

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services**

February 5, 2015

Roger Cinelli, R.A.  
Roger Cinelli & Associates  
2418 Manuel Torres Lane NW  
Albuquerque, NM 87107

**Re: Townhouses for Lobberegt, 608 8<sup>th</sup> Street NW**  
**Traffic Circulation Layout**  
Architect's Stamp dated 2-1-15 (J14-D174)

Dear Mr. Cinelli:

The TCL submittal received 02-05-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Jeanne Wolfenbarger, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

c: File  
CO Clerk

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV 02/2012)

PROJECT TITLE: TOWNHOUSES FOR LOBBEREGET ZONE MAP: J-14  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 1, LANDS OF BUCHANAN  
CITY ADDRESS: 608 EIGHTH ST. N.E.

ENGINEERING FIRM: SBS CONSTRUCTION ENGINEERING LLC CONTACT: SHAWN  
ADDRESS: PO BOX 10264 PHONE: 804-5013  
CITY, STATE: ABQ, NM ZIP CODE: \_\_\_\_\_  
EMAIL: agc11c@aol.com

OWNER: GREG LOBBEREGET CONTACT: GREG  
ADDRESS: 8200 CARMEL HE STE 103 PHONE: 800-753-4614  
CITY, STATE: ABQ, NM ZIP CODE: 87122

ARCHITECT: ROGER CINELLI & ASSOC. CONTACT: ROGER  
ADDRESS: 2418 MANUEL TORRES LN NW. PHONE: 243-8211  
CITY, STATE: ABQ, NM ZIP CODE: 87107  
EMAIL: rcinelli@aol.com

SURVEYOR: CONSTRUCTION SURVEY TECH., INC CONTACT: JOHN  
ADDRESS: PO BOX 65395 PHONE: 917-8921  
CITY, STATE: ABQ, NM ZIP CODE: 87193

CONTRACTOR: JASON BUCHANAN CONTACT: JASON  
ADDRESS: PO BOX 6031 PHONE: 977-1332  
CITY, STATE: ABQ, NM ZIP CODE: 87193

**TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ OTHER (SPECIFY) SO-19 \_\_\_\_\_

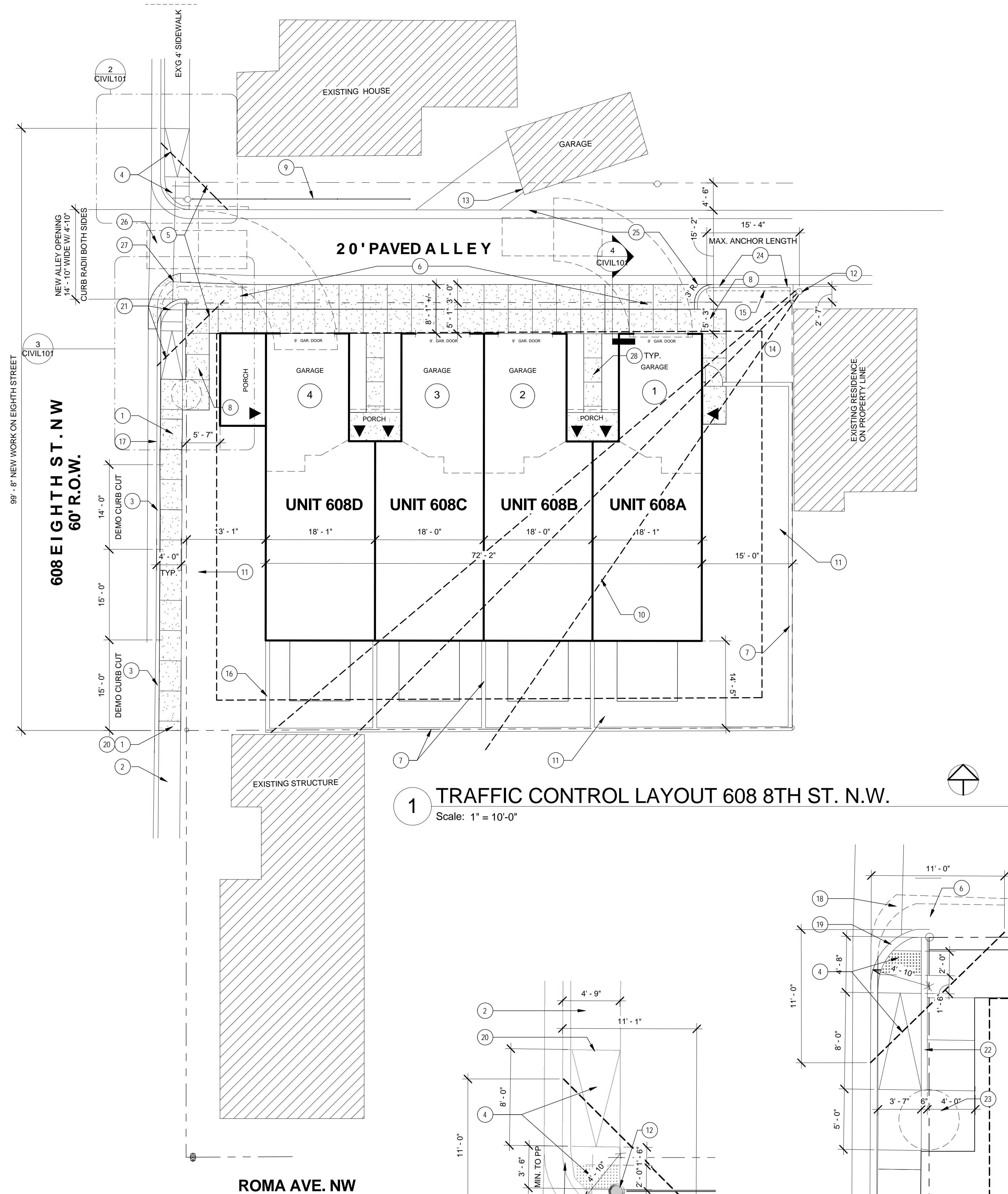
**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

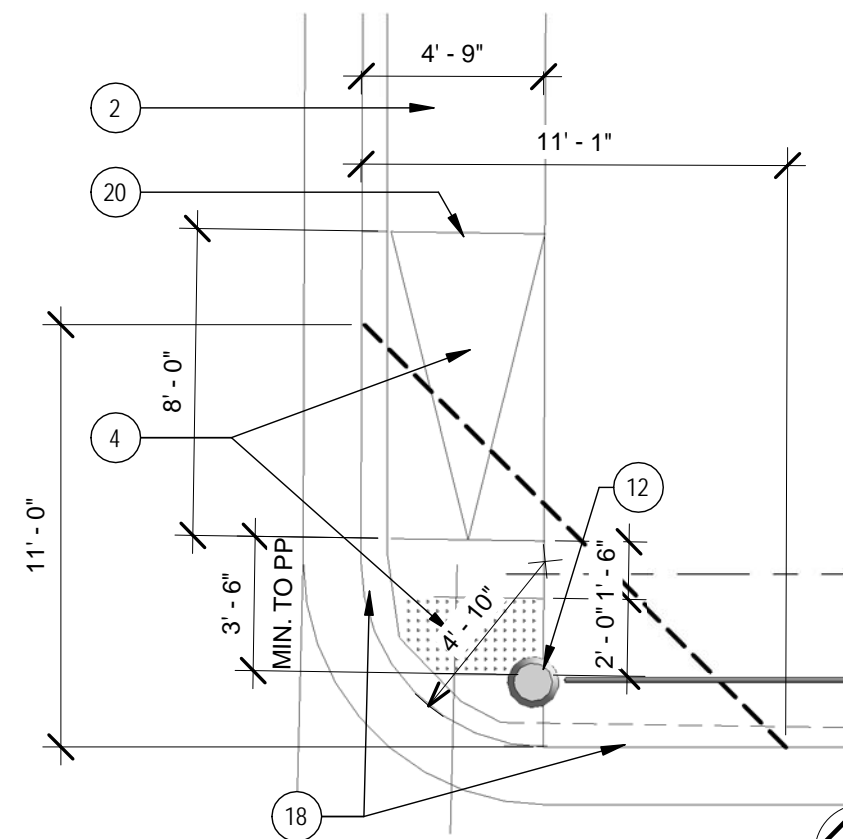
DATE SUBMITTED: 2/4/15 BY: Roger Cinelli

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

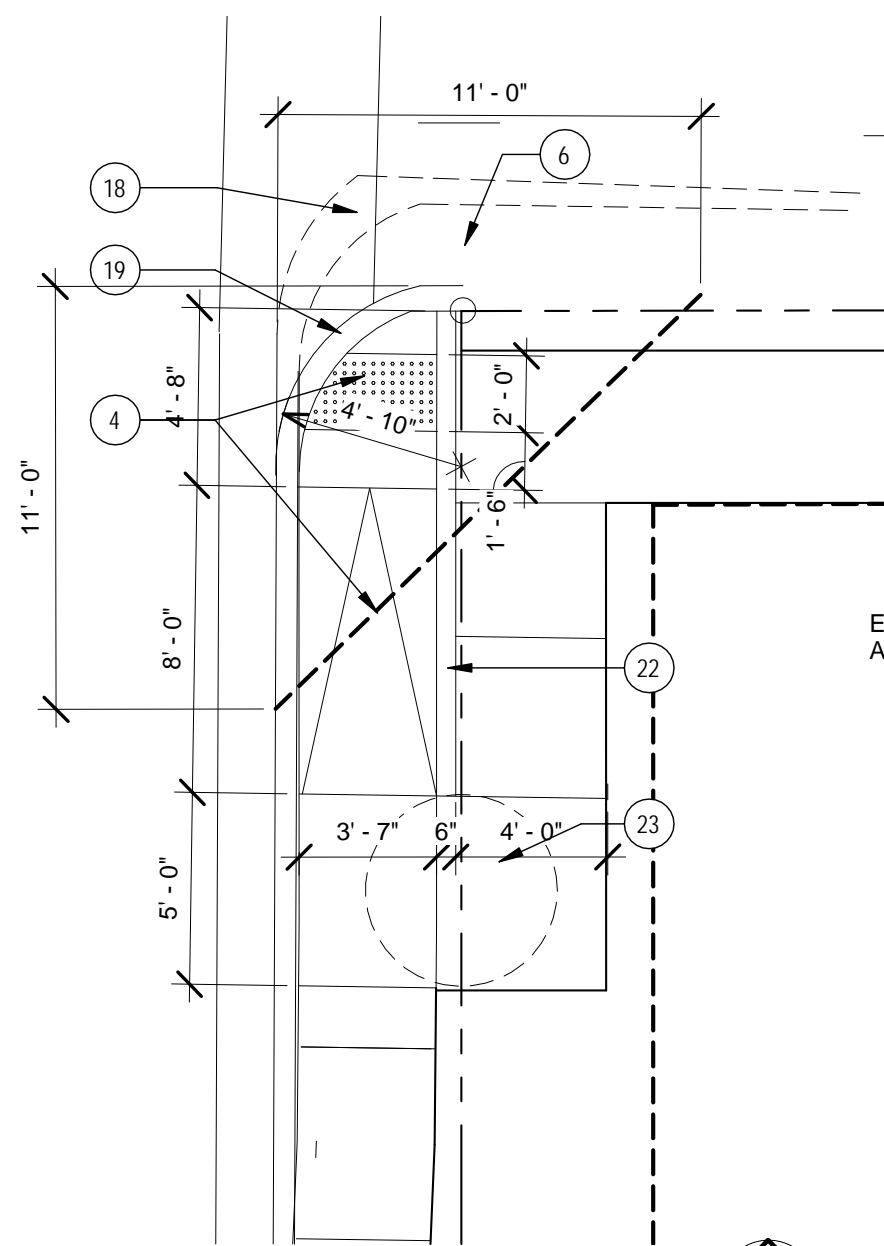
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



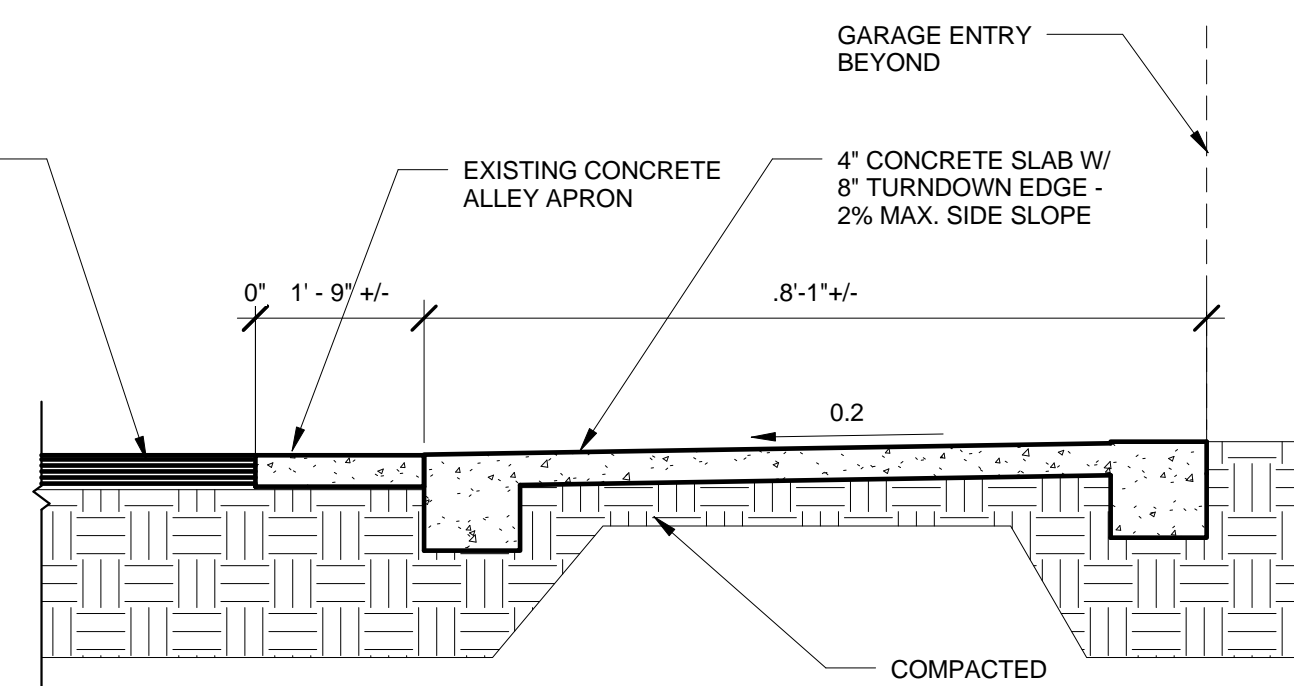
1 TRAFFIC CONTROL LAYOUT 608 8TH ST. N.W.  
Scale: 1" = 10'-0"



2 ENLARGED PLAN  
Scale: 1" = 5'-0"

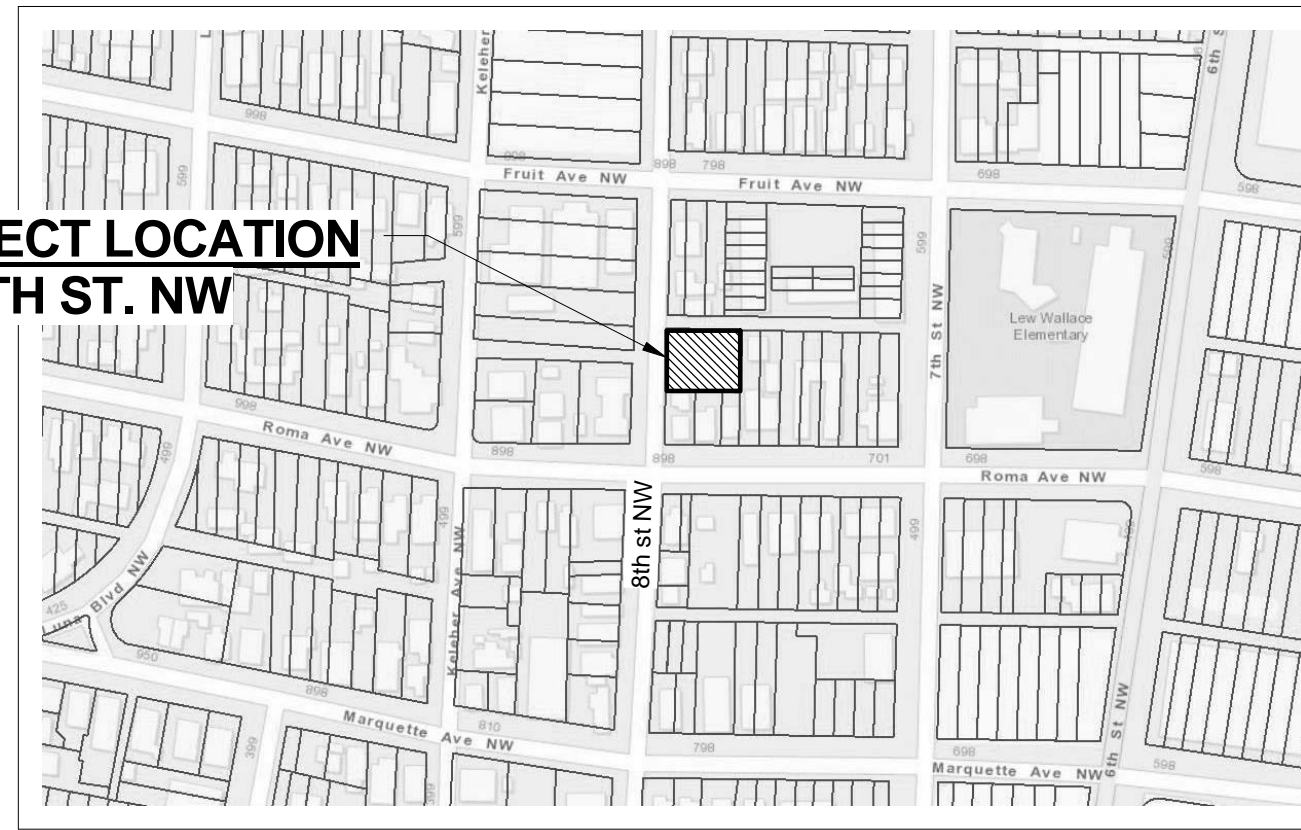


3 ENLARGED PLAN  
Scale: 1" = 5'-0"



4 DRIVEWAY & PEDESTRIAN SLAB  
Scale: 1/2" = 1'-0"

PROJECT LOCATION  
608 8TH ST. NW



VICINITY MAP J-14  
NTS

LEGAL DESCRIPTION

LOT 1, LANDS OF BUCHANON  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

LEGEND

CONCRETE SIDEWALK

UNIT ENTRANCE WITH  
4' WIDE CONCRETE  
ENTRY WALK

OFF STREET PARKING  
REQUIREMENTS:

PER SU2/DNA/MR(MIXED RESIDENCE)

FOUR TOWNHOUSE UNITS

J.1.a  
TOWNHOUSE: 1 SPACE/UNIT MINIMUM  
1 GARAGE SPACE/UNIT - COMPLIES

SHEET CIVIL101 KEYNOTES

KEYNOTE NUMBER	DESCRIPTION
1	NEW 48" WIDE PEDESTRIAN SIDEWALK
2	EXISTING 48" WIDE PEDESTRIAN SIDEWALK
3	REMOVE EXISTING CURB CUT - CONSTRUCT NEW SIDE WALK, STANDARD CURB & GUTTER PER COA STD. DRAWING No. 2415A & 2430
4	CUT EXISTING 8" HIGH CURB FOR 1 IN 12 UNIDIRECTIONAL RAMP W/ 42" MIN. LANDING AND TRUNCATED DOME DETECTABLE WARNING - SEE COA STD #2426 AND COA STD DWG #2415 FOR CURB
5	NO SHRUBS HIGHER THAN 3' A.F.G. WITHIN CLEAR SITE TRIANGLE LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL ( AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
6	INSTALL 4" CONCRETE PAVEMENT OVER COMPACTED SUBGRADE - PROVIDE SMOOTH TRANSITION FROM ALLEY APRON TO GARAGE ENTRY- SEE 4/CIVIL101
7	NEW 6'-0" HIGH FENCE
8	48" WIDE PEDESTRIAN WALKWAY- SEE 3/CIVIL102
9	EXISTING 4'-0" HIGH WROUGHT IRON FENCE
10	OVERHEAD LINES TO BE REMOVED
11	EXISTING POWER POLE IN ALLEY
12	EXISTING GARAGE ENCROACHMENT INTO ALLEY
13	LANDSCAPE AREA
14	EXISTING POWER POLE ANCHOR TO REMAIN
15	NEW 3'-0" HIGH FENCE
16	EXISTING CONCRETE CURB
17	EXISTING CONC. CURB TO BE DEMOED - INSTALL TO MATCH ADJACENT WHERE APPLICABLE
18	NEW CONCRETE CURB FLUSH WITH ALLEY
19	SMOOTH TRANSITION AT EXISTING SIDEWALK TO NEW WORK
20	CONSTRUCT NEW RADIUS CONC. CURB & GUTTER RETURN WITH 1 IN 12 UNIDIRECTIONAL RAMP W/ 42" MIN. LANDING AND TRUNCATED DOME DETECTABLE. WARNING - SEE COA STD #2426 AND COA STD DWG #2415 FOR CURB
21	6" CONCRETE CURB
22	5' HANDICAP TURNING SPACE
23	STANDARD 8" CONCRETE CURB AT POWER POLE ANCHOR GUY - AS PER COA STANDARD DETAIL #2415
24	EDGE OF EXISTING ALLEY CONCRETE APRON
25	EXISTING CONCRETE ALLEY VALLEY GUTTER
26	CONSTRUCT NEW CONCRETE VALLEY GUTTER TO MATCH EXISTING 48" GUTTER - PROVIDE SMOOTH TRANSITION AND MATCH EXISTING FLOWLINE - SEE ABQ STD DWG # 2421.
27	36" WIDE CONCRETE ENTRY WALK
28	

**Cinelli** / Roger Cinelli & Assoc.  
ARCHITECTS 2418 Manuel Torres Lane N.W.,  
Albuquerque, New Mexico 87107  
(505) 243-8211

PROJECT TITLE:  
**TOWNHOUSE APARTMENT  
FOR GREG LOBBEREGET**  
600 8TH ST N.W.  
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:  
**TRAFFIC CONTROL LAYOUT**

SEAL



DATE  
FEB 2015  
DRAWING NO.

PROJECT NO.  
LOB

**CIVIL101**

2/1/2015