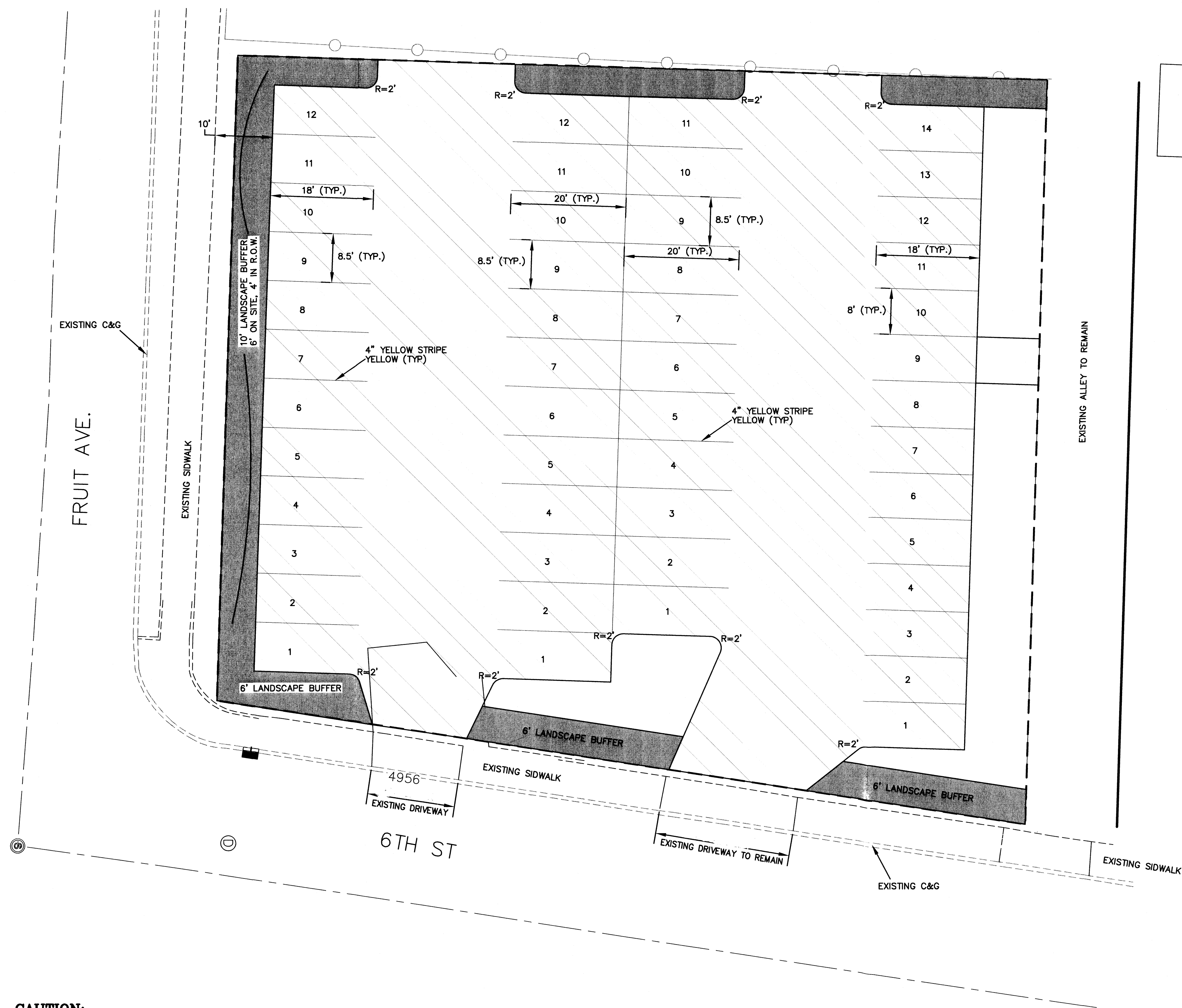
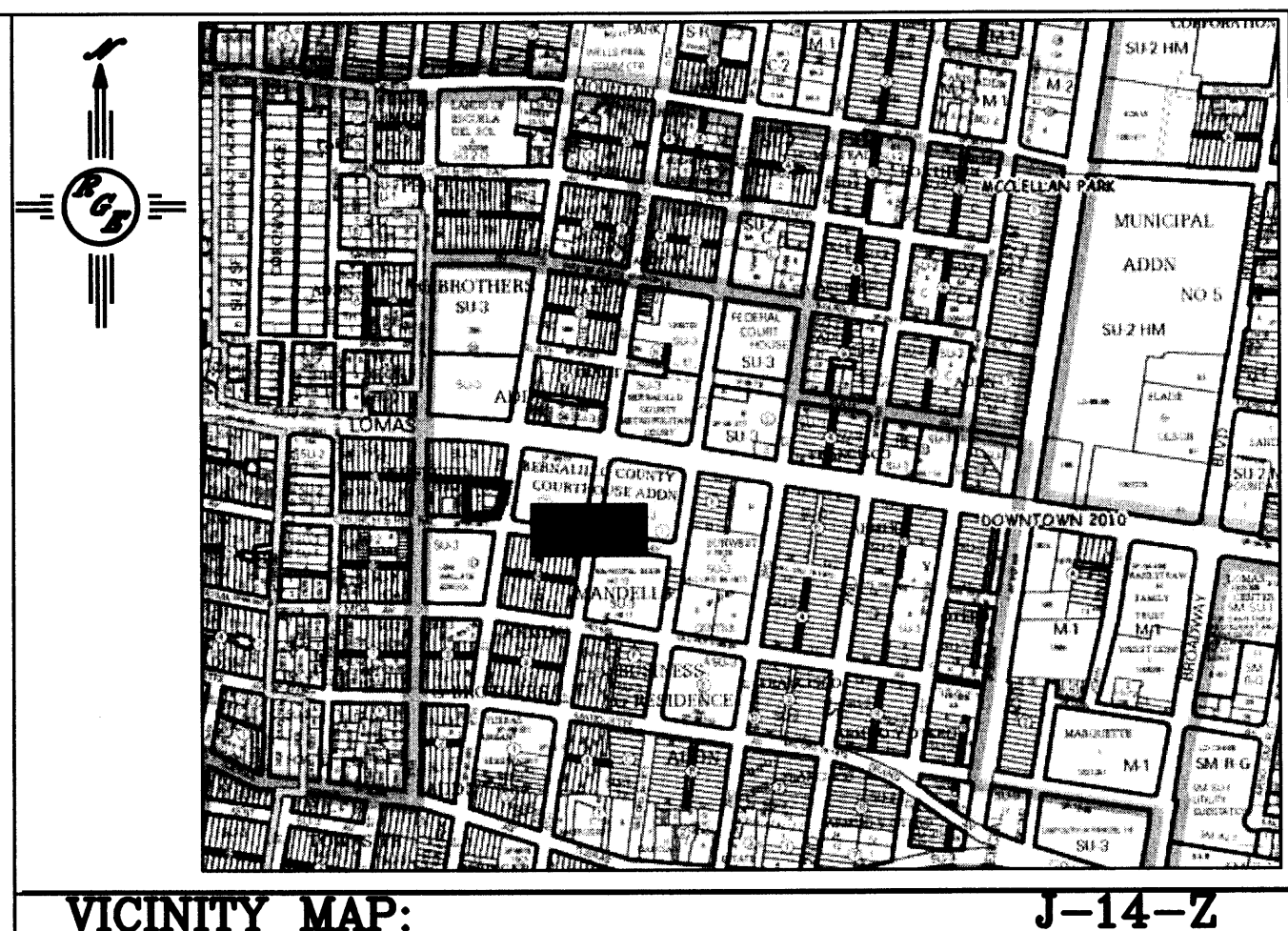
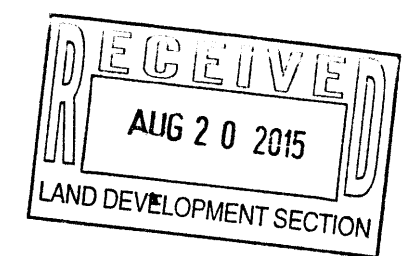




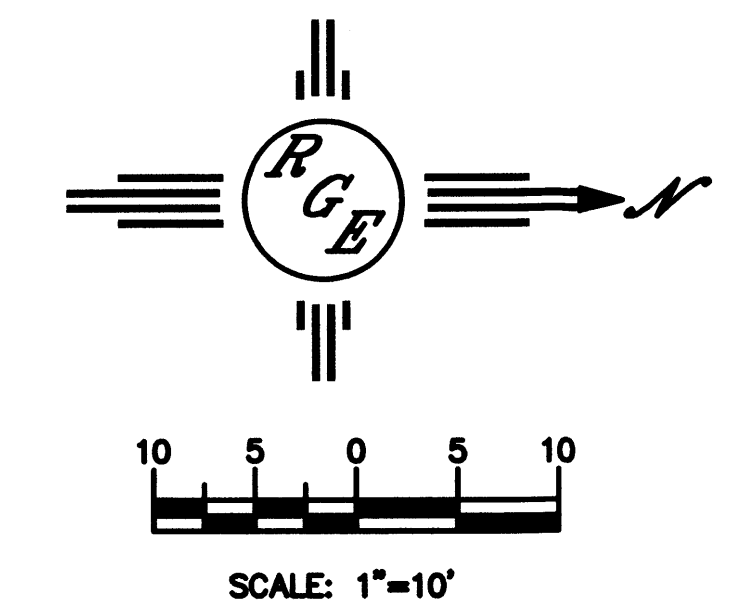
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NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.



- NOTES:
1. PARKING BUMPERS SHALL BE INSTALLED.
 2. EXISTING ALLEY WILL REMAIN, NO ACCESS TO PARKING FIELD SHALL BE TAKEN FROM ALLEY.



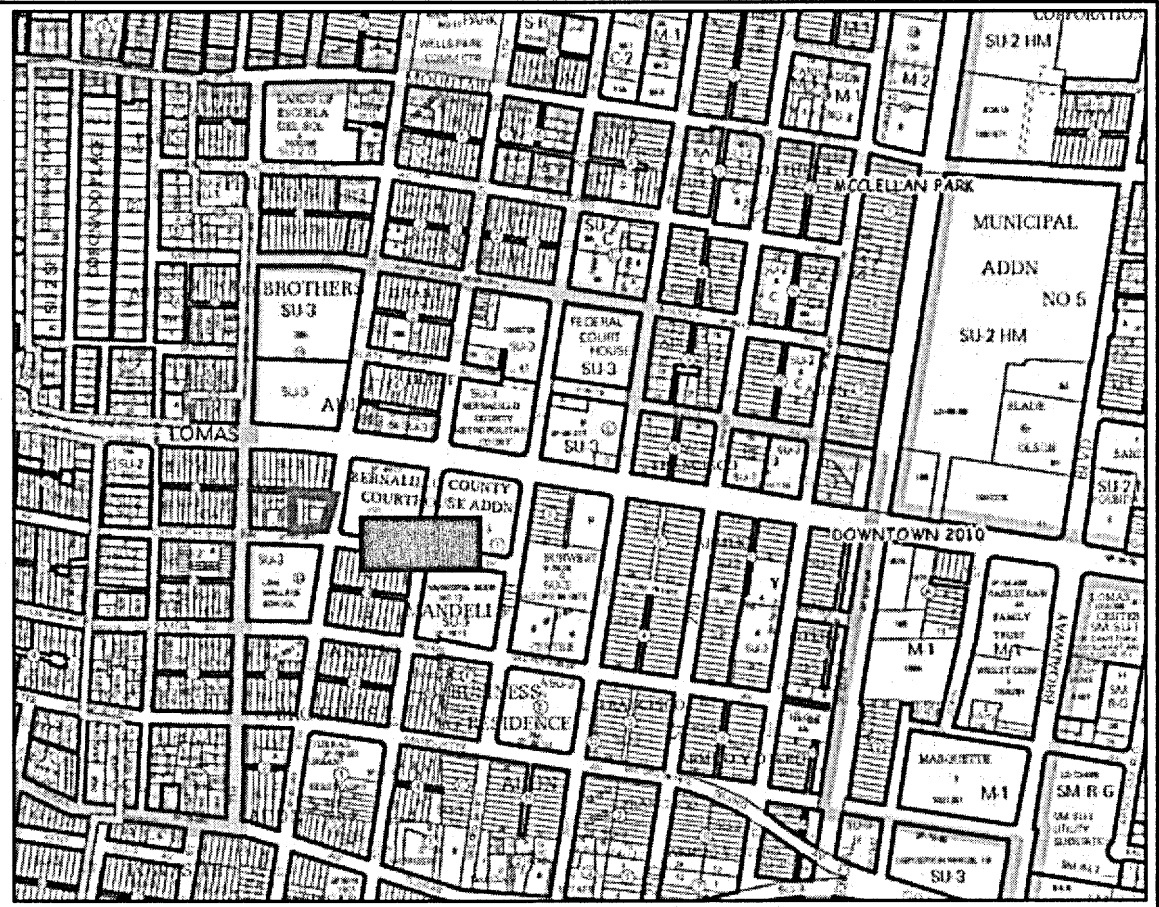
- LANDSCAPE AREA
- LIMITS OF NEW PAVEMENT
2" ASPHALT OVER COMPACTED SUBGRADE



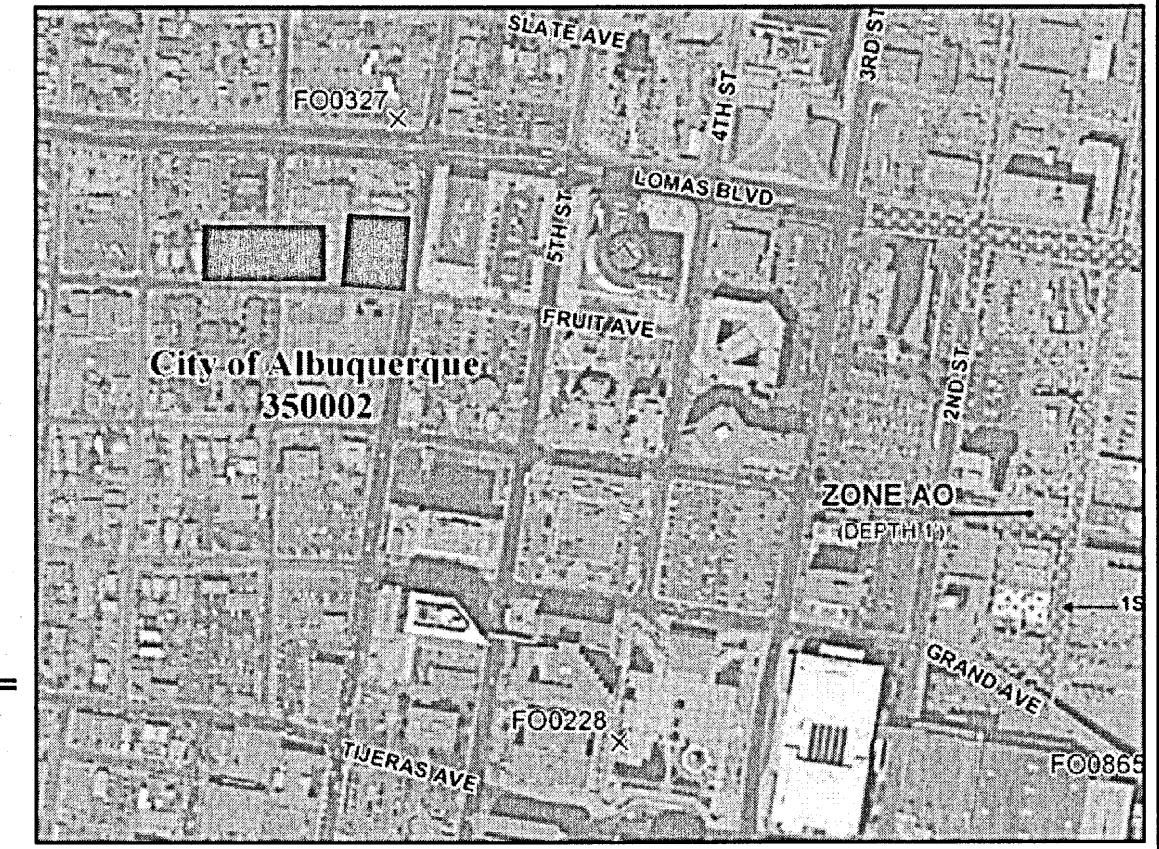
ENGINEER'S SEAL 8/18/15 DAVID SOULE P.E. #14522	PARKING LOT FOR 6TH ST AND FRUIT AVE.	DRAWN BY DEM DATE 7-15-15 PREP BY CLM,PLANING
	SITE PLAN AND TRAFFIC CIRCULATION PLAN Rio Grande Engineering 1008 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0888	SHEET # 1 of 3 JOB # XXXXX

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: J-14-Z



FIRM MAP: 35001C334G

LEGAL DESCRIPTION:

605 SIXTH STREET LOTS 212-216 ARMJO BROTHERS ADDITION
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND

- 5601--- EXISTING CONTOUR
- 5600--- EXISTING INDEX CONTOUR
- 5601--- PROPOSED CONTOUR
- 5600--- PROPOSED INDEX CONTOUR
- LOT LINE
- CENTERLINE
- RIGHT-OF-WAY
- EXTENDED STEM WALL SEE ARCH PLANS FOR DETAILS
- PROPOSED ROCK FACE WALL
- EXISTING CURB AND GUTTER
- PROPOSED EDGE OF CONCRETE
- PROPOSED FLOWLINE
- EXISTING WALL

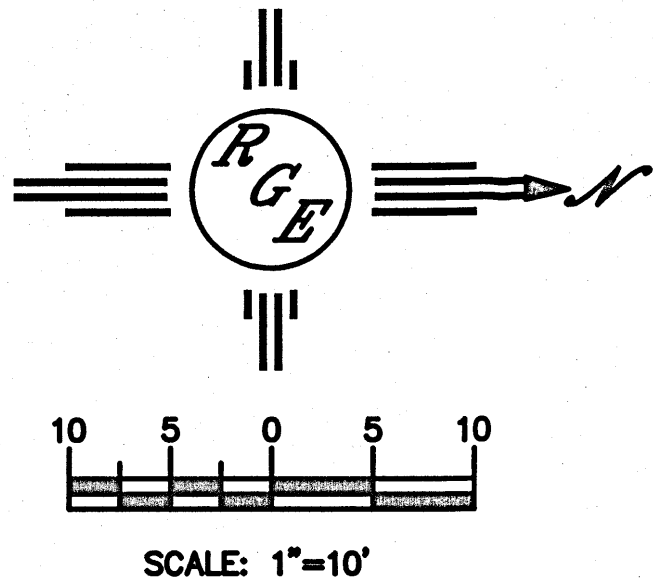
I DAVID SOULE, HAVE PERSONALLY INSPECTED THE PROPERTY ON X-XX-13.
NO EARTHWORK HAS BEEN PERFORMED AND THE SITE IS CONSISTENT WITH
THE TOPO SHOWN.

DAVID SOULE P.E. #14522

DATE

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TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.



ENGINEER'S SEAL DAVID SOULE P.E. #14522 8/18/15	PARKING LOT FOR 6TH ST AND FRUIT AVE.		DRAWN BY DEM
	GRADING AND DRAINAGE PLAN		DATE 7-15-15
DAVID SOULE P.E. #14522	 1000 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 672-0000		SHEET # 2 of 3
			JOB # XXXXX

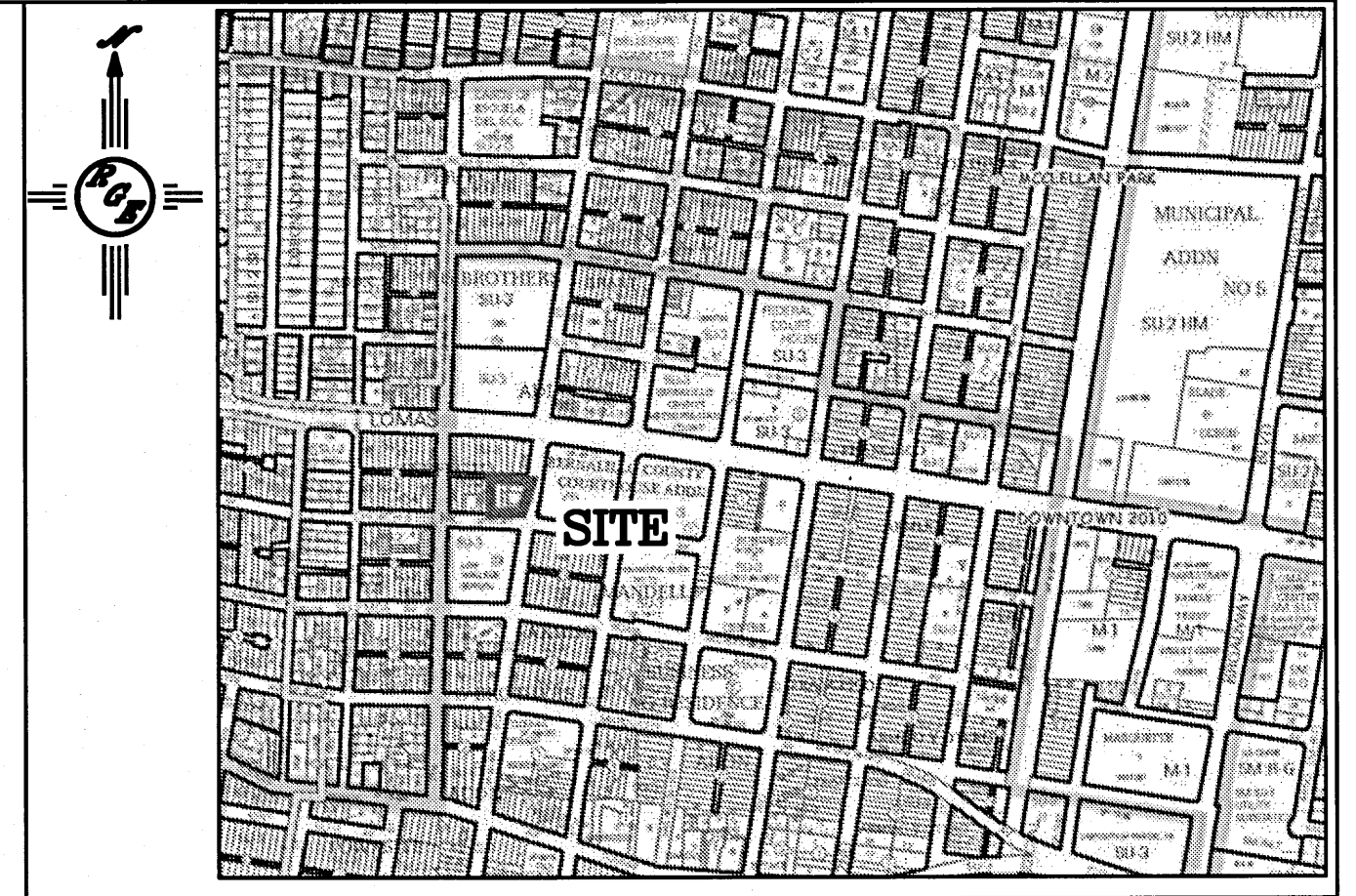
RATIONAL METHOD DRAINAGE CALCULATION SHEET											
Basin	Area (sq ft)	Area (acres)	Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted C	Volume (cu ft)	Flow (cfs)	Flow (gpm)	Flow (in/hr)
existing	21778.00	0.500	100%	0%	0%	0%	0.000	0.270	0.027	0.81	0.81
proposed	21778.00	0.500	60%	0%	0%	0%	0.000	0.270	0.027	0.81	0.81
Difference	0.00	0.00	-40%	0%	0%	0%	0.000	0.000	0.000	0.00	0.00

Equations:
 $C = C_1A_1 + C_2A_2 + C_3A_3 + C_4A_4$ (Total Area)
 $Q = 1.48 A C^{0.58}$
 $V = Q \times T$
 Where for 100-year storm:
 $C_1 = 0.27$
 $C_2 = 0.43$
 $C_3 = 0.61$
 $C_4 = 0.93$
 $VOLUME = C \times A \times T$
 $C = C_1A_1 + C_2A_2 + C_3A_3 + C_4A_4$ (Total Area)
 $P = 2.37 (8-HOUR)$
 $A = TOTAL AREA$
 TIME OF CONCENTRATION 0.093 hrs
 $L = 148000 \times (S^{0.5})$
 $K = 2$
 $S = 0.06$ FT/FT
 NARRATIVE: THIS DEVELOPMENT CONSISTS OF THE CONSTRUCTION OF A NEW HOME IN A PARTIALLY DEVELOPED AREA. THE DRAINAGE MANAGEMENT PLAN CALLS FOR PONDING THE INCREASE VOLUME OF THE NEW DEVELOPMENT COMPARED TO THE NATIVE CONDITION OF THE LOT. THE EXISTING DRAINAGE PATTERNS SHALL REMAIN. THE INCREASE IN FLOW IS 656 CUBIC FEET. THE POND SHALL BE 24" DEEP. THE POND WILL OVERFLOW AT HISTORIC. THE PONDING AREA WILL BE SHAPED SUCH THAT IN THE POND OVERFLOWS AS SHEET FLOW. SOIL TYPE IS SHEPPARD LOAMY FINE SAND WITH HYDRAULIC TRANSMISSIVITY OF 6" PER HOUR. THEREFORE POND WILL DRAIN IN LESS THAN 5 HOURS.

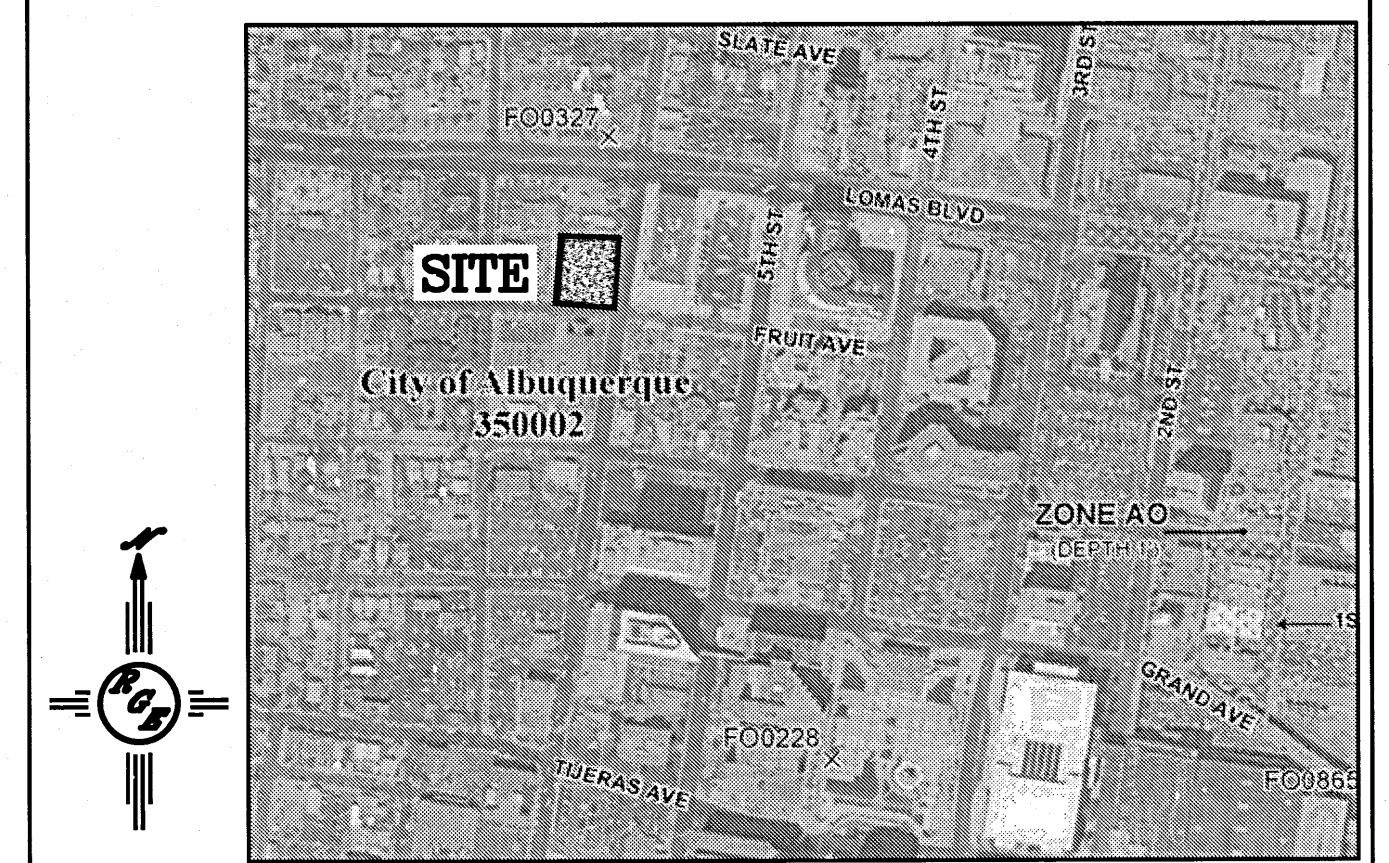
Make Pond Larger

EROSION CONTROL NOTES:

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VICINITY MAP: J-14-Z



FIRM MAP: 35001C394G

LEGAL DESCRIPTION:

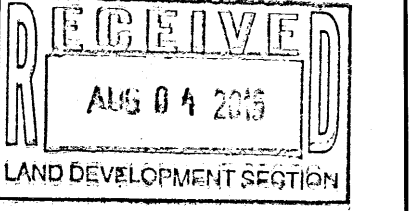
605 SIXTH STREET LOTS 212-216 ARMJO BROTHERS ADDITION
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

NOTES:

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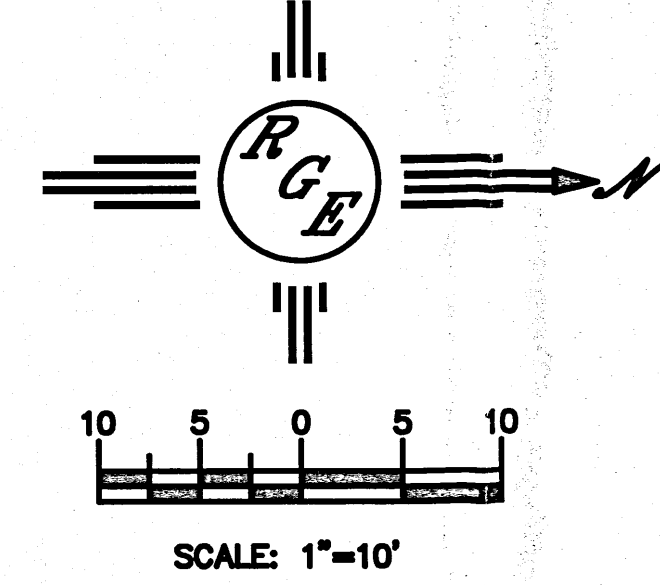
LEGEND

- 5601--- EXISTING CONTOUR
- 5600--- EXISTING INDEX CONTOUR
- 5601--- PROPOSED CONTOUR
- 5600--- PROPOSED INDEX CONTOUR
- LOT LINE
- CENTERLINE
- RIGHT-OF-WAY
- EXTENDED STEM WALL SEE ARCH PLANS FOR DETAILS
- PROPOSED ROCK FACE WALL
- EXISTING CURB AND GUTTER
- PROPOSED EDGE OF CONCRETE
- PROPOSED FLOWLINE
- EXISTING WALL

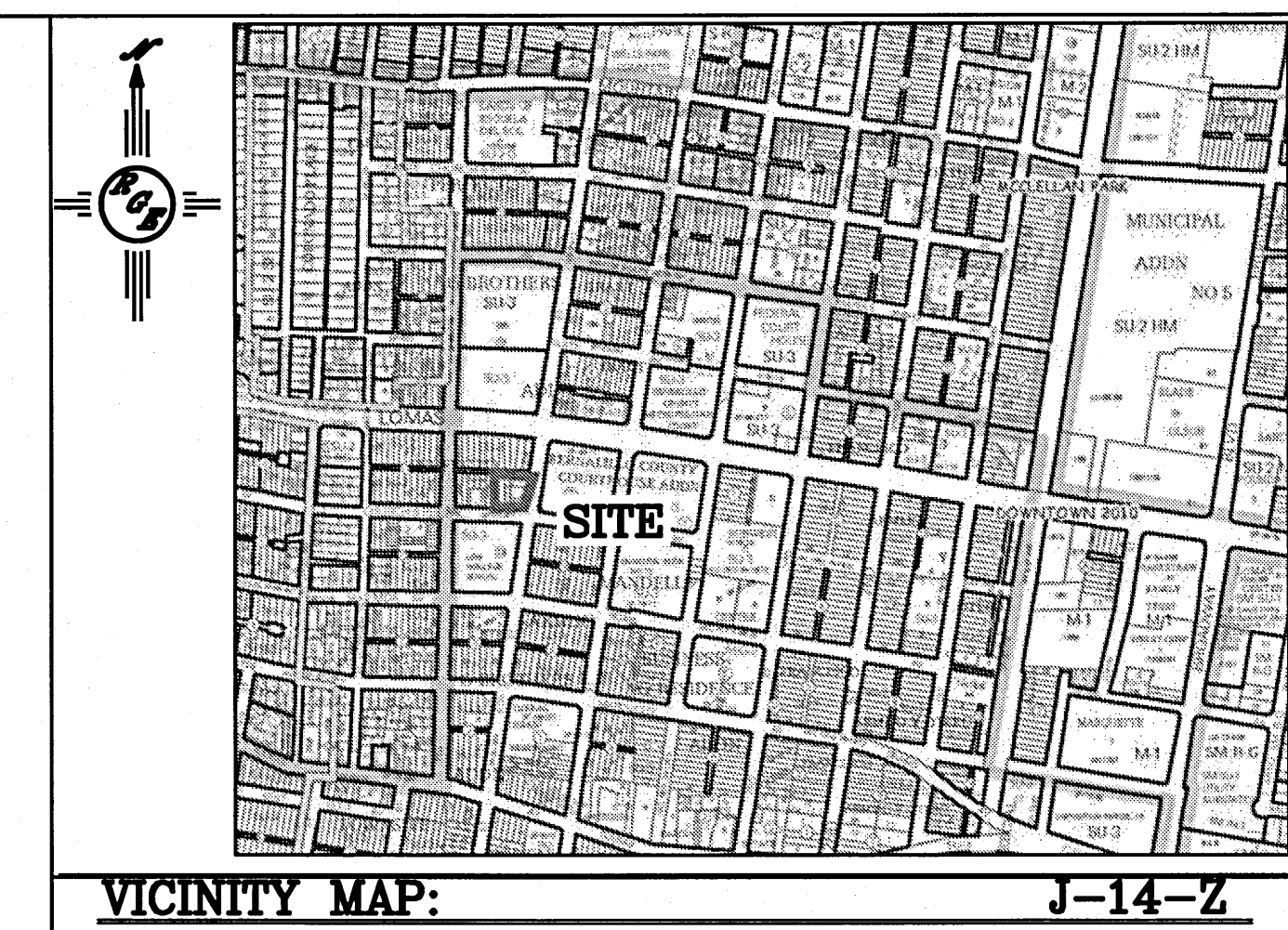


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ENGINEER'S SEAL 8/4/15 DAVID SOULE P.E. #14522	PARKING LOT FOR 6TH ST AND FRUIT AVE.		DRAWN BY DEM
	GRADING AND DRAINAGE PLAN		DATE 7-15-15
	 Rio Grande Engineering 1008 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0000		SHEET # 2 of 3
			JOB # XXXXX



LEGAL DESCRIPTION
 LOTS 212,213,214,215,216 BLOCK 18 ARMIJO BROTHERS ADDITION

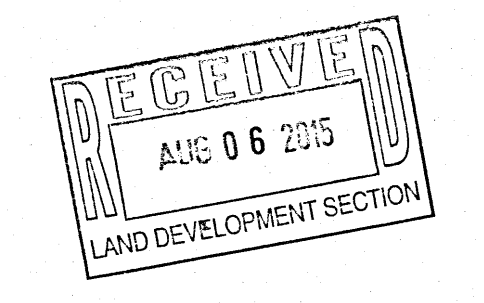
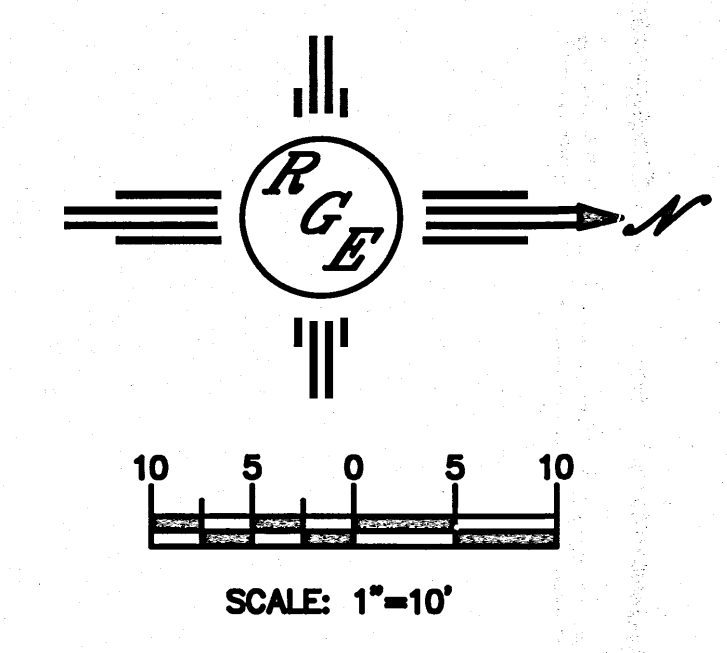
TOTAL AREA
 17026 SF

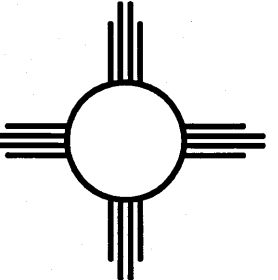
PROJECT NARRATIVE
 THE PROJECT INCLUDES PAVING AND OVERLAY OF EXISTING SURFACE PARKING LOT. THE SITE IS LOCATED WITH THE DOWNTOWN AREA PLAN. SITE LIGHTING ON ADJACENT STRUCTURES PROVIDES LIGHTING FOR THE SITE. THE AREA PLAN SPECIFIES THERE IS NO MINIMUM OF SMALL CAR SPACES. DUE TO THIS BEING A PARKING LOT THERE ARE NO REQUIRED PARKING. THE FRONT OF THE LOT IS FRUIT, A HEDGE PROVIDED THE REQUIRED VISUAL BUFFER. THIS IS AN EXISTING USE



- LANDSCAPE AREA
- LIMITS OF NEW PAVEMENT
2" ASPHALT OVER COMPACTED SUBGRADE

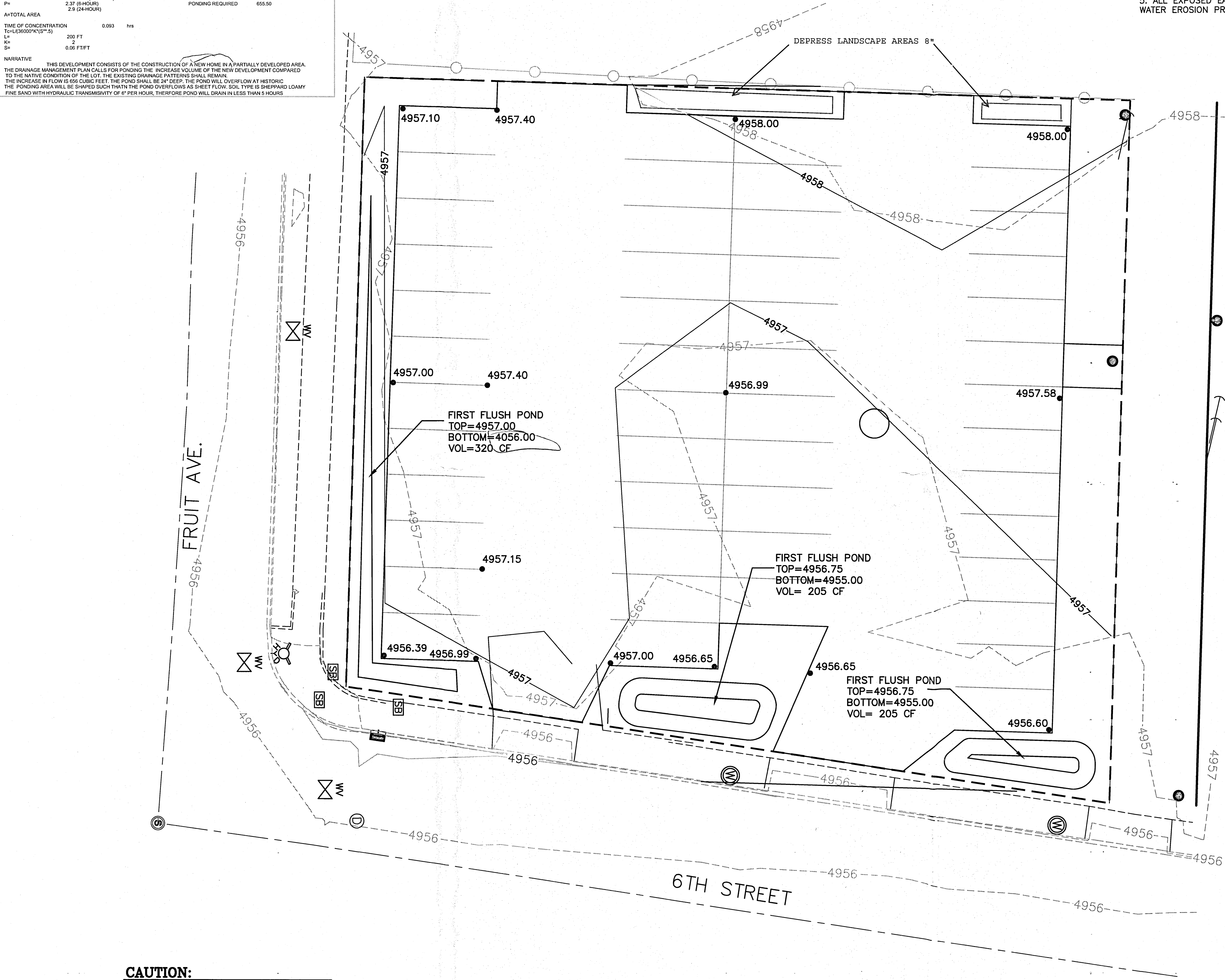
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ENGINEER'S SEAL  8/4/15 DAVID SOULE P.E. #14522	PARKING LOT FOR 6TH ST AND FRUIT AVE.	DRAWN BY DEM
	SITE PLAN	DATE 7-15-15
	 Rio Grande Engineering 1000 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87108 (505) 575-0666	SHEET # 1 of 3 JOB # XXXXX

RATIONAL METHOD										
DRAINAGE CALCULATION SHEET										
Station	Area (sq ft)	Area (acres)	Imperviousness A (%)	Imperviousness B (%)	Imperviousness C (%)	Imperviousness D (%)	Imperviousness E (%)	Imperviousness F (%)	Imperviousness G (%)	100-Year Rain (in/hr)
existing	21778.00	0.500	100%	0%	0%	0%	0%	0%	0%	0.00
proposed	21778.00	0.500	100%	0%	0%	0%	0%	0%	0%	0.00
Difference	0.00	0.00	-0.17	0.04	0.05	0.08	0.02	0.02	0.02	0.00

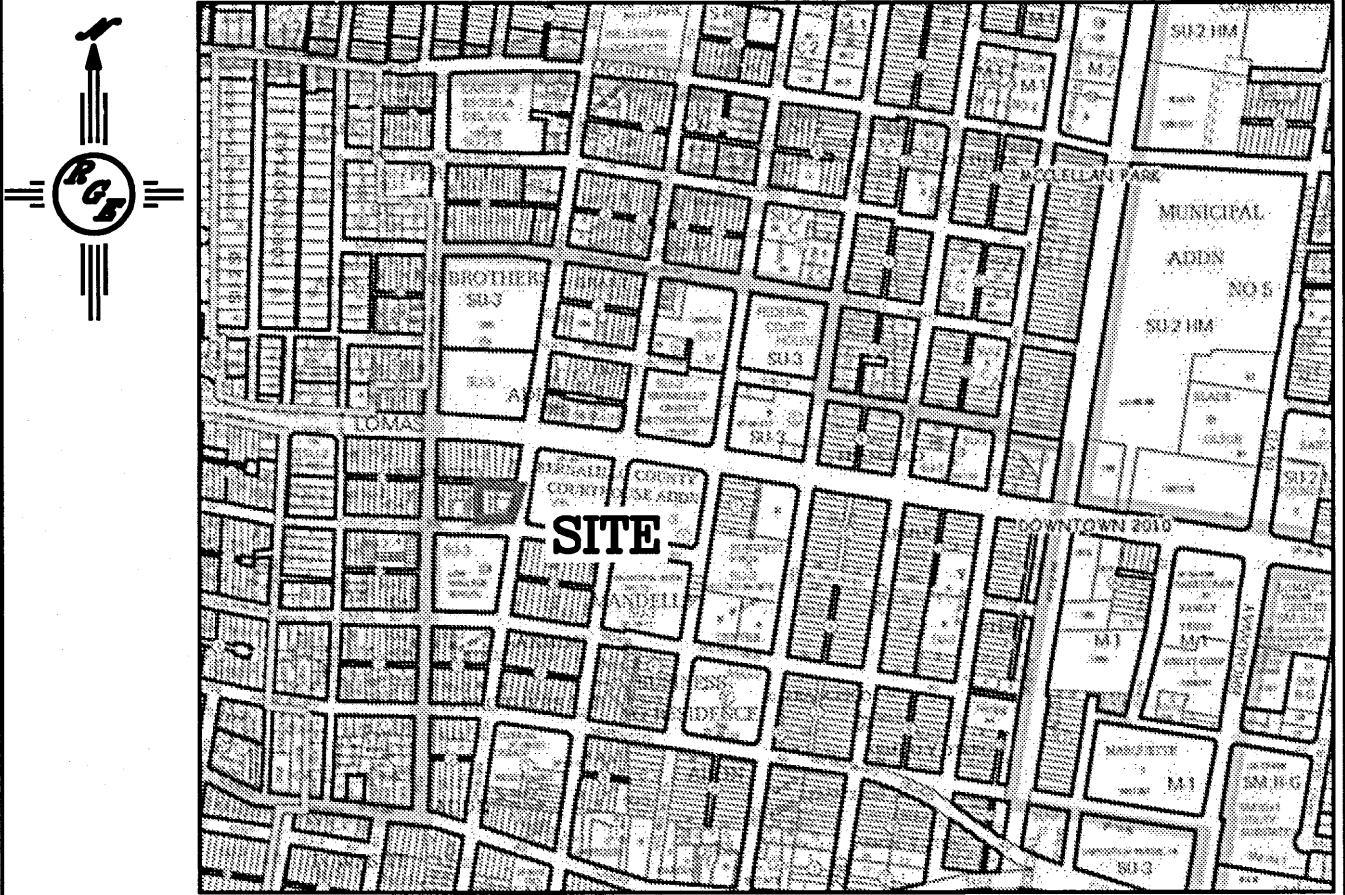
Equations:
Flow (Q) = C_A * A * S^{0.5}
C = C_A*A_s + C_B*A_b + C_C*A_c + C_D*A_d / (Total Area)
I_h = 4.84816
A = TOTAL AREA
Where for 100-year storm:
C_A = 0.27
C_B = 0.43
C_C = 0.61
C_D = 0.93
VOLUME = C_P*A_T*I_h
C = C_A*A_s + C_B*A_b + C_C*A_c + C_D*A_d / (Total Area)
P = 2.37 (8-HOUR)
A = TOTAL AREA
TIME OF CONCENTRATION
T_c = (L/4840)*0.78
L = 200 FT
K = 2
S = 0.06 FT/FT
NARRATIVE
THIS DEVELOPMENT CONSISTS OF THE CONSTRUCTION OF A NEW HOME IN A PARTIALLY DEVELOPED AREA. THE DRAINAGE MANAGEMENT PLAN CALLS FOR PONDING THE INCREASED VOLUME OF THE NEW DEVELOPMENT COMPARED TO THE NATIVE CONDITION OF THE LOT. THE EXISTING DRAINAGE PATTERNS SHALL REMAIN. THE INCREASE IN FLOW IS 556 CUBIC FEET. THE POND SHALL BE 4" DEEP. THE POND WILL OVERFLOW AT HISTORIC THE PONDING AREA WILL BE SHAPED SUCH THAT THE POND OVERFLOWS AS SHEET FLOW. SOIL TYPE IS SHEPPARD LOAMY FINE SAND WITH HYDRAULIC TRANSMISSIVITY OF 8" PER HOUR. THEREFORE POND WILL DRAIN IN LESS THAN 5 HOURS.



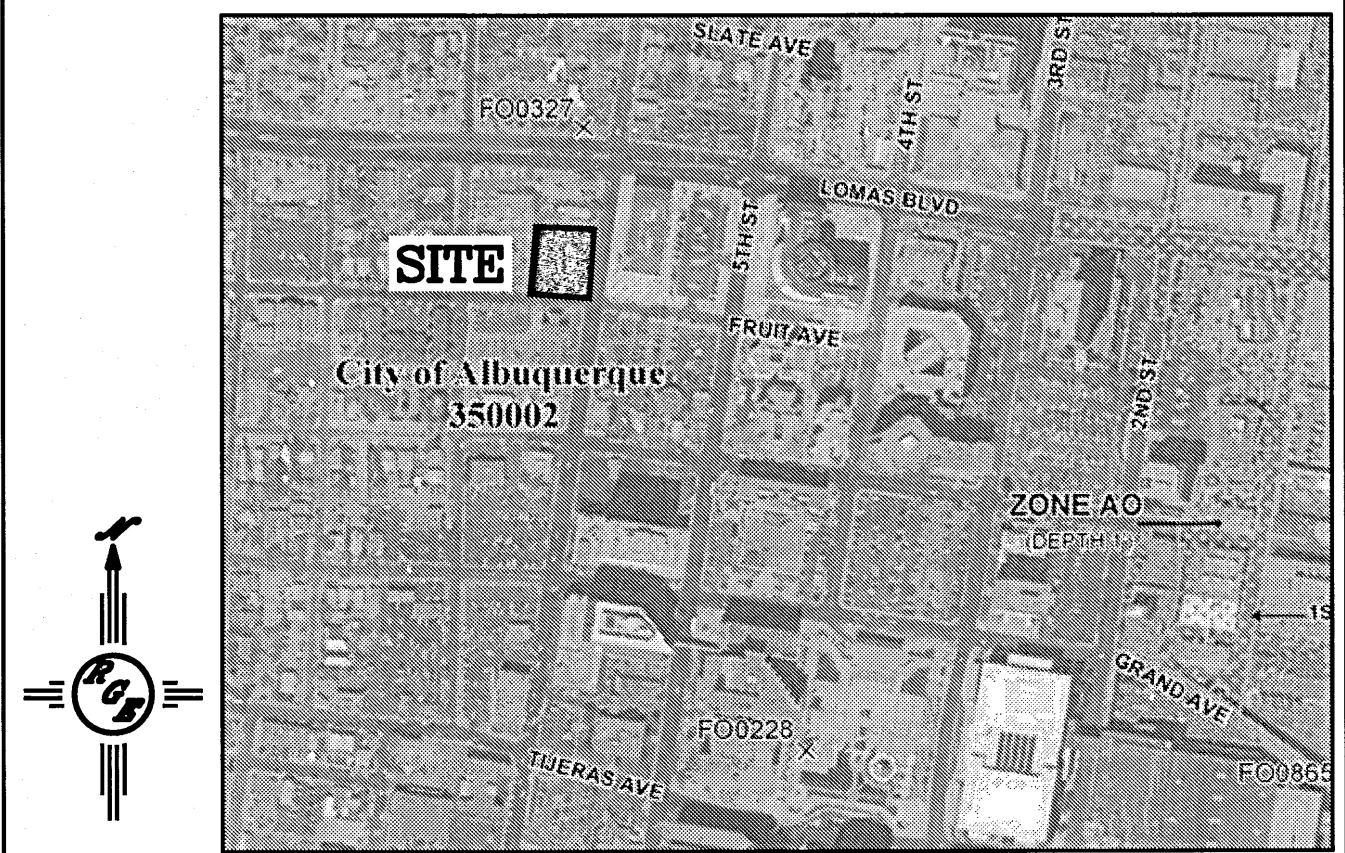
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VICINITY MAP: J-14-Z



FIRM MAP: 35001C334G

LEGAL DESCRIPTION:

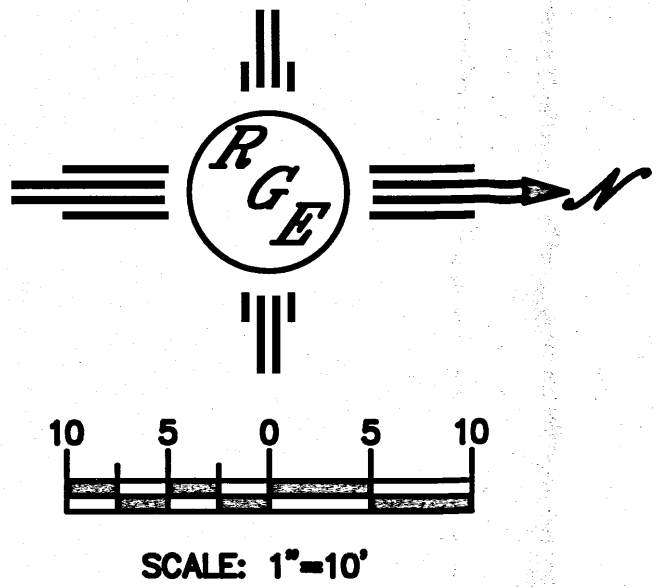
605 SIXTH STREET LOTS 212-216 ARMIJO BROTHERS ADDITION
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

NOTES:

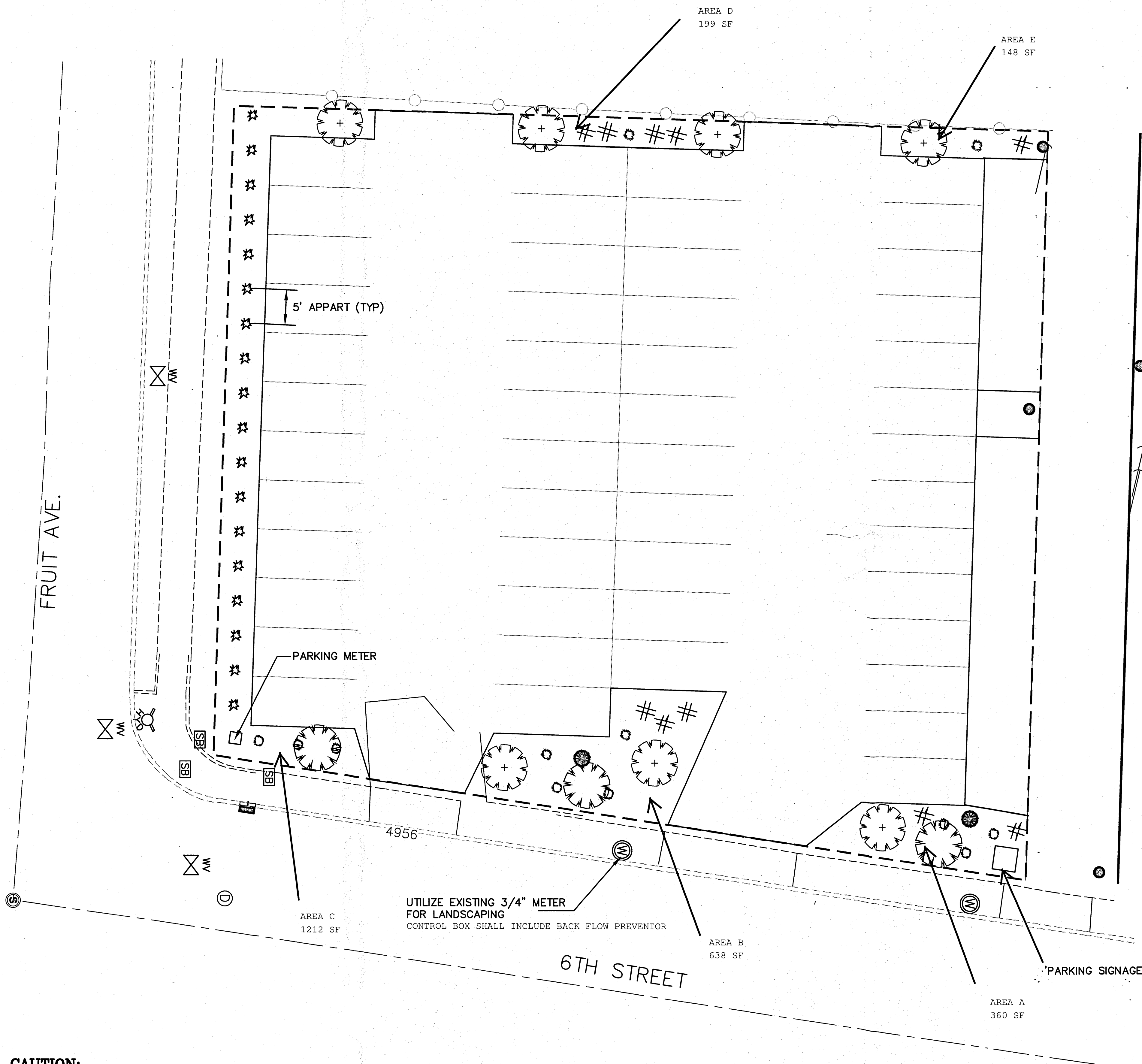
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LEGEND

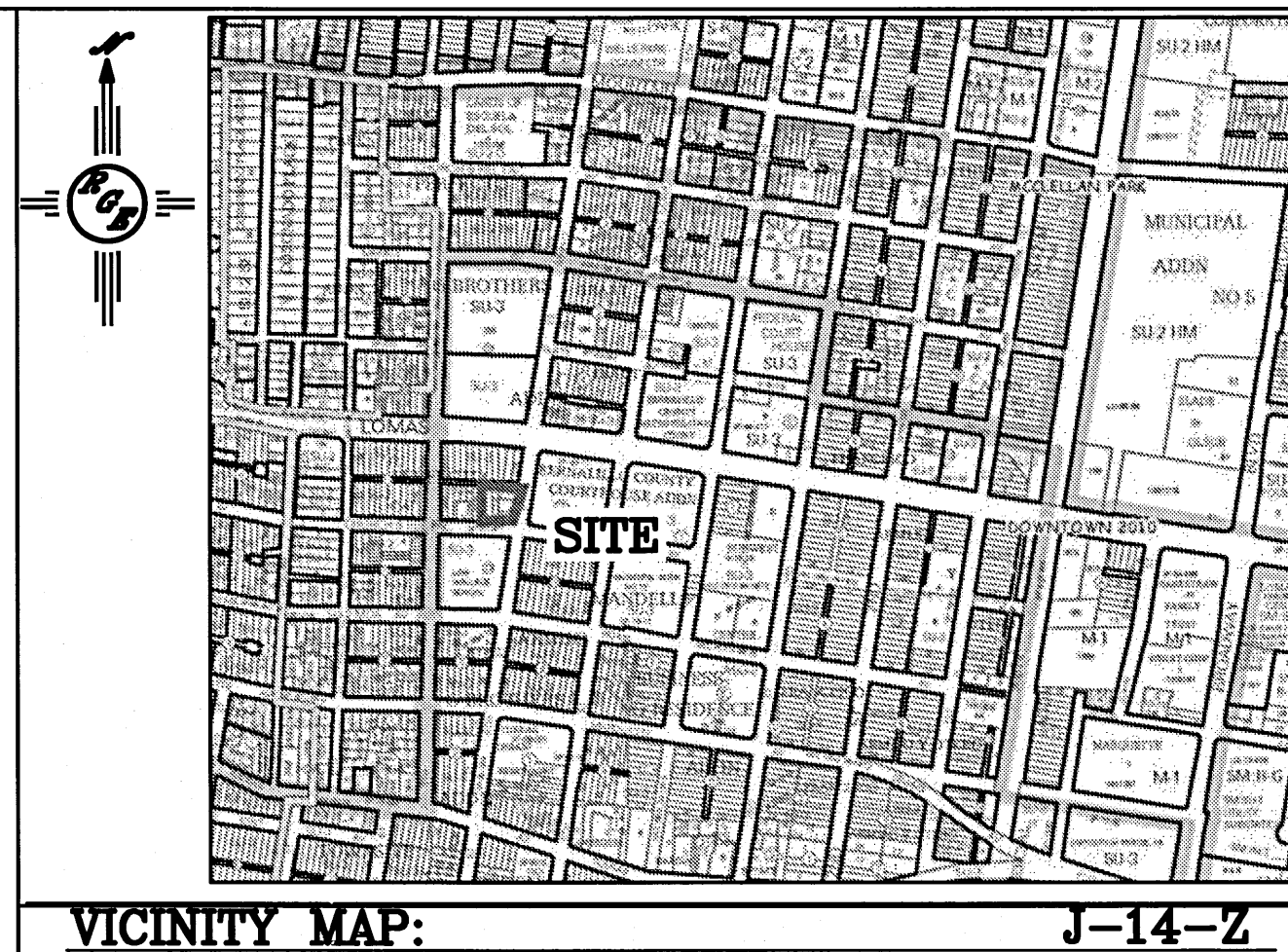
- 5601--- EXISTING CONTOUR
- 5600--- EXISTING INDEX CONTOUR
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- EXISTING CURB AND GUTTER
- PROPOSED EDGE OF CONCRETE
- PROPOSED FLOWLINE
- EXISTING WALL



ENGINEER'S SEAL 8/4/15 DAVID SOULE P.E. #14522	PARKING LOT FOR 6TH ST AND FRUIT AVE. GRADING AND DRAINAGE PLAN Rio Grande Engineering 1808 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0888	DRAWN BY DEM
		DATE 7-15-15
		SHEET # 2 of 3
		JOB # XXXXX



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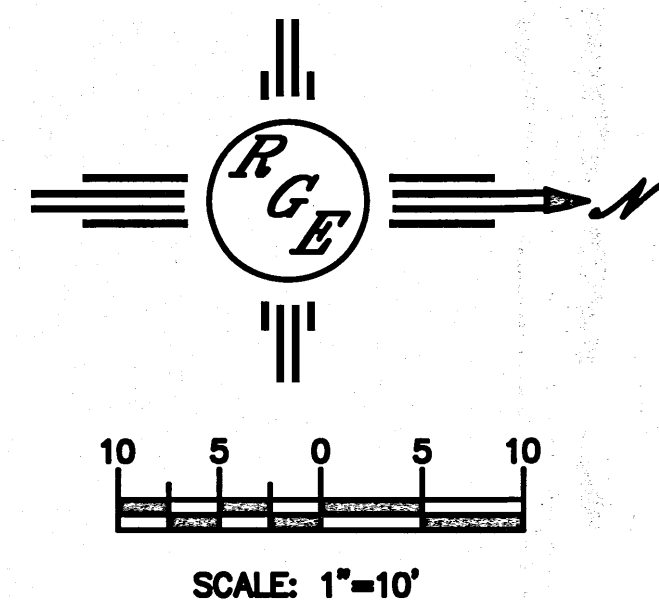


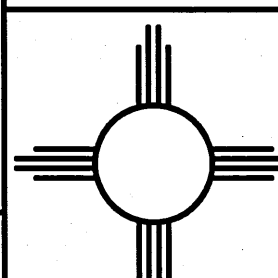
LANDSCAPE LEGEND

- 18 TURPENTINE BUSH (6' DIAMETER, 3' TALL -28.25 SF COVERAGE-508.5 TOTAL)
- 2 CHAMAEBATIARIA MILLEFOLIUM (FERN BUSH) (6' DIAMETER, 5' TALL -28.25 SF COVERAGE-58.5 TOTAL)
- 12 TEXAS RED YUCCA (5' DIAMETER, 4' TALL -19.5 SF COVERAGE-234 TOTAL)
- 10 RUSCHIA PULVINARIS (1.5' DIAMETER, 3' TALL -1.75 SF COVERAGE-17.50 TOTAL)
- 10 DESERT WILLOW (12' DIAMETER, 18' TALL -113 SF COVERAGE-1130 TOTAL)

ALL LANDSCAPE AREA SHALL BE COVERED WITH 3/4" SANTA FE TAN GRAVEL OVER FILTER FABRIC
ALL LANDSCAPE IRRIGATION WILL BE 1/2 POLY PIPE DRIP IRRIGATION

SITE DATE
LOT AREA=17026
REQUIRED LANDSCAPING=2554 SF
PROVIDED LANDSCAPING=2557 SF
TOTAL COVERAGE 1918 SF-75% LIVE COVERAGE



ENGINEER'S SEAL  8/4/15 DAVID SOULE P.E. #14522	PARKING LOT FOR 6TH ST AND FRUIT AVE. LANDSCAPE PLAN		DRAWN BY DEM DATE 7-15-15 FILED IN LAND PLAN
	 Rio Grande Engineering 1008 CENTRAL AVENUE SUITE 301 ALBUQUERQUE, NM 87108 (505) 876-0666		SHEET # 3 of 3 JOB # XXXXX