

CITY OF ALBUQUERQUE



December 15, 2016

Clinton Wilsey
66 Architects
2041 South Plaza St. NW
Albuquerque, NM 87101

Re: Still Spirits Distillery & Tasting Room - 120 Marble NW
Request for Certificate of Occupancy- Transportation Development
Architect's Stamp dated 1-10-16 (J14D179)
Certification dated 12-13-16

Dear Mr. Wilsey,

Based upon the information provided in your submittal received 12-13-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,


Monica Ortiz
Plan Checker, Transportation & Hydrology
Development Review Services

C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: Still Spirits Distillery _____ **Building Permit #:** BP-2016-02525 _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: Lots numbered 13 and 14 in block number 8 of the northern addn. to the city of Albuquerque _____

City Address: 120 Marble Avenue NW, Albuquerque, NM 87102 _____

Applicant: Zachary Hulme _____ **Contact:** Project Manager _____

Address: 2926 Camilo Lane NW, ABQ, NM 87104 _____

Phone#: 505.203.6626 _____ **Fax#:** _____

E-mail: nogreenchile@gmail.com _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

PRE-DESIGN MEETING?

_____ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 12.13.16 _____ By: Zach Hulme

66Architect

December 13, 2016


2041 S. Plaza St. NW
Albuquerque, NM 87104
Ph. 505.280.0043
clint.wilsey@gmail.com

TRAFFIC CERTIFICATION

I, Clinton J. Wilsey, NMPE OR NMRA 005139, OF THE FIRM 66Architect, LLC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED TCL 1-11-16. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Clint Wilsey OF THE FIRM 66Architect, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON Dec. 12, 2016 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR certificate of occupancy.

Revisions that occurred during construction include relocating one parking space from the west side of the building (adjacent the building) to the south side row of parking (adjacent the building). Total parking count did NOT change.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

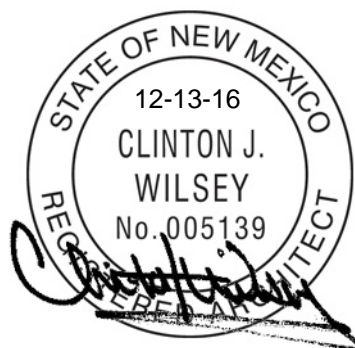


Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

12-13-16

Date



CITY OF ALBUQUERQUE
PLANNING

These plans have been reviewed
for code compliance and are:

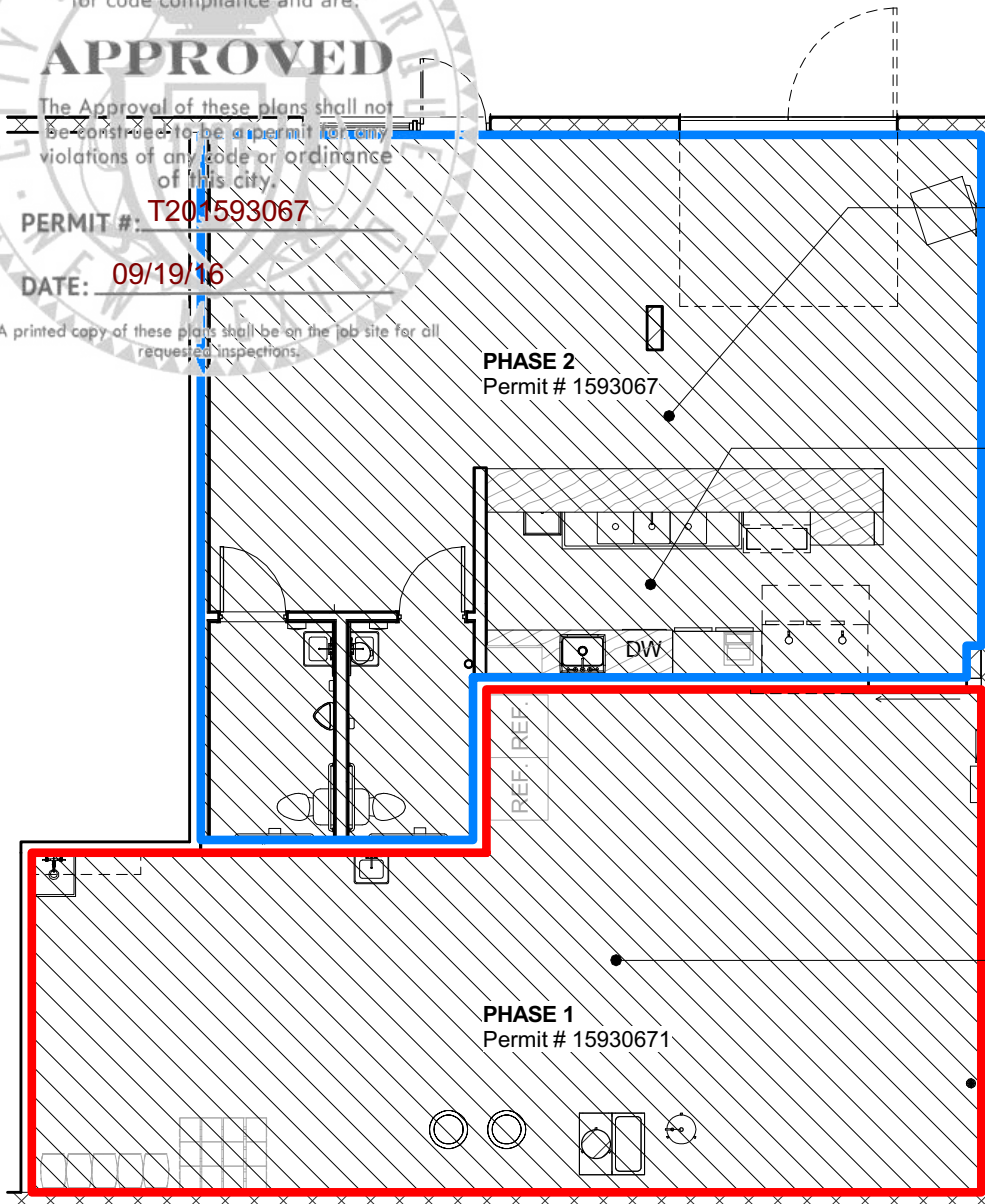
APPROVED

The Approval of these plans shall not
be construed to be a permit for any
violations of any code or ordinance
of this city.

PERMIT #: **T201593067**

DATE: **09/19/16**

A printed copy of these plans shall be on the job site for all
requested inspections.



Phase 2
Total Occupant Load = 48

TASTING ROOM
Business Group B
731 gsf / 676 nsf

Assembly without fixed
seats, Unconcentrated
(Tables & Chairs)
676/15 nsf = 45
OCCUPANT LOAD : 45

BAR & BATHROOMS
Business Group B
278 gsf / 257 nsf

Business Areas
278/100 gsf = 3
OCCUPANT LOAD : 3

Phase 1
Total Occupant Load = 10

DISTILLERY PRODUCTION
Factory Group F-1
914 gsf / 849 nsf

Industrial Areas
914 /100 gsf = 10
OCCUPANT LOAD : 10

9/12/2016 11:47:18 AM

STILL SPIRITS DISTILLERY

120 MARBLE AVENUE NW, ALBUQUERQUE NM, 87102

66Architect LLC

2041 South Plaza St.
NW Albuquerque, NM
87104
505.280.0043

PHASING PLAN

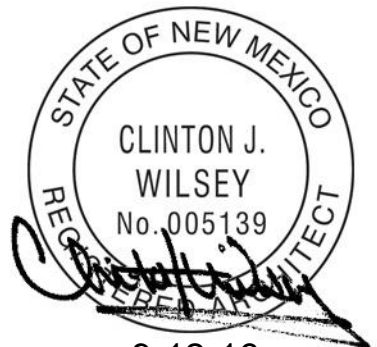
DRAWN BY: ZTH
REVIEWED BY: CW
DATE ISSUED: 9/12/2016
PROJECT NO:

ISSUED FOR:

REF:

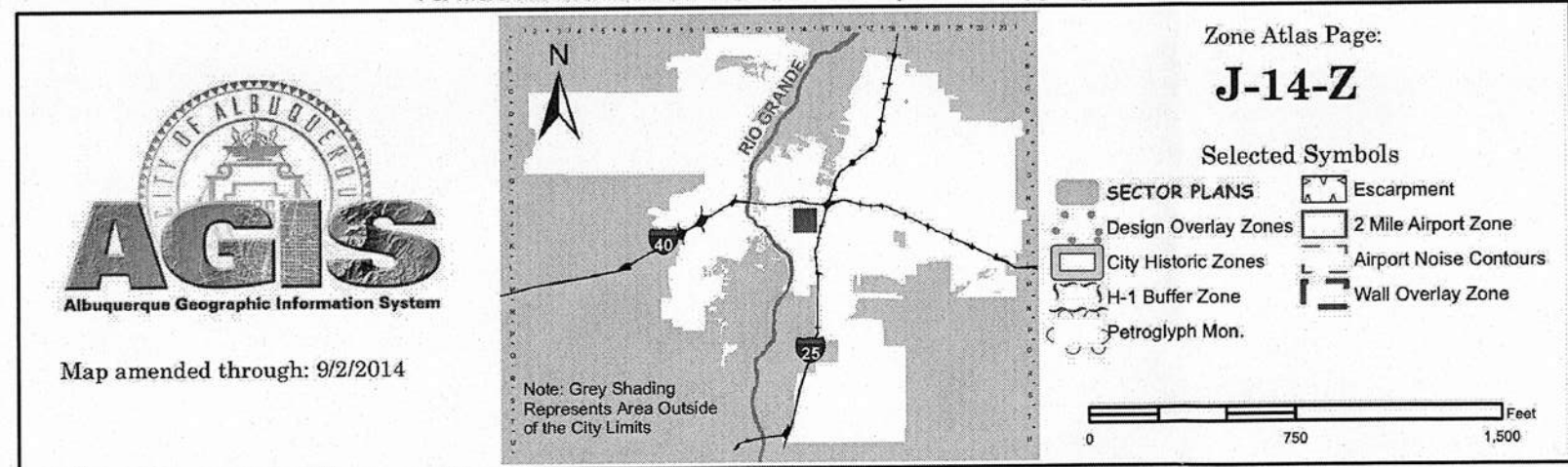
9-12-16

SKA-2





PROJECT LOCATION



EXECUTIVE SUMMARY

Reconfiguration of a 1923 sf portion of an existing 4722 sf Group B occupancy single storey building with the addition of two bathrooms, tasting room, and distillery production area. Existing plumbing and sanitary sewer are to be extended as necessary to serve new fixtures. Existing HVAC will be used in the production area while the tasting room will be served by a new mini-split system. New storefront doors and windows are to be installed in existing openings. No exterior work, no alteration to footprint.

Accessible entrance is to be provided from accessible route at sidewalk via striped walkway meeting ADA requirements at paved alley to the east.

TCL NOTES

1. ALL EXTERIOR / SITE ELEMENTS SHOWN ARE EXISTING UNLESS NOTED OTHERWISE.
2. NO EXTERIOR WORK UNDER THIS PERMIT EXCEPT ADA WALKWAY AT ALLEY.
3. DRIVE PAD / CURB CUT TO REMAIN. ACTIVE LOADING OF ITEMS TOO LARGE TO FIT THROUGH DOOR AT ALLEY, E.G. PALLETS, 50 GALLON CASKS, AND GRAIN TOTES. ADDITIONALLY THIS DRIVE PAD WILL BE USED FOR PERIODIC VACUUM TRUCK ACCESS TO SEWER INTERCEPTOR SEE. A1.0 FOR FURTHER DETAILS.
4. EXISTING SIDEWALKS MEET ADA REQUIREMENTS AND ARE IN GOOD REPAIR. VERIFY ALL WALKWAYS MEET STANDARDS FOR ACCESSIBILITY.

GENERAL NOTES

LOCATION:
120 AVENUE NW
ALBUQUERQUE NM 87102

SITE / LEGAL DESCRIPTION:

Lots numbered 13 and 14 in block numbered Eight (8) of the NORTHERN ADDITION to the city of Albuquerque, New Mexico, as the same is shown and designated on the plat of said Addition, filed in the Office of the Probate Clerk abd Rex-Oficio REcorder of Bernalillo County, New Mexico on January 8, 1892.

ZONING
SU-2 C ZONE
NOTE: CONDITIONAL USE FOR MANUFACTURING REQUIRED PER 14-16-2-17(B)(19), APPROVED 7.31.15, PROJECT #1010503
SPECIAL EXCEPTION # 15ZHE-80176

PARKING REQUIRED:

NONE, PER CABQ OFF STREET PARKING REGULATIONS 14-16-3-1, BUILDING CONSTRUCTED PRIOR TO OCTOBER 22, 1965. NO PARKING REQUIREMENT PER MCLELLAN PARK SDP, SECTION #7, PAGE 80.

PARKING PROVIDED:

4 SPACES ON STREET

GENERAL NOTES

1. ALL DIMENSIONS TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
2. NO STRUCTURAL MODIFICATIONS UNDER THIS PERMIT.
3. EXISTING HVAC (SWAMP COOLER AND GAS FIRED HANGING HEATER) TO REMAIN.
4. PROVIDE PRESSURE TREATED SILL PLATE W/ SILL STRIP & NON HARDENING SEALANT AT ALL WALLS.
5. NEW WASTE LINES ARE TO CONNECT TO EXISTING SANITARY SEWER CONNECTIONS.
6. ALL EXTERIOR OPENINGS ARE EXISTING.
7. PROVIDE 2X BLOCKING AT ALL GRAB BAR LOCATIONS.

TCL SYMBOLS

- GAS METER
- ELECTRIC METER
- ◇ FIRE HYDRANT
- STREET SIGN
- UTILITY POLE

DRAWING SYMBOLS

APPROVED
PERMIT # T201693067
DATE 03/15/16
WALL SECTION NUMBER
STREET NUMBER

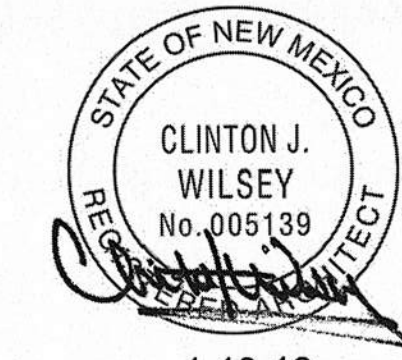
1 Ref
1 Ref
1 Ref
ELEVATION NUMBER
SHEET NUMBER

1i
WALL TYPE TAG

1i
PLUMBING FIXTURE TAG

66Architect LLC

2041 South Plaza St. NW
Albuquerque, NM 87104
505.280.0043
clint@gmail.com



SEAL

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

TRAFFIC CIRCULATION LAYOUT APPROVED

Signed 1/11/16
Data

STILL SPIRITS DISTILLERY
120 MARBLE AVENUE NW,
ALBUQUERQUE NM, 87102

REVISIONS

- 1/5/2016 CABQ Permit Comments

DRAWN BY ZTH
REVIEWED BY CW
DATE 1/10/16

DRAWING NAME

TCL

SHEET NO

G1.1

1 TCL
1/16" = 1'-0"



AS-BUILT VERIFIED 12.13.16