. If flows are toward the front, how will these flows enter the ponding areas, and then exit the ponds toward the alleyway?
- Consider building #4 rebar spaced at three 3" on center to the wall openings.
- Build notes are needed for the new and existing sidewalks.
- Provide flow lines north of the ponds.
- Is concrete provided for the garage entry, if so, is the concrete matching the elevation of the paved alleyway?

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Curtis Cherne, P.E.  
Principal Engineer, Planning Dept.  
Development and Review Services

C: RR/CC  
email

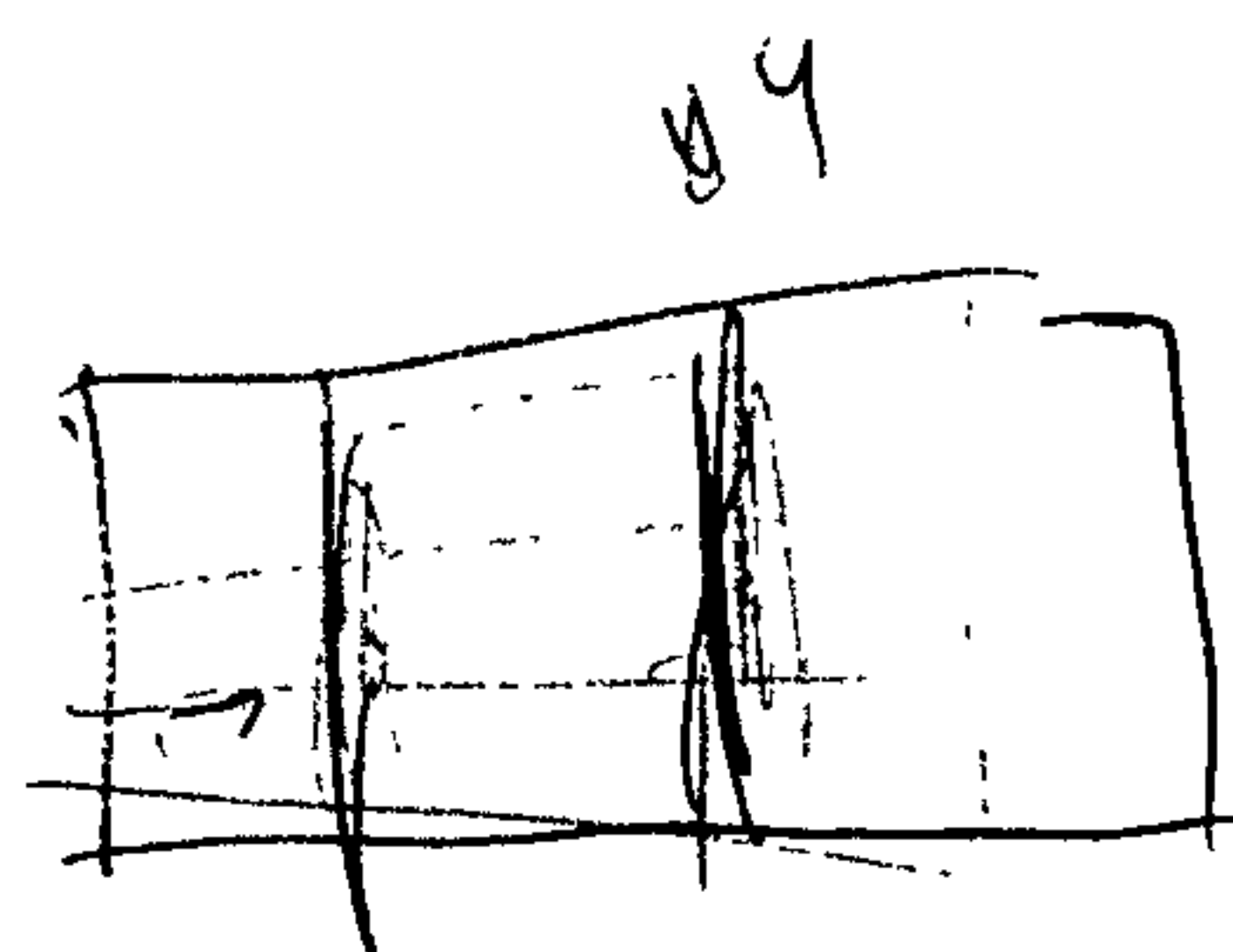
## Niese, Amy

---

**From:** Niese, Amy  
**Sent:** Wednesday, November 12, 2014 10:29 AM  
**To:** Dennis Lorenz (dennisl@lorenznm.com)  
**Subject:** Beehive

You asked about a temporary CO extension. Provide a submittal that explains what has been done so far, what still needs to be done, and current pictures of the completed work. Include a justification for the extension.

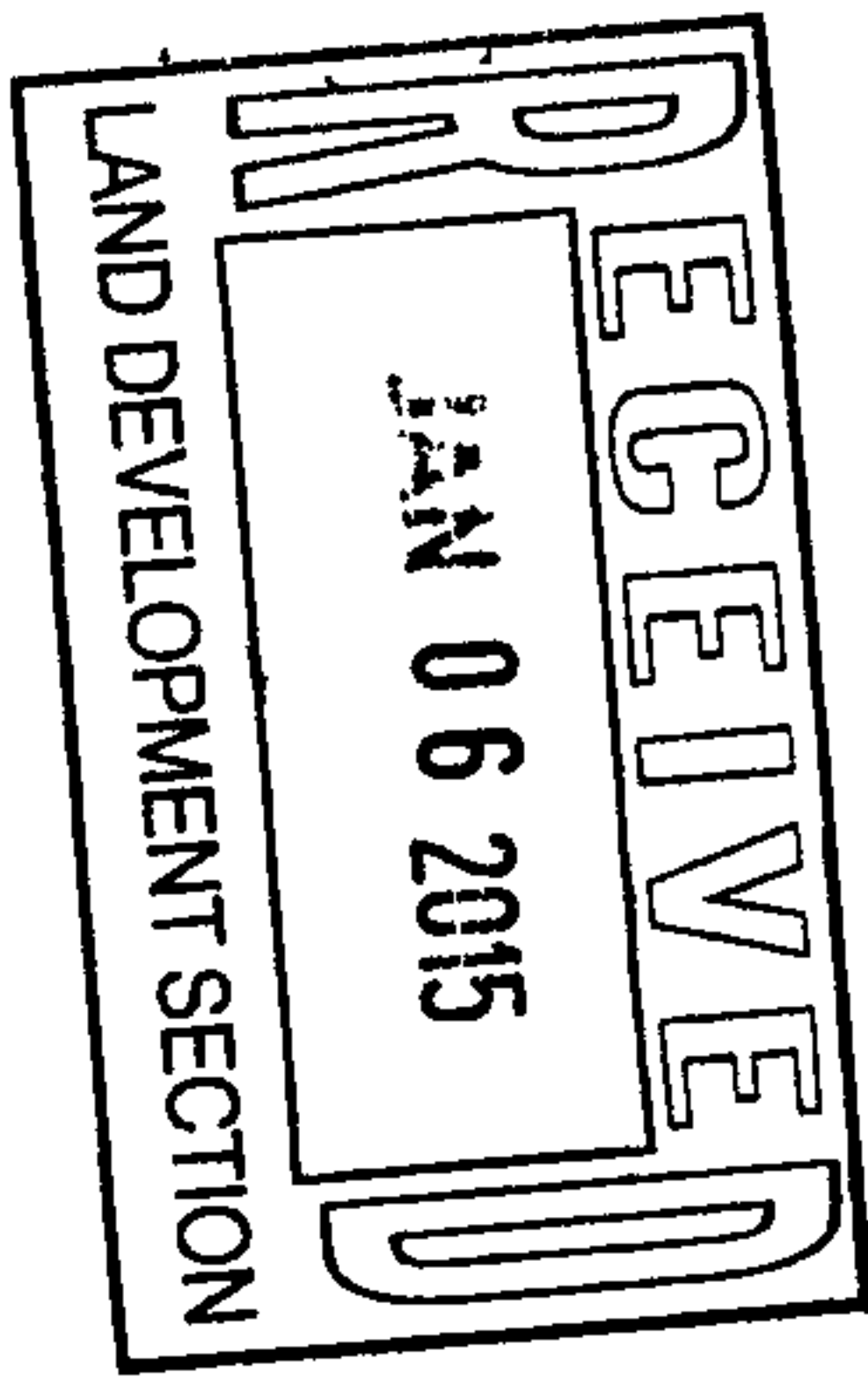
Amy L. D. Niese, P.E.  
Senior Engineer, Hydrology  
Planning Department  
Development & Building Services Division  
(505) 924-3994











THE DESIGN PROFESSIONAL SHALL EXERCISE A REASONABLE  
NEITHER THE DESIGN PROFESSIONAL OR THE OWNER'S REPRESENT  
ANY CLAIM FOR ANY INCIDENT AL, INDIRECT OR CONSEQUENTIAL D  
OR CONNECTIONED IN ANY WAY TO THIS PROJECT AND THIS AGREEMENT  
OF CONSEQUENTIAL DAMAGES SHALL INCLUDE, BUT IS NOT LIMITED TO  
PROFIT, LOSS OF BUSINESS, LOSS OF INCOME, LOSS OF REPUTATION A  
CONSEQUENTIAL DAMAGES THAT EITHER PARTY MAY HAVE INCURRED  
ACTION, INCLUDING NEGLIGENCE, STRICT LIABILITY, BREACH OF C  
STRICT OR IMPLIED WARRANTY.

IN AN EFFORT TO RESOLVE ANY CONFLICT THAT ARISES DURING  
PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, THE DESIGN  
OWNER'S REPRESENTATIVE AGREES THAT ALL DISPUTES BETWEEN  
RELATING TO THIS AGREEMENT OR THE PROJECT SHALL BE SUBMITTED  
MEDICATION.

IN THE EVENT OF A CLAIM FILED BY THE OWNER'S REPRESENT  
ASSIGNS, OWNER SHALL SEEK RECOURSE AGAINST THE OTHER PARTY  
NOT AGAINST INDIVIDUAL EMPLOYEES, SHAREHOLDERS OR OFFICERS

OUR FEE SHALL BE \$5,750.00 (FIVE THOUSAND SEVEN HUNDRED  
PLUS TAX, PERMITTING & COPYING.

**ADD**

CONTINUING DESIGN AND SUBMITTAL WORK FOR SUBMITTAL TO C  
TIME & MATERIALS CONTRACT - SEE "FEE SCHEDULE - JUNE 2014" A  
PROGRES SPAYMENT SASSPERARCHITECT'S DISCRETION.

OR BUILDING REEN NEW MEXICO CERTIFICATION. OWNER'S REPRESENT  
ARCHITECT WITH THE ENGINEERING SAVING SITE FEASIBILITY FOR IN CORPORA  
DRAWINGS. ADD \$300.00 (THREE HUNDRED DOLLARS) PLUS TAX &  
ANALYSIS FOR ADDITIONAL OPENINGS IN STREET FACING FACADE BY ST  
IF APPLICABLE).

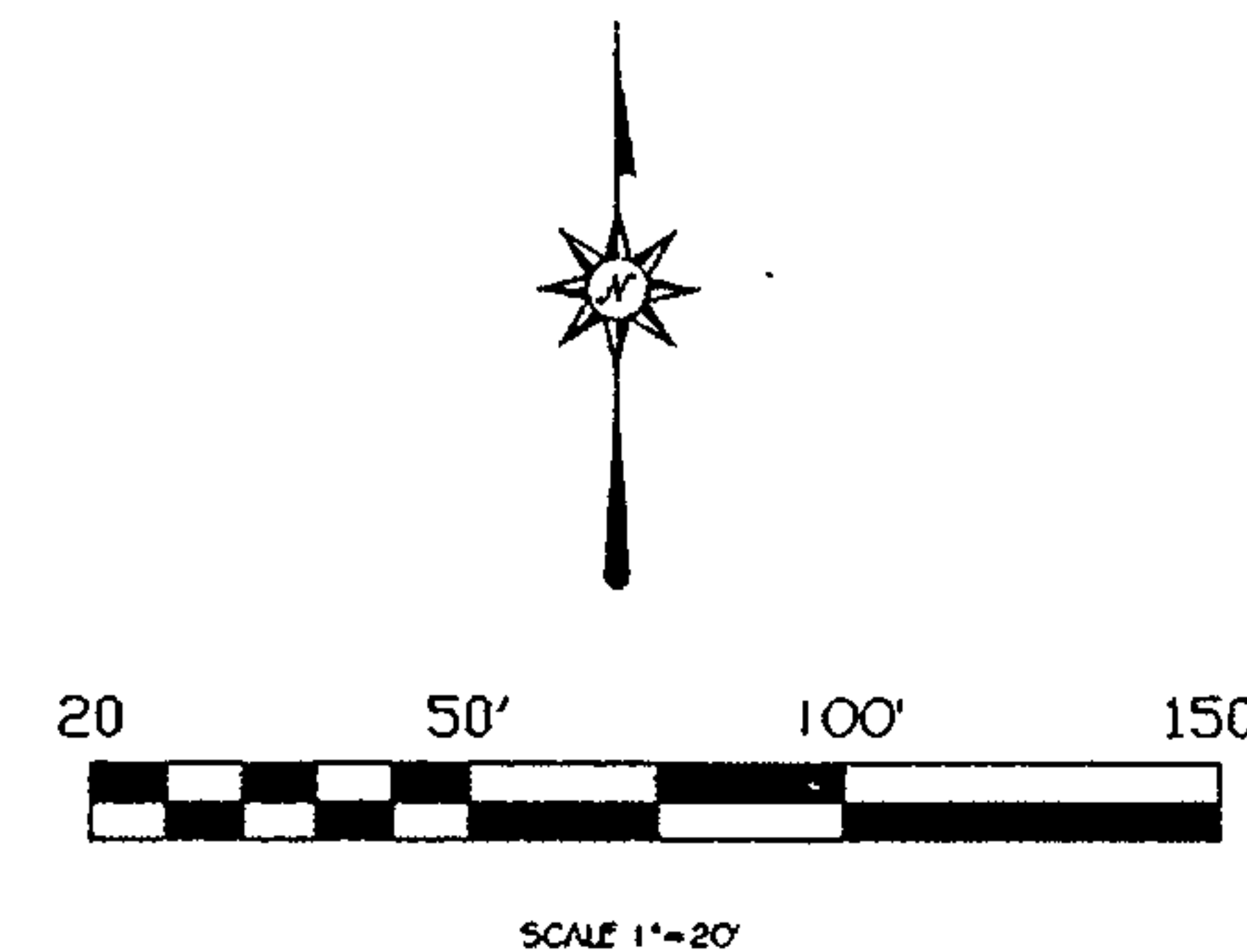
ADDITIONAL SERVICES WOULD INCLUDE, BUT NOT BELIMIT  
OCASIONED BY AN UNREASONABLE DELAY IN THE PROJECT. ADDIT  
ANDBLUEPRINTING FEES ARE ELISTED ON THE ACCOMPANYING "FEE

OUR SUGGESTED TERMS ARE:



SUBDIVISION PLAT OF  
**LOT 1**  
**LANDS OF BUCHANON**  
 BEING A RE-PLAT OF LOTS 1 AND 2, BLOCK 12  
 OF BURG'S REPLAT, PERFECTO ARMIJO  
 PROJECTED SECTION 17, T 10 N, R 3 E, N.M.P.M.  
 TOWN OF ALBUQUERQUE GRANT  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 OCTOBER, 2014

ACS CONTROL STATION  
 17-J14  
 N 1480866.762  
 E 1519149.317  
 Z 4957.484  
 NAD 1983  
 NAVD 1988  
 NEW MEXICO STATE PLANE  
 CENTRAL ZONE  
 G-G= 0.999603611  
 DELTA-ALPHA= -00°13'59.00"

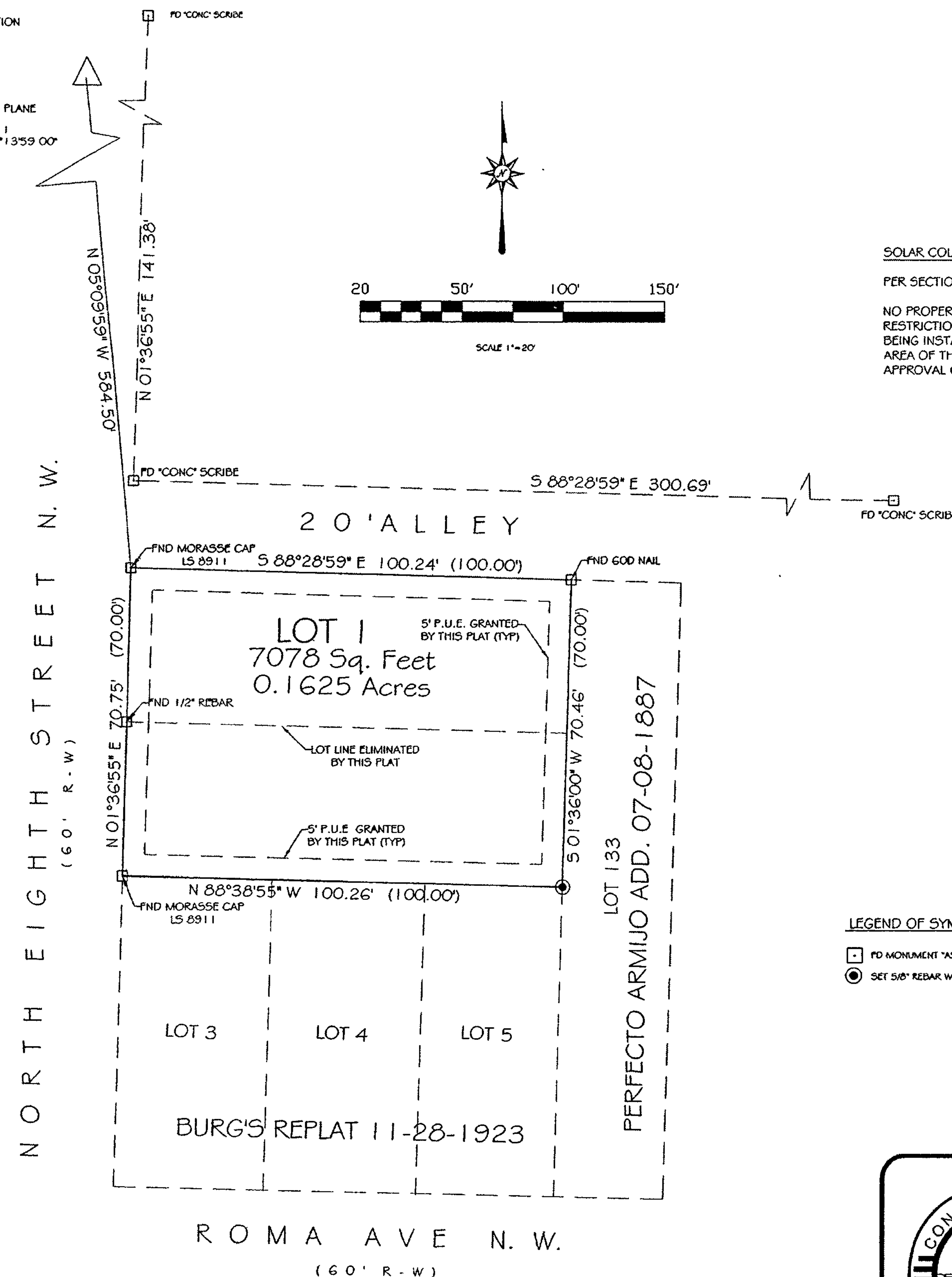


SOLAR COLLECTION NOTE:

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE

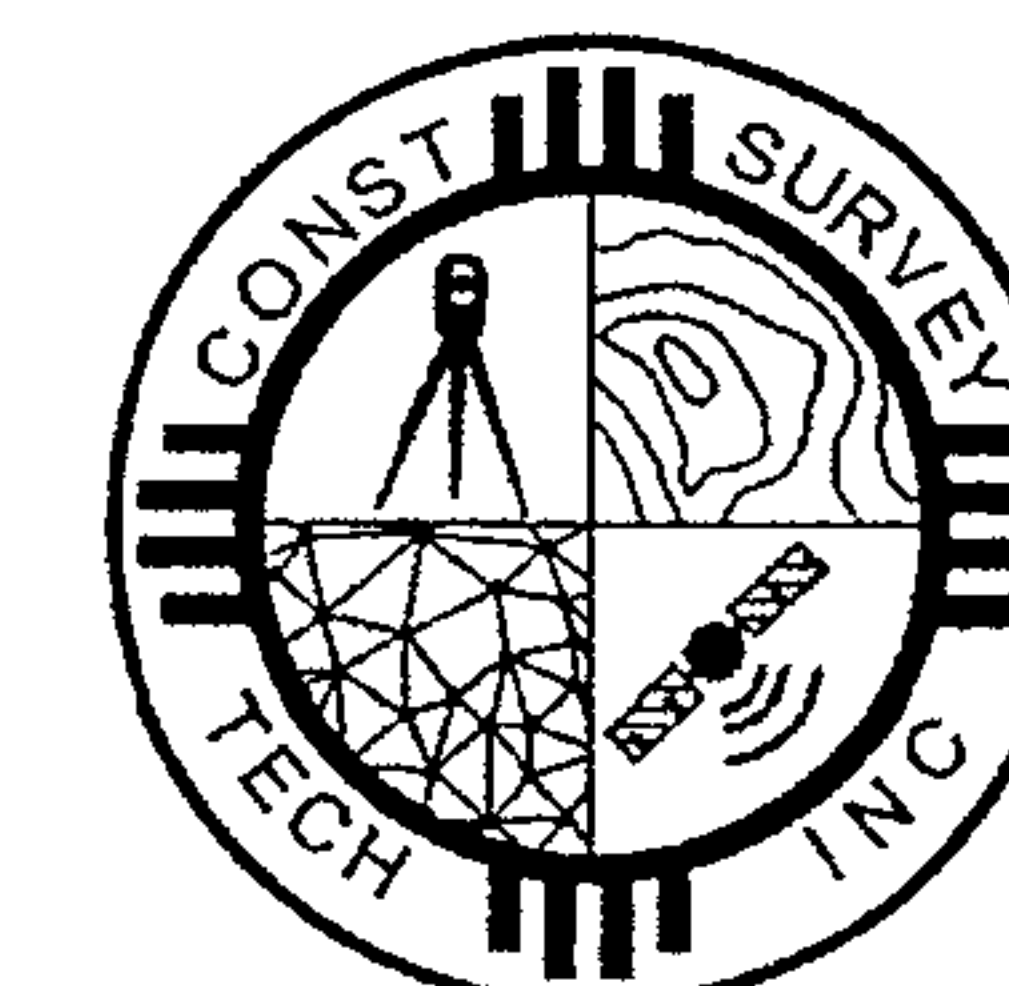
NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTION, COVENANT OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDING OR BEING ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO THE APPROVAL OF THIS PLAT

NOTE:  
 DISTANCES IN PARENTHESIS ARE RECORD  
 AND HAVE NO BEARING REFERENCES  
 SHOWN ON ORIGINAL FILED PLAT.



LEGEND OF SYMBOLS

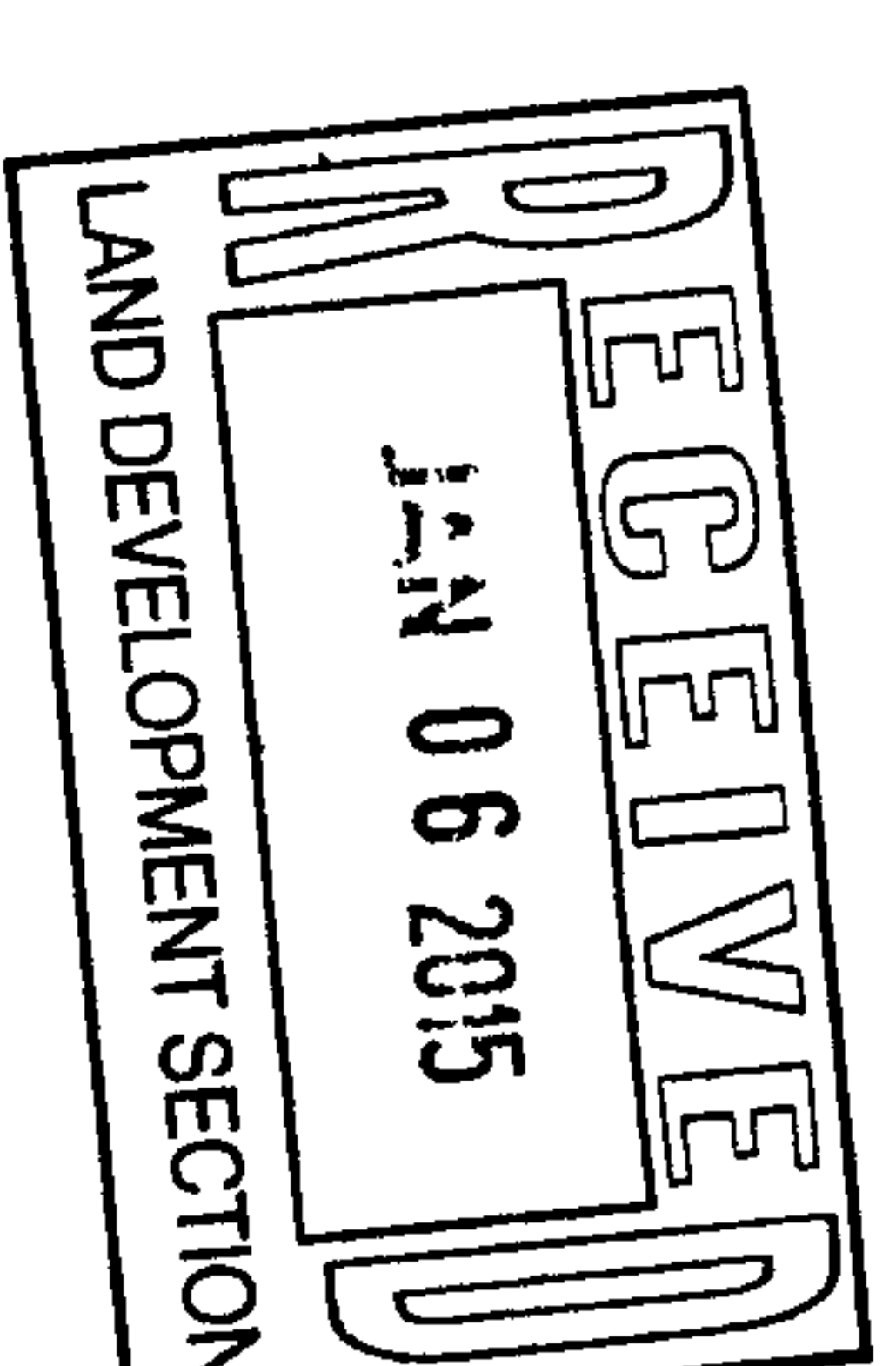
- PD MONUMENT \*AS NOTED\*
- SET 5/8" REBAR WITH LS CAP "21052" (1" DIAM)



DOCH 2014101430  
 12/22/2014 11:20 AM Page 2 of 2  
 PLAT B 525 00 B 2014C P. 6140 R. Toulous Olivero, Bernalillo Co.

CONSTRUCTION SURVEY TECHNOLOGIES, INC.

MAILING: PO BOX 65395, ALBUQUERQUE, NM 87193 505-917-8921  
 OFFICE: 1606 CENTRAL AVE SE, SUITE 101, ALBUQUERQUE, NM 87106  
 NMSURVEYOR@GMAIL.COM



**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV 02/2012)

J/4 D174

PROJECT TITLE: TOWNHOUSES FOR LOBBEREGET ZONE MAP: J-14  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 1, LANDS OF BUCHANAN  
CITY ADDRESS: 608 EIGHTH ST. N.E.

ENGINEERING FIRM: SBS CONSTRUCTION ENGINEERING, LLC CONTACT: SHAWN  
ADDRESS: PO BOX 10264 PHONE: 804-5013  
CITY, STATE: ABQ, NM ZIP CODE: \_\_\_\_\_  
EMAIL: ASCLLC@AOL.COM

OWNER: GREG LOBBEREGET CONTACT: GREG  
ADDRESS: 8200 CARMEL NE STE 103 PHONE: 800-753-4614  
CITY, STATE: ABQ, NM ZIP CODE: 87122

ARCHITECT: ROGER CINELLI & ASSOC. CONTACT: ROGER  
ADDRESS: 2418 MANUEL TORRES LN NW. PHONE: 243-8211  
CITY, STATE: ABQ, NM ZIP CODE: 87107  
EMAIL: rcinelli@aol.com

SURVEYOR: CONSTRUCTION SURVEY TECH., INC CONTACT: JOHN  
ADDRESS: PO BOX 65395 PHONE: 917-8921  
CITY, STATE: ABQ, NM ZIP CODE: 87193

CONTRACTOR: JASON BUCHANAN CONTACT: JASON  
ADDRESS: PO BOX 6031 PHONE: 977-1332  
CITY, STATE: ABQ, NM ZIP CODE: 87193

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☒ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

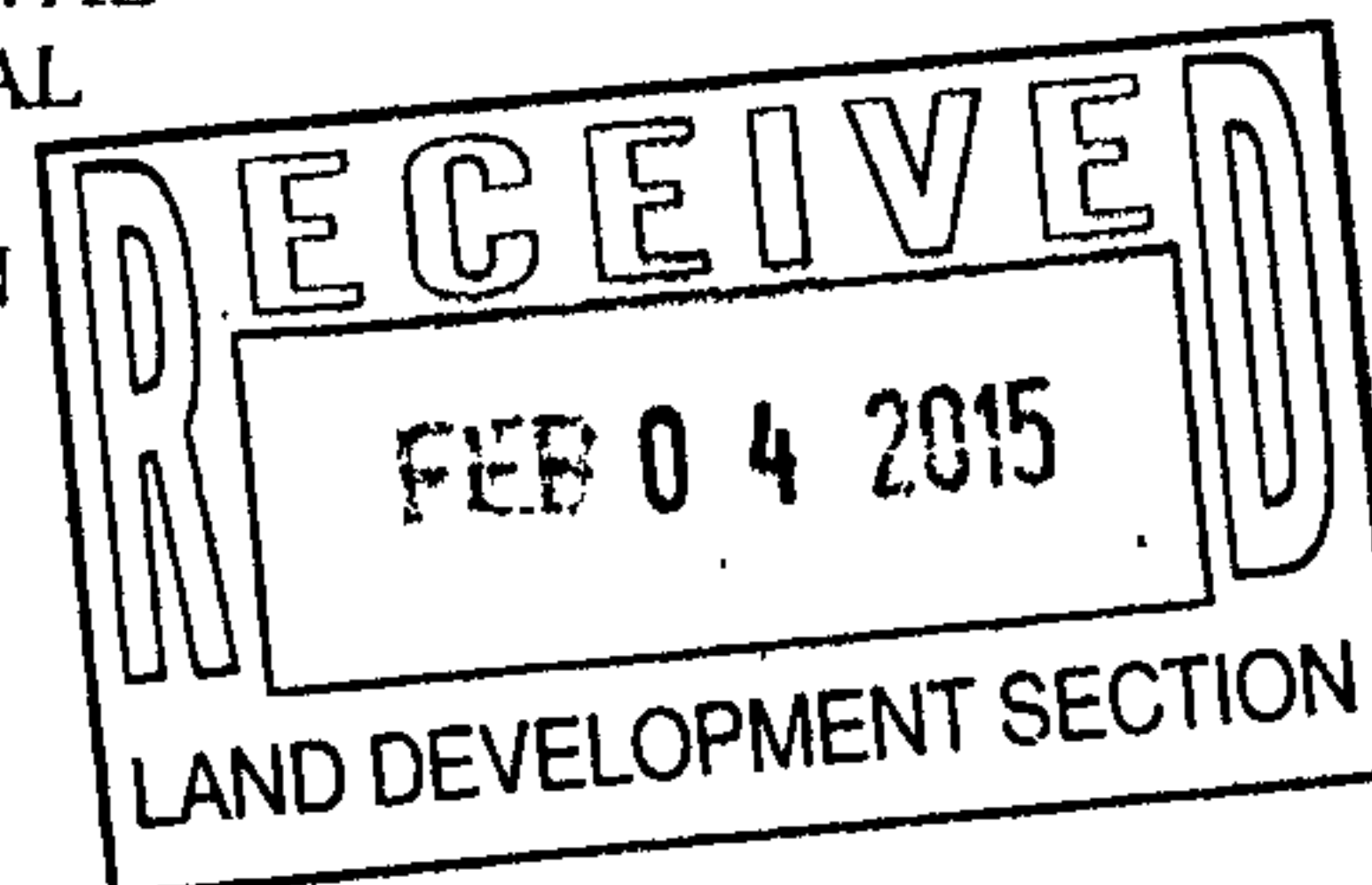
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ OTHER (SPECIFY) SO-19 \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 2/4/15 BY: Roger Cinelli

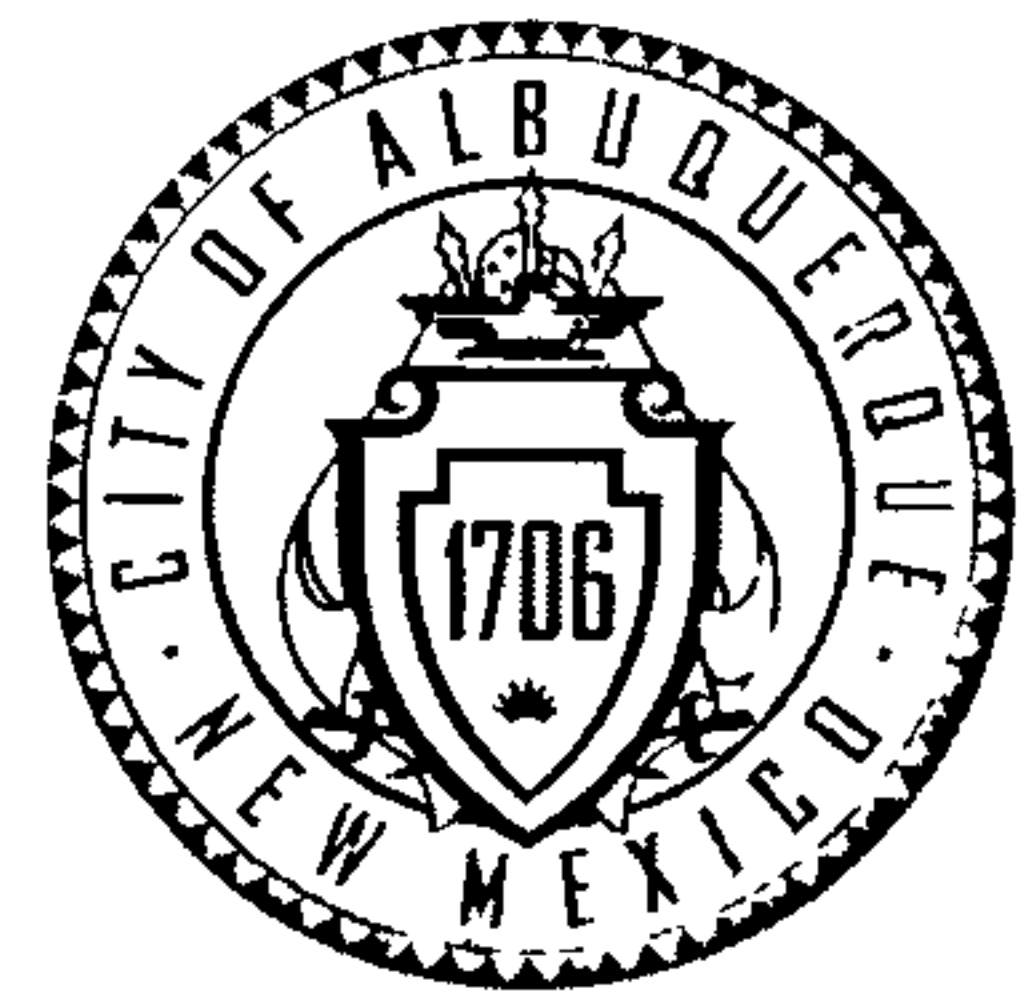


Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report.** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services**

February 5, 2015

Roger Cinelli, R.A.  
Roger Cinelli & Associates  
2418 Manuel Torres Lane NW  
Albuquerque, NM 87107

**Re: Townhouses for Lobberegt, 608 8<sup>th</sup> Street NW**  
**Traffic Circulation Layout**  
Architect's Stamp dated 2-1-15 (J14-D174)

Dear Mr. Cinelli:

The TCL submittal received 02-05-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

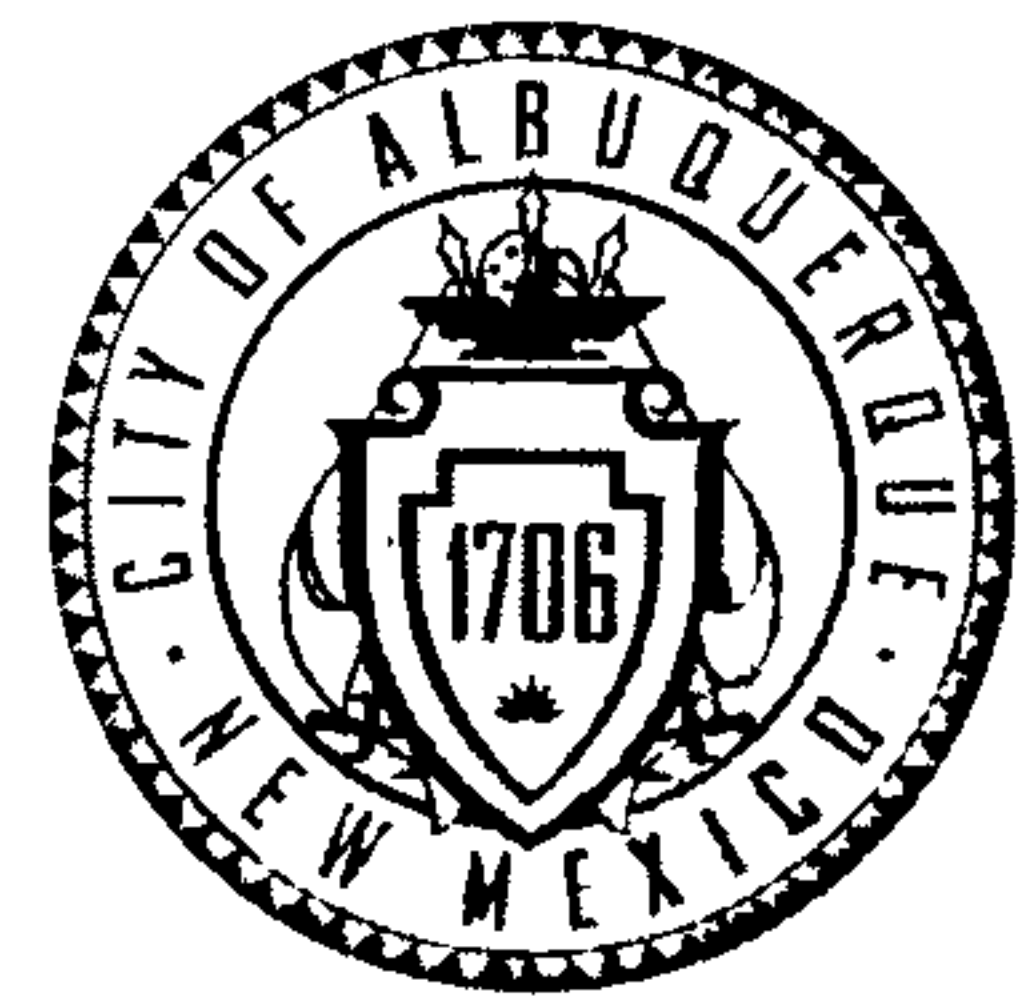
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Jeanne Wolfenbarger, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

c: File  
CO Clerk

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services**

October 26, 2015

Roger Cinelli  
Roger Cinelli and Assoc.  
2418 Manuel Torres Ln, NW  
Albuquerque, NM

**Re: Townhouses for Lobbereg  
Certificate of Occupancy – Transportation Development**  
Engineer's/Architect's Stamp dated 2-1-15 (J14-D174)  
Certification dated 10-15-15

Dear Mr. Cinelli,

Based upon the information provided in your submittal received 10-22-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Racquel M. Michel, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

c: File  
CO Clerk

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV 02/2012)

PROJECT TITLE: TOWNHOUSES FOR LOBBEREGET ZONE MAP: J-14/P174  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 1, LANDS OF BUCHANON  
CITY ADDRESS: 608 EIGHTH ST. N.E.

ENGINEERING FIRM: SBS CONSTRUCTION ENGINEERING LLC CONTACT: SHAWN  
ADDRESS: PO BOX 10264 PHONE: 804-5013  
CITY, STATE: ABQ, NM ZIP CODE: \_\_\_\_\_  
EMAIL: agcllc@aol.com

OWNER: GREG LOBBEREGET CONTACT: GREG  
ADDRESS: 8200 CAMEL NE STE 103 PHONE: 800-753-4614  
CITY, STATE: ABQ, NM ZIP CODE: 87122

ARCHITECT: ROGER CINELLI & ASSOC. CONTACT: ROGER  
ADDRESS: 2418 MANUEL TORRES LN NW PHONE: 243-8211  
CITY, STATE: ABQ, NM ZIP CODE: 87107  
EMAIL: rcinelli@aol.com

SURVEYOR: CONSTRUCTION SURVEY TECH., INC CONTACT: JOHN  
ADDRESS: PO BOX 65395 PHONE: 917-8921  
CITY, STATE: ABQ, NM ZIP CODE: 87193

CONTRACTOR: JASON BUCHANAN CONTACT: JASON  
ADDRESS: PO BOX 6031 PHONE: 977-1332  
CITY, STATE: ABQ, NM ZIP CODE: 87193

**TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1" SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☒ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ OTHER (SPECIFY) SO-19 \_\_\_\_\_

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 10/15/15 BY: Roger Cinelli

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

*Rec 10/22/15*



# Cinelli

## ARCHITECTS

OFFICE ( 505 ) 243-8211 FAX ( 505 ) 243-8196

ROGER CINELLI & ASSOCIATES, INC. 2418 MANUEL TORRES LANE N.W. ALBUQUERQUE, NEW MEXICO 87107

10/15/2015

CITY OF ALBUQUERQUE  
TRANSPORTATION DEVELOPMENT SECTION  
PLAZA DEL SOL BUILDING  
600 2<sup>ND</sup> STREET N.W.  
ALBUQUERQUE, NEW MEXICO 87102

RE: TRAFFIC CIRCULATION LAYOUT - TOWNHOUSE APARTMENT FOR GREG LOBBEREGET - 608  
EIGHTH STREET N.W., ALBUQUERQUE, NEW MEXICO- ( J14/D174) - ARCHITECT'S STAMP DATED  
2/1/2015 - PLAN DATED FEB. 2015 - APPROVED 2/5/2015 - **FINAL SITE CERTIFICATION**

DEAR SIRs,

I, ROGER CINELLI, NMRA 1102, OF THE FIRM, ROGER CINELLI & ASSOCIATES INC, HEREBY  
CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE  
WITH THE DESIGN INTENT OF THE TCL APPROVAL LETTER DATED 2/5/2015.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON OCTOBER  
15, 2015.

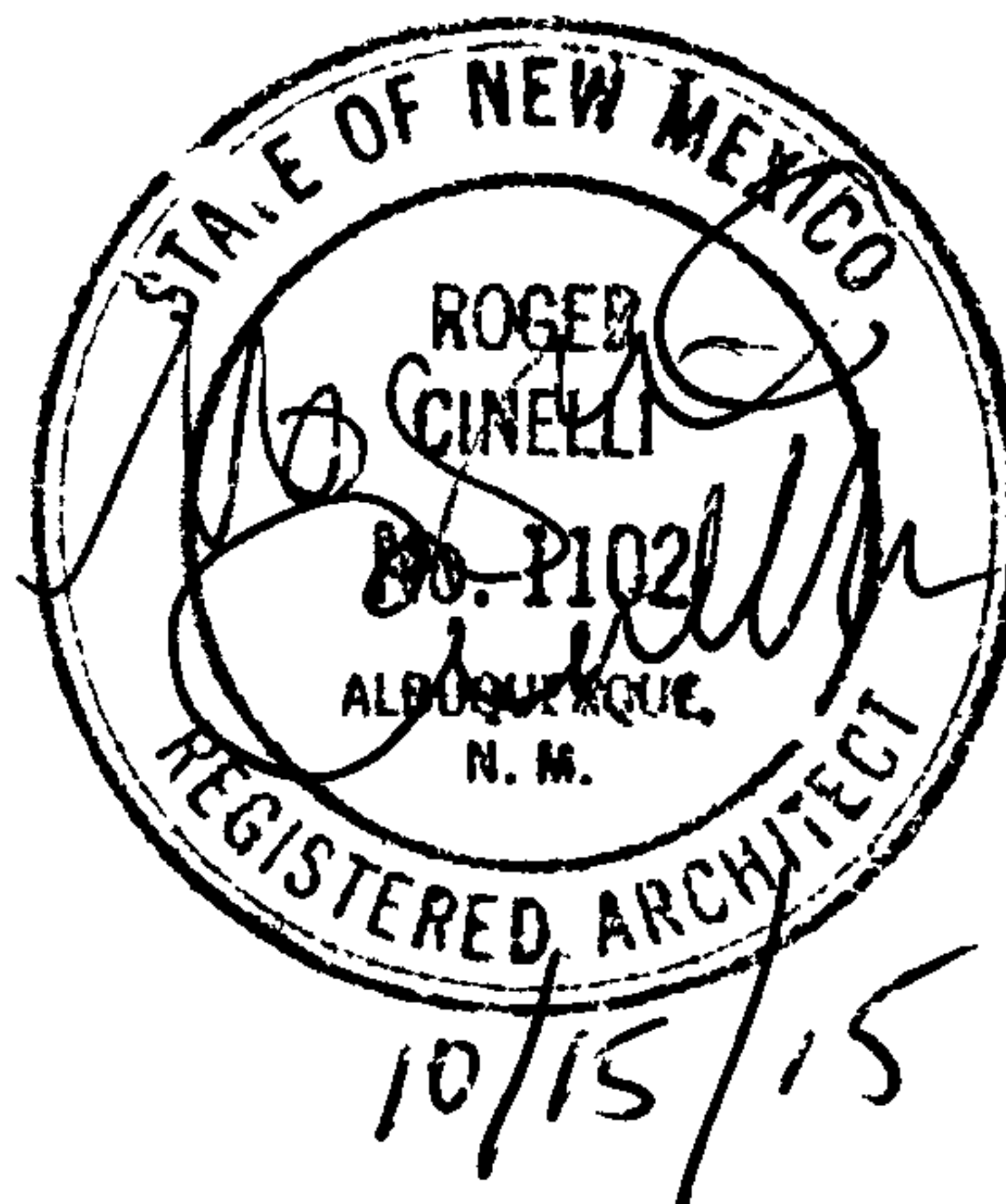
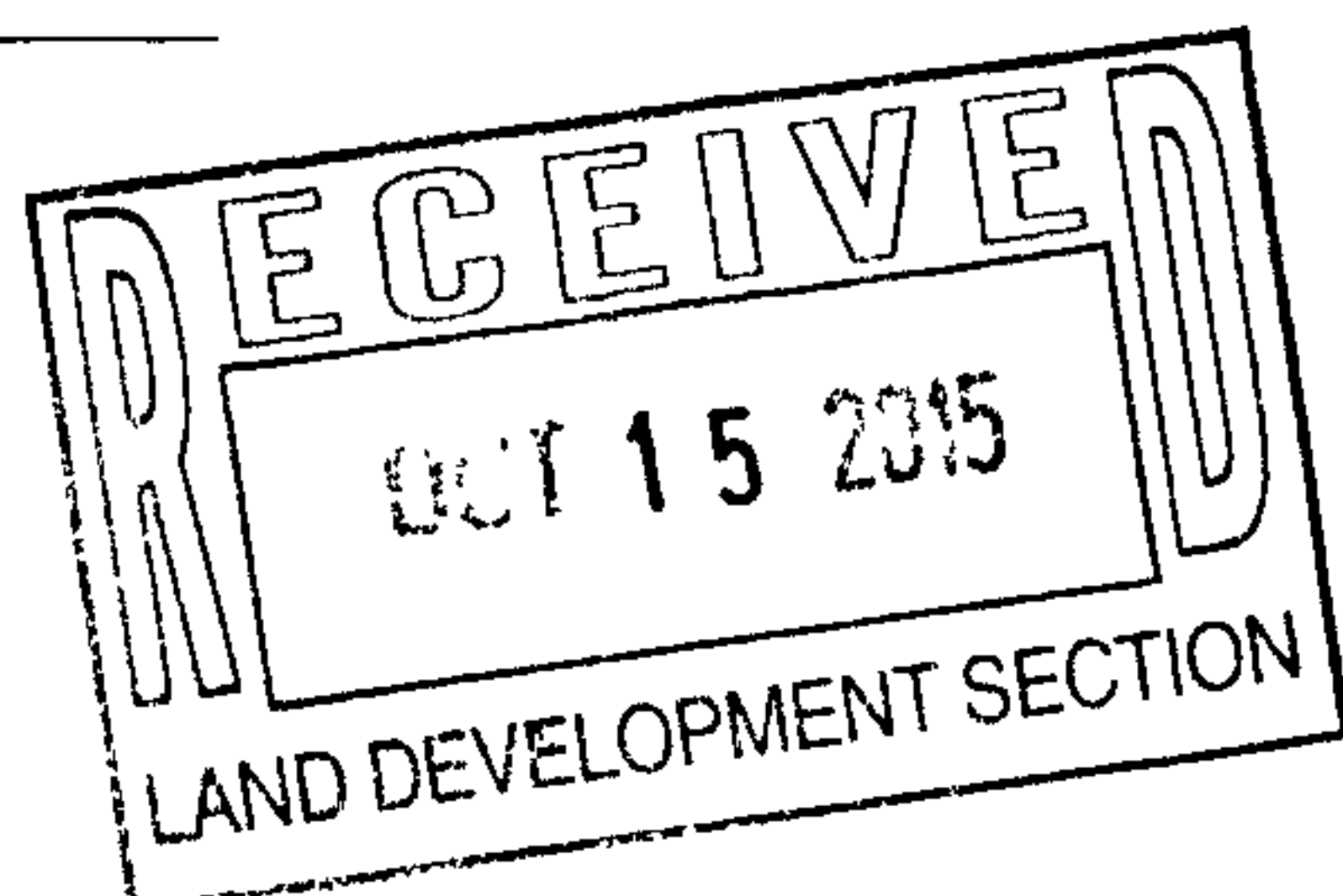
THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT, IF ANY,  
HAS BEEN OBTAINED BY ROGER CINELLI OF THE FIRM ROGER CINELLI & ASSOCIATES INC. I  
FURTHER SUBMIT THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE  
CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS  
CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF  
OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND  
INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS  
PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT  
VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

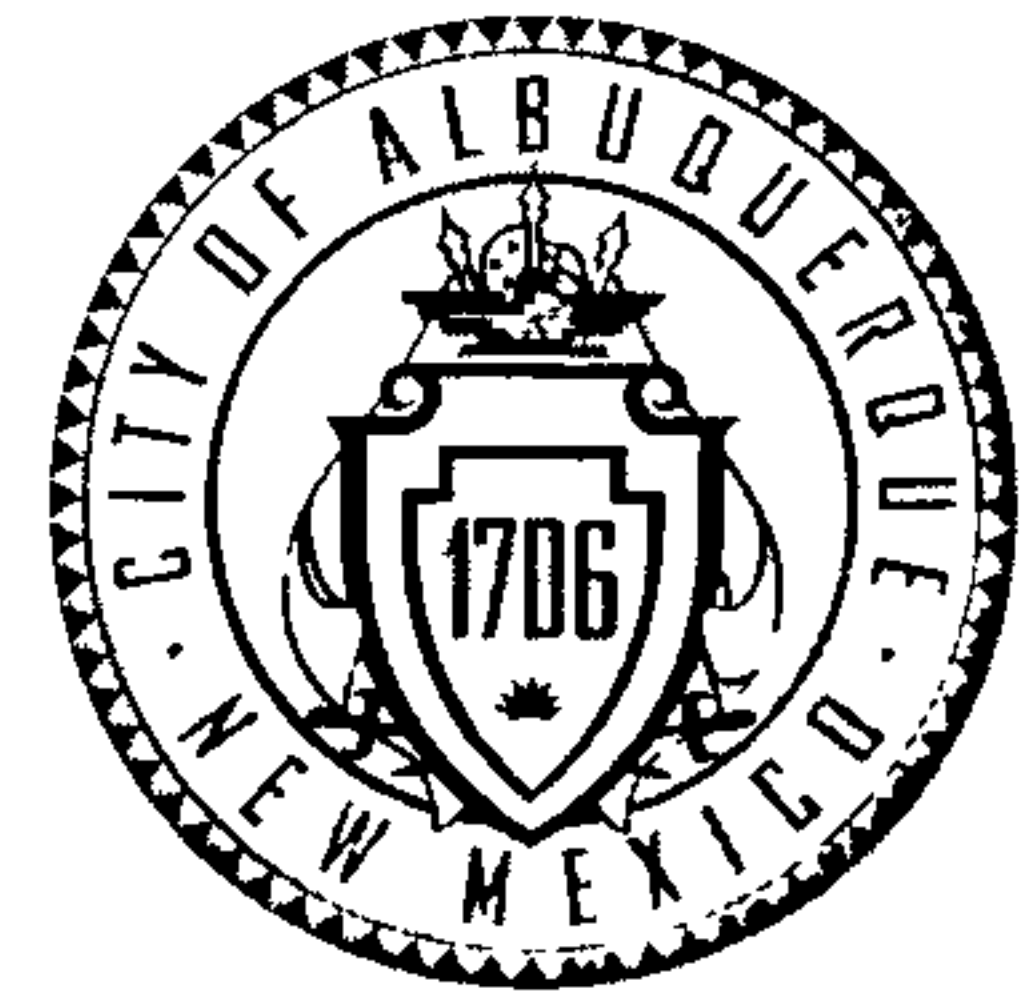
SINCERELY,

  
ROGER CINELLI, ARCHITECT

10/15/15  
DATE



# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services**

February 5, 2015

Roger Cinelli, R.A.  
Roger Cinelli & Associates  
2418 Manuel Torres Lane NW  
Albuquerque, NM 87107

**Re: Townhouses for Lobberegt, 608 8<sup>th</sup> Street NW**  
**Traffic Circulation Layout**  
Architect's Stamp dated 2-1-15 (J14-D174)

Dear Mr. Cinelli:

The TCL submittal received 02-05-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

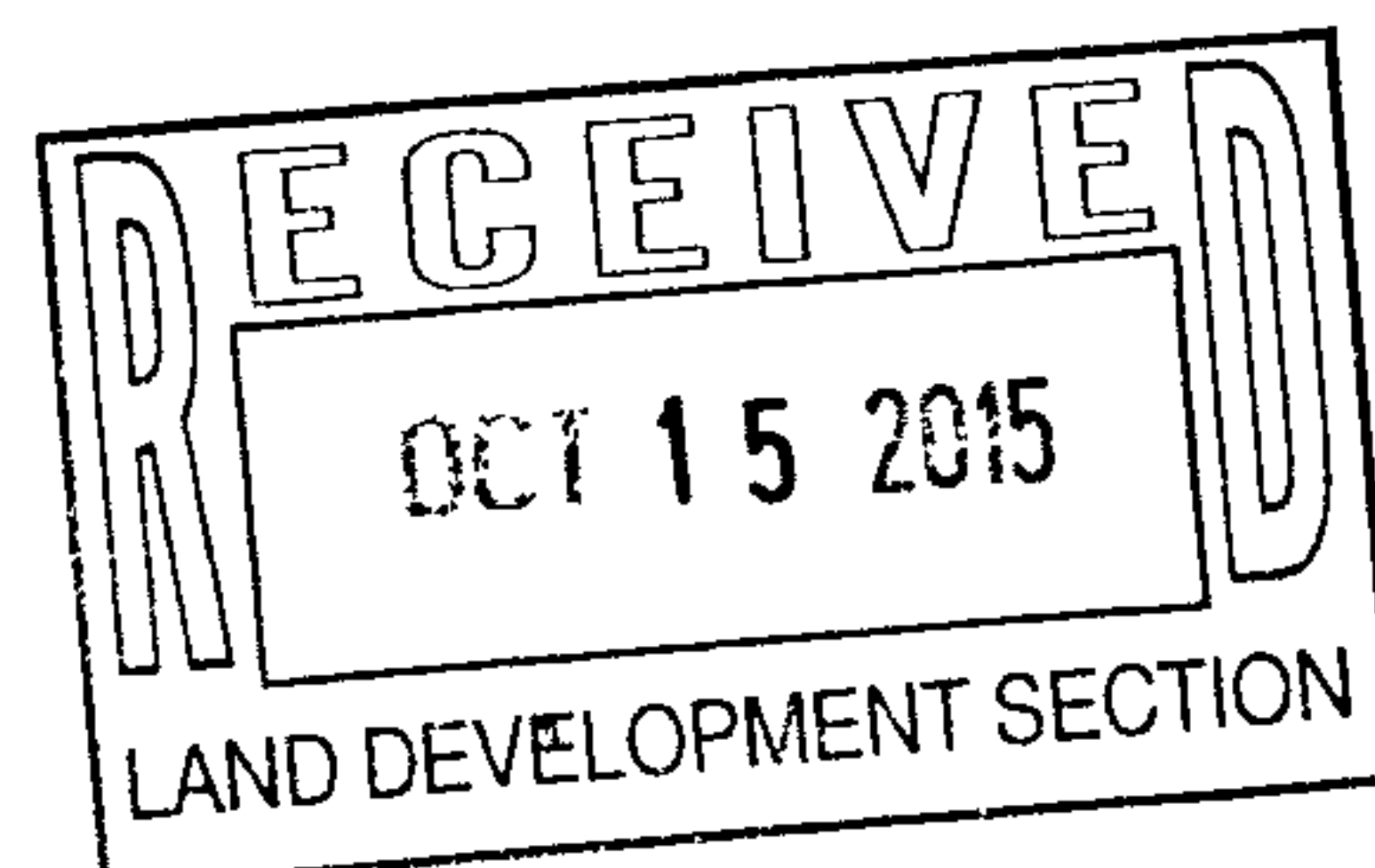
When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

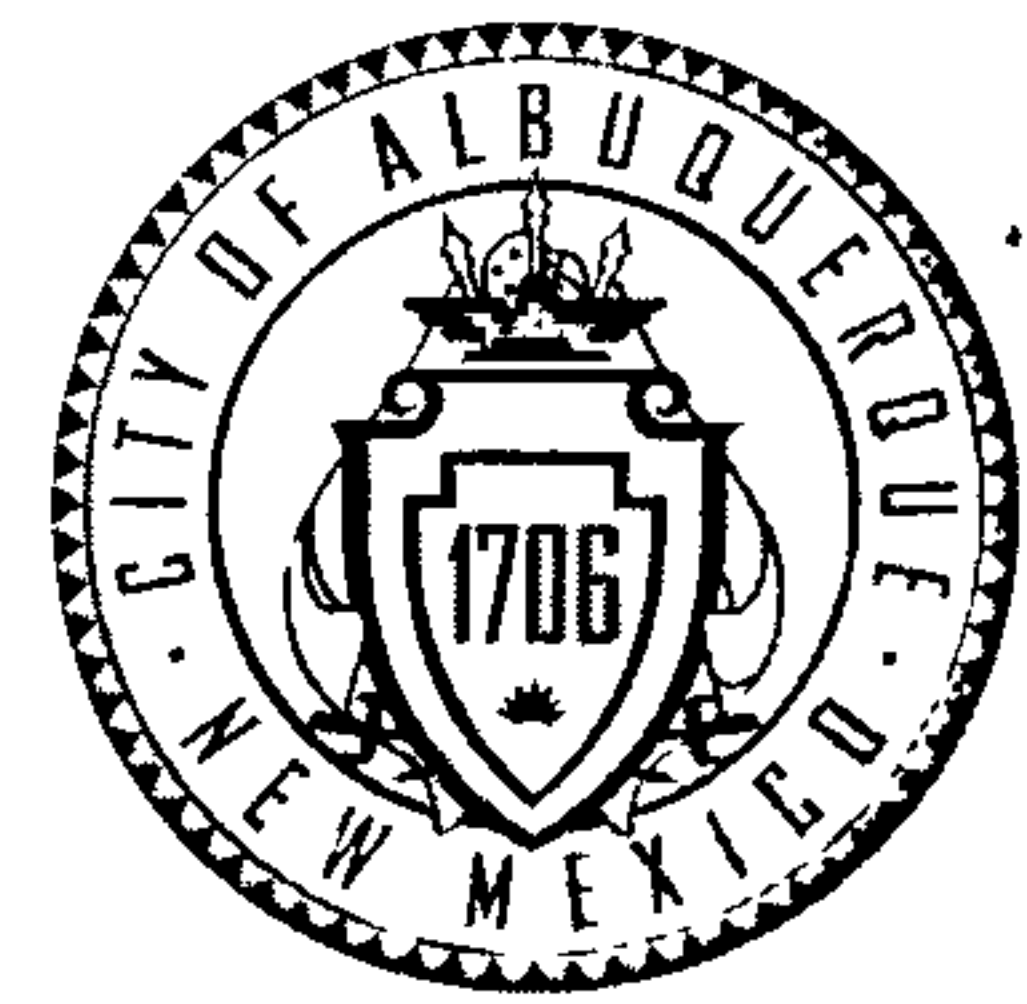
Sincerely,

Jeanne Wolfenbarger, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

c: File  
CO Clerk



# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services**

January 22, 2015

Roger Cinelli, R.A.  
Roger Cinelli & Associates  
2418 Manuel Torres Lane NW  
Albuquerque, NM 87107

**Re: Townhouses for Lobberegt, 600 8<sup>th</sup> Street NW**  
**Traffic Circulation Layout**  
Architect's Stamp dated 1-1-15 (J14-D174)

Dear Mr. Cinelli:

Based upon the information provided in your submittal received 01-06-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

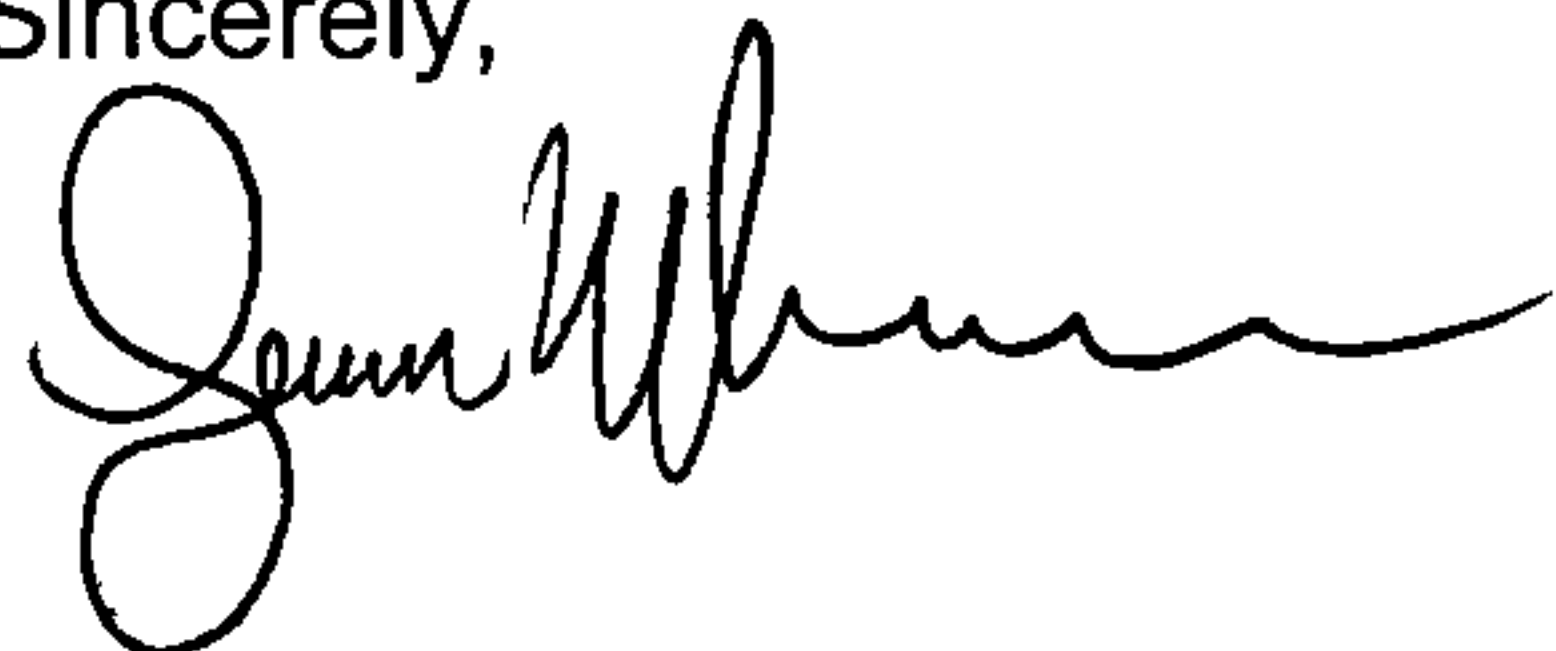
1. Clarify the number of townhomes on the plan as four townhomes if this is what the plan represents.
2. Label existing curb within right-of-way. Existing curb and sidewalk must be clearly differentiated from proposed curb and sidewalk. Also label width of existing curb cuts that are to be removed. Are the existing 14 and 15-foot dimensions that are shown on the plan referring to existing curb cuts?
3. Show and label existing pavement edges within the 20-foot paved alley to the north of the townhomes. Also, show exact limits of pavement extension to proposed sidewalk. Provide a typical pavement section. For Keyed Note 6, call out for a smooth connection to sidewalk if the asphalt roadway is meant to be flush with sidewalk.
4. Show limits of new sidewalk installation within Eighth Street by clearly calling out the beginning and end of new sidewalk construction on the north and south end of the project. Call out for a smooth sidewalk connection to existing.
5. For on-site sidewalk installation, provide a sidewalk detail. Label all sidewalks to the porches as 4-foot sidewalks if this is what was intended. Be sure to label a 2% maximum cross-slope to ensure ADA requirements are met.
6. Provide a detail of the proposed wheelchair ramps on Eighth Street that is complete with dimensions. Show layout of detectable warning devices within the detail.



7. On Keyed Note #4, I believe it was meant to call out COA Standard Detail 2426 instead of 2425 with the layout that is proposed. COA standard detail 2425 is for driveways. Label curb radii and width of the entrance into the 20-foot paved alley. Double-check this call-out note.
8. Widen entrance from Eighth Street into 20-foot alleyway by relocating the existing curb at the southeast corner of the intersection directly to the south so that the new curb is immediately within the alleyway right-of-way. Be sure to keep the curb, sidewalk, and ramp at this corner within public right-of-way. (See attached sketch.)
9. For Keyed Note 5, use the following note, "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area." Clearly extend leader to the sight distance triangle on either side of the alley to be clear about the sight distance triangle limits or else shade the sight distance triangle.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3924.

Sincerely,



Jeanne Wolfenbarger, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

c: File  
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET  
(REV 02/2012)

J14D174

PROJECT TITLE: TOWNHOUSES FOR LOBBEREGET ZONE MAP: J-14  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 1, LANDS OF BUCHANAN  
CITY ADDRESS: 608 EIGHTH ST. N.E.

ENGINEERING FIRM: SBS CONSTRUCTION ENGINEERING LLC CONTACT: SHAWN  
ADDRESS: PO BOX 10264 PHONE: 804-5013  
CITY, STATE: ABQ., NM ZIP CODE: \_\_\_\_\_  
EMAIL: ABCLLC@AOL.COM

OWNER: GREG LOBBEREGET CONTACT: GREG  
ADDRESS: 8200 CARMEL HE STE 103 PHONE: 800-753-4614  
CITY, STATE: ABQ., NM ZIP CODE: 87122

ARCHITECT: ROGER CINELLI & ASSOC. CONTACT: ROGER  
ADDRESS: 2418 MANUEL TORRES LN NW. PHONE: 243-8211  
CITY, STATE: ABQ., NM ZIP CODE: 87107  
EMAIL: rcinelli@aol.com

SURVEYOR: CONSTRUCTION SURVEY TECH., INC CONTACT: JOHN  
ADDRESS: PO BOX 65395 PHONE: 917-8921  
CITY, STATE: ABQ., NM ZIP CODE: 87193

CONTRACTOR: JASON BUCHANAN CONTACT: JASON  
ADDRESS: PO BOX 6031 PHONE: 977-1332  
CITY, STATE: ABQ., NM ZIP CODE: 87193

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER (SPECIFY) \_\_\_\_\_

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☒ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION  
☐ OTHER (SPECIFY) SO-19 \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES  
☐ NO  
☐ COPY PROVIDED

DATE SUBMITTED: JAN 6, 2015 BY: Roger Cinelli

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

