CITY OF ALBUQUERO



January 11, 2016

Zachary Hulme 66 Architects 2041 South Plaza St. NW Albuquerque, NM 87101

Re:

Still Spirits Distillery & Tasting Room

120 Marble NW

Traffic Circulation Layout

Engineer's/Architect's Stamp dated 1-10-16 (J14-D179)

Dear Mr. Wilsey,

The TCL submittal received 1-8-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Albuquerque

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call New Mexico 87103 Building Safety at 924-3690.

Sincerely,

www.cabq.gov

Racquel M. Michel, P.E.

Traffic Engineer, Planning Dept. **Development Review Services**

\gs

via: email

C:

CO Clerk, File



City of Albuquerque

Planning Department

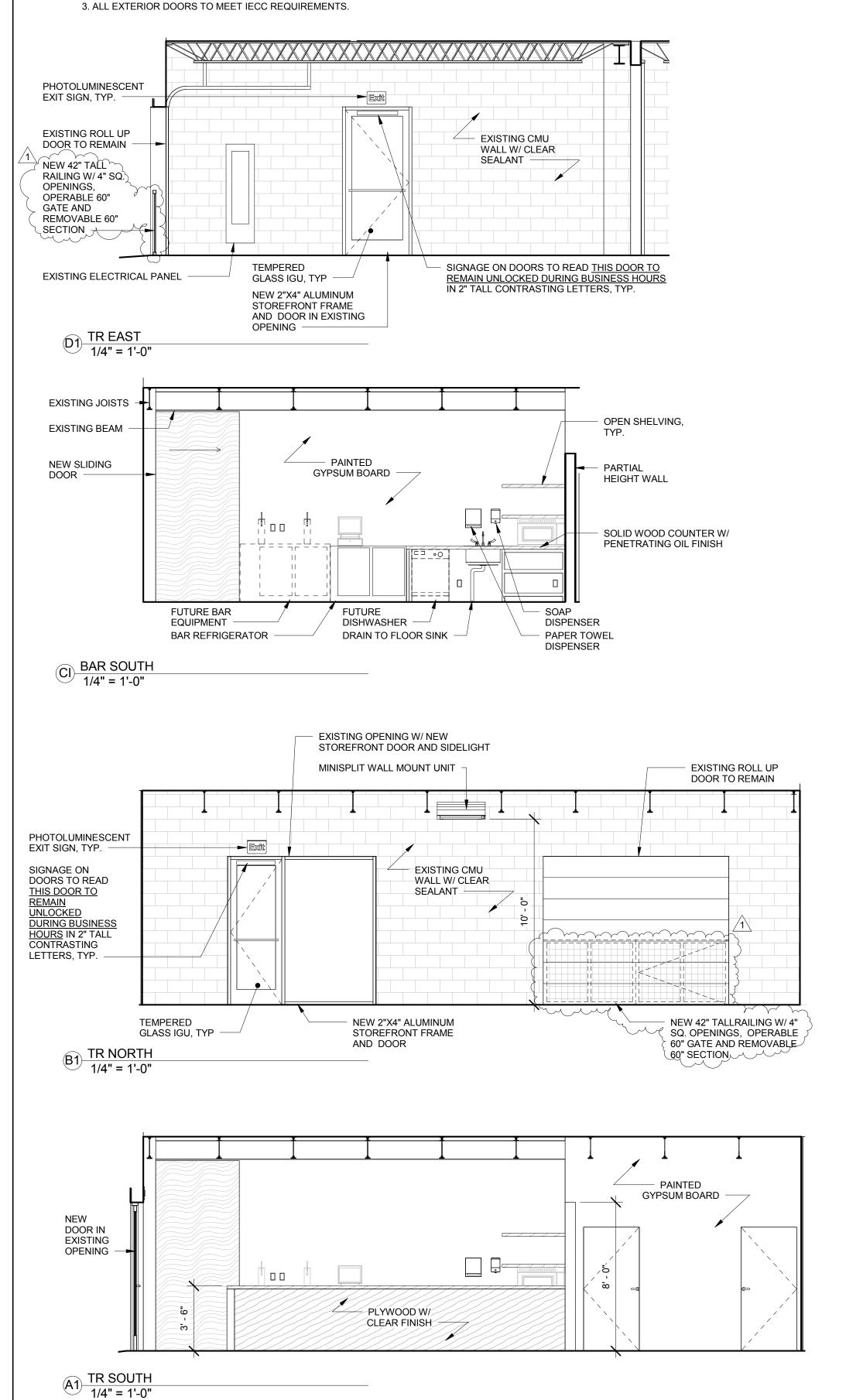
Development & Building Services Division

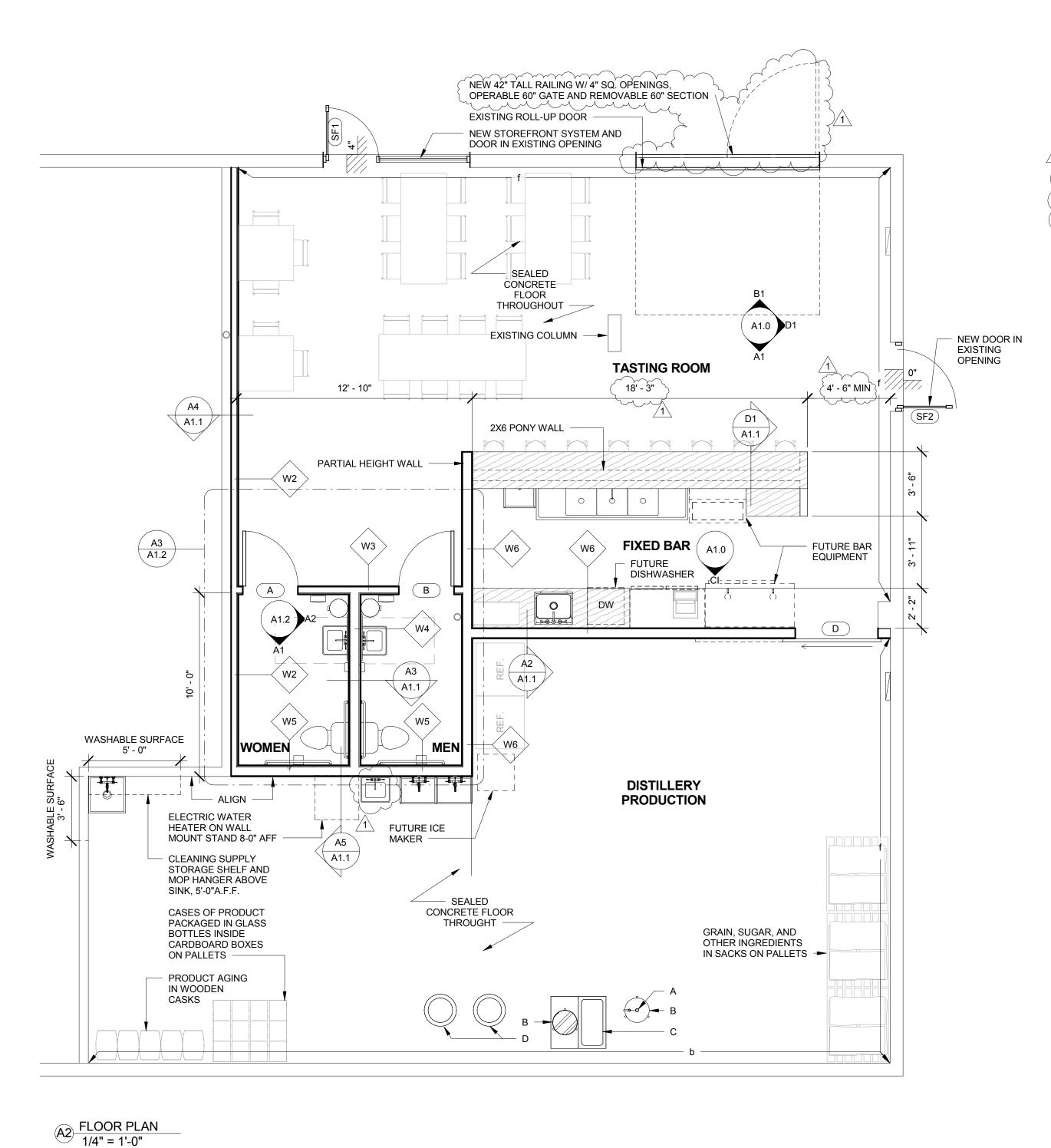
DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

I TOJECE TIEFE. Own opinio Dictinos, o	Tasting Room	Building Permit #: 1201593067 City Drainage #: J401			
DRB#:	EPC#:	Work Order#:			
Legal Description: Lots numbere	ed 13 and 14 in block numbered Eight (8) of the NORTHERN	I ADDITION to the city of Albuquerque, New Mexico			
City Address: 120 Marble Avenue	NW, Albuquerque, NM 87102				
Engineering Firm: EMeC Cor	nsulting Engineers	Contact: Salome Arcienega			
Address: 10705 Cenote Rd. SW Al					
Phone#: 505.730.9698	Fax#:	E-mail: sa@emecllc.com			
Owner: Zachary Hulme		Contact:			
Address: 2926 Camilo Lane NW, A					
Phone#: 505.203.6626	Fax#:	E-mail: nogreenchile@gmail.com			
Architect: 66 Architect		Contact: Clint Wilsey			
Address: 2041 South Plaza St. NW	/ Albuquerque, NM 87104				
hone#: 505.280.0043	Th	E-mail: clint.wilsey@gmail.com			
Other Contact:		Contact:			
A -1-1					
	Fax#:	E-mail:			
HYDROLOGY/ DRAIN TRAFFIC/ TRANSPOR MS4/ EROSION & SEI	RTATION	BUILDING PERMIT APPROVAL ERTIFICATE OF OCCUPANCY			
TVDE OF CUDMITTAL.					
「YPE OF SUBMITTAL: ENGINEER/ ARCHITE(CT CERTIFICATION	PRELIMINARY PLAT APPROVAL			
ENGINEER ARCHITE	er certification	SITE PLAN FOR SUB'D APPROVAL			
CONCEPTUAL G & D	PLAN	SITE PLAN FOR BLDG. PERMIT APPROVAL			
GRADING PLAN		FINAL PLAT APPROVAL SIA/ RELEASE OF FINANCIAL GUARANTEE			
DRAINAGE MASTER	PLAN	FOUNDATION PERMIT APPROVAL			
DRAINAGE REPORT		GRADING PERMIT APPROVAL			
CLOMR/LOMR		SO-19 APPROVAL			
		PAVING PERMIT APPROVAL			
IRAITIC CIRCULATIO		GRADING/PAD CERTIFICATION			
TRAFFIC IMPACT STU	JDY (TIS)	GRADING/PAD CERTIFICATION WORK ORDER APPROVAL			
TRAFFIC IMPACT STU		GRADING/PAD CERTIFICATION WORK ORDER APPROVAL CLOMR/LOMR			
TRAFFIC IMPACT STU	JDY (TIS) IT CONTROL PLAN (ESC)	WORK ORDER APPROVAL CLOMR/LOMR			
TRAFFIC IMPACT STU	JDY (TIS) IT CONTROL PLAN (ESC)	WORK ORDER APPROVAL DE GEVE			
TRAFFIC IMPACT STU	JDY (TIS) IT CONTROL PLAN (ESC)	WORK ORDER APPROVAL DE GEVE			

						Door Schedule		
Mark	Door Type	Frame Type	Thickness	Width	Height	Acessories	Finish	Comments
						1		
Ą	Solid Core	Wood	0' - 2"	3' - 0"	6' - 8"	Sound Seal & Closer	Clear Finish	Privacy lock with keyed overide
В	Solid Core	Wood	0' - 2"	3' - 0"	6' - 8"	Sound Seal & Closer	Clear Finish	Privacy lock with keyed overide
SF1	Aluminum Storefront	Aluminum	0' - 2"	2' - 9"	7' - 10"	Weather Seal	Anodized	Deadbolt lock, keyed exterior, knob interior
D	Surface Mount Sliding Door - Site Fabricated	Steel	0' - 2"	4' - 6"	8' - 0"	Sweep seal at perimeter, bulb seal at threshold	Stained plywood w/ clear finish	Hasp and padlock. 2" sq. galvanized steel track & hardware
E	Existing Roll-up Door	Steel	0' - 1 1/2"	10' - 0"	8' - 0"	Weather Seal		Existing
SF2	Aluminum Storefront	Aluminum	0' - 2"	3' - 5"	7' - 10"	Weather Seal	Anodized	Deadbolt lock, keyed exterior, knob interior

- 1. ALL DOOR HARDWARE TO MEET ADA REQUIREMENTS.
- 2. PROVIDE KEYED LOCKS AT ALL EXTERIOR DOORS.





GENERAL NOTES

- ALL DIMENSIONS TO FACE OF FRAMING UNLESS
- NOTED OTHERWISE. NO STRUCTURAL MODIFICATIONS UNDER THIS
- EXISTING HVAC (SWAMP COOLER AND GAS FIRED
 - HANGING HEATER) TO REMAIN.
 - PROVIDE PRESSURE TREATED SILL PLATE W/ SILL
- STRIP & NON HARDENING SEALANT AT ALL WALLS. NEW WASTE LINES ARE TO CONNECT TO EXISTING
- SANITARY SEWER CONNECTIONS. ALL EXTERIOR OPENINGS ARE EXISTING. PROVIDE 2X BLOCKING AT ALL GRAB BAR LOCATIONS.

DISTILLERY EQUIPMENT SCHEDULE

- 2" DIA COPPER FRATIONATING COLUMN STILL W/ REFLUX CONDENSER.
- 15 GALLON CAPACITY ELECTRICALLY HEATED BOILER W/ 220VAC, 5 KW HEATING ELEMENT.
- 10 GALLON CAPACITY LAUTER TANK. 20 GALLON CAPACITY FERMENTER W/ AIRLOCK.

1. SANITIZATION OF ALL DISTILLERY EQUIPMENT TO BE PERFORMED IN 2-COMPARTMENT SINK IN PRODUCTION AREA IN ACCORDANCE WITH FDA FOOD CODE 2009 SECTION 4-301.12(D)

2. ALL GRAINS (BARLEY, CORN ETC.) USED IN RECIPE PREPERATION ARE PRE-GROUND, THERE WILL BE NO **GRINDING OPERATIONS ON SITE.**

3. SAFETY-TYPE LIGHT BULBS OR PLASTIC SHIELDS MUST BE INSTALLED ON ALL LIGHT FIXTURES OVER PROCESSING AND STORAGE AREAS TO PREVENT CONTAMINATION WITH BROKEN GLASS.

FINISH NOTES

- WALL FINISH THROUGHOUT IS PAINTED GYPSUM BOARD UNLESS NOTED
- OTHERWISE. CEILING FINISH THROUGHOUT IS GALVANIZED
- METAL ROOF DECK.
- WATER RESISTANT GYPSUM BOARD IS TO BE USED AT ALL WET AREAS.
- _ABUSE RESISTANT GYPSUM BOARD TO BE/ USED THROUGHOUT.
- PAINT ALL WALLS WITHIN 2' OF A WATER CLOSET WITH SHERWIN WILLIAMS PRO
- INDUSTRIAL HIGH PERFORMANCE EPOXY PAINT TO A HEIGHT OF 4'. SEAL EDGE OF PLYWOOD FINISH TO FLOOR
- WITH SILICONE SEALANT AT ALL BATHROOM AREAS, PER C3/A1.1 SEAL PLYWOOD FINISH AT ALL EDGES TO

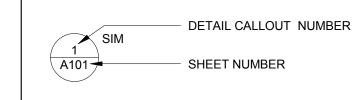
FINISH SCHEDULE

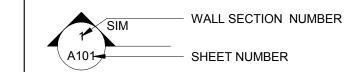
- PAINT OVER GYP BOARD AS SPECIFIED, COLOR BY ARCHITECT.
- PAINT OVER BLOCK FILLING PRIMER AND CMU, COLOR BY ARCHITECT. CLEAR MINWAX POLYCRYLIC FINISH OVER

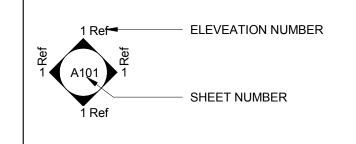
PREVENT WATER ABSORPTION.

- PENETRATING OIL FINISH ON SOLID WOOD COUNTER TOP.
- CEILING THROUGHOUT: GALVANIZED METAL ROOF DECK.
- CLEAR SEALER OVER CMU.

DRAWING SYMBOLS

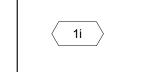








WALL TYPE TAG



y a ─

PLUMBING FIXTURE TAG

FINISH TAG

2041 South Plaza St. NW Albuquerque, NM 87104 505.280.0043 clint@gmail.com



SEAL

NUE NW, M, 87102 120 MARBLE AVEN ALBUQUERQUE NI

DIS

SPIRITS

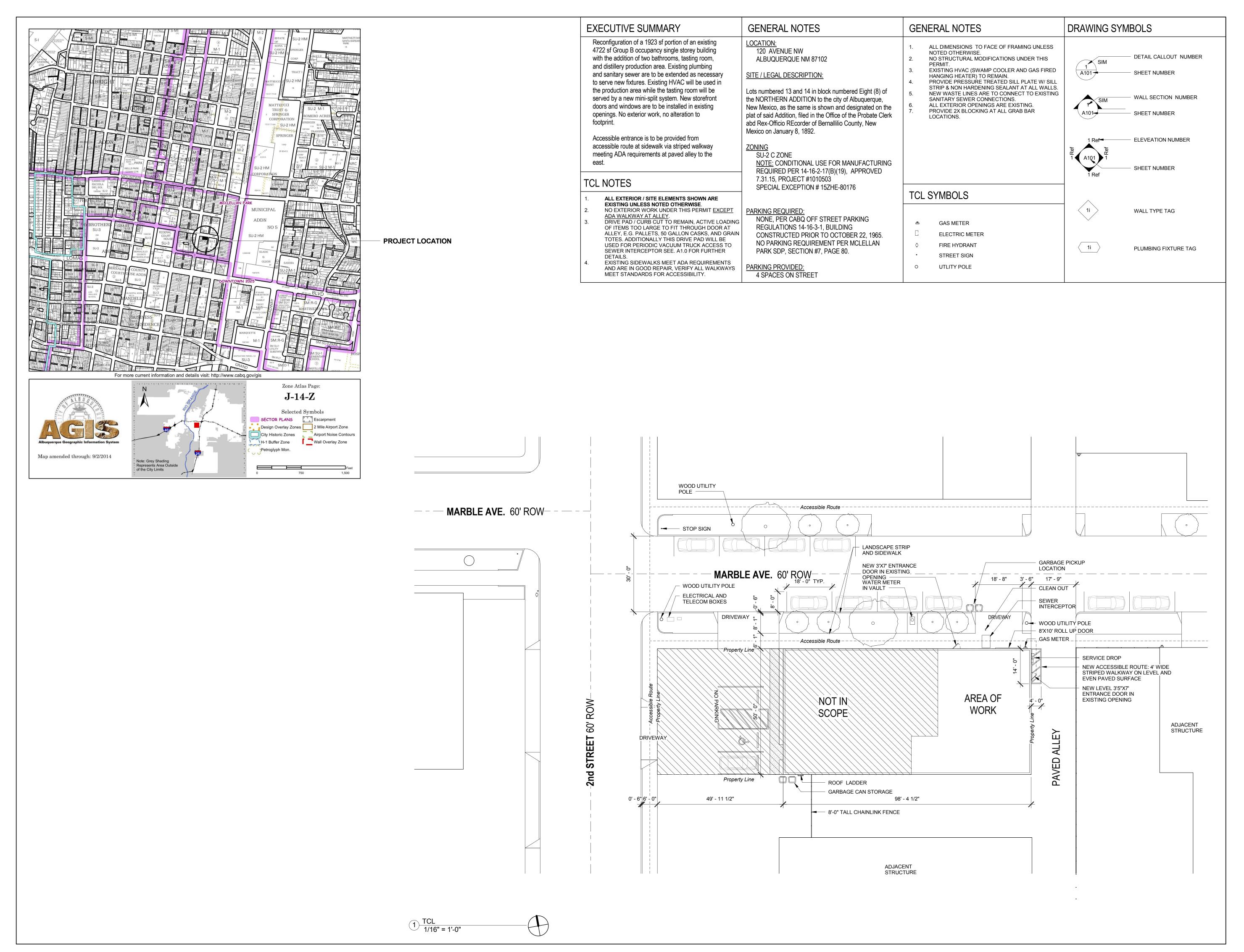
REVISIONS 1/5/2016 CABQ Permit Comments

ZTH DRAWN BY **REVIEWED BY** CW 12/11/15 DATE

DRAWING NAME

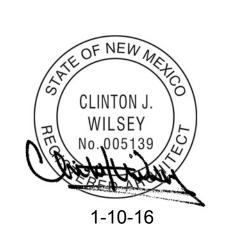
FLOOR PLAN

SHEET NO A1.0



66Architect LLC

2041 South Plaza St. NW Albuquerque, NM 87104 505.280.0043 clint@gmail.com



SEAL

120 MARBLE AVENUE NW, ALBUQUERQUE NM, 87102

REVISIONS

1/5/2016 CABQ Permit Comments

DRAWN BY ZTH
REVIEWED BY CW
DATE 1/10/16

DRAWING NAME
TCL

SHEET NO G1.1

PARID: 101405829618342708

LUC: 4398

TRACKING: A

NBHD: 8708

2016

ROLL: RP

Proor or Bdy. Age

Commercial (COMDAT)

OLIVER PROPERTIES LLC

* TAX YEAR *
Card 1
Building Number 0001

Building Number 0001 Structure Code/Description 398-WAREHOUSE

Improvment Name GARCIA,IVES, NAVARA

Units 1
Year Built 1960

Effective Year Built
Investment Rating 3
Grade C

Identical Units 1
Class -

Other Improvements
Other Imp Value
MS Override Area
MS Override Perimeter

Total Under Roof 5,000

 Base RCN
 \$271,955.00

 Total RCNLD
 \$118,886.00

 Building Factor
 1

Cost Value \$118,886.00

Percent Complete %
Percent Good 43.72%

ECF Notes

2599 DBB

4,500

045

12

Summary of Int/Ext Data (COMINTEXT)

Card Line Number Section From Floor To Floor Year Built Area 1 01 01 4,500 1 2 01 01 500

Interior/Exterior Details (COMINTEXT)

1 of 2

 Card
 1

 Line Number
 1

 Section
 01

 From Floor
 01

 To Floor
 01

 Year Built
 01

Area Use Group

Class
Physical Condition

Physical Condition 2
Construction 2
1-Wood Frame/Joist/Beam

Wall Height

Interior Wall 2-NORMAL
Reason for Change -

MS Class
MS Quality Type
MS Heat Description

Air 1-CENTRAL

Plumbing 2-NORMAL

Units

