

1-10-16

SEAL

STILL SPIRITS DISTILLERY  
120 MARBLE AVENUE NW,  
ALBUQUERQUE NM, 87102

REVISIONS  
1 1/5/2016 CABQ Permit Comments

DRAWN BY ZTH  
REVIEWED BY CW  
DATE 12/11/15

DRAWING NAME  
FLOOR PLAN

SHEET NO

A1.0

GENERAL NOTES

- ALL DIMENSIONS TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
- NO STRUCTURAL MODIFICATIONS UNDER THIS PERMIT.
- EXISTING HVAC (SWAMP COOLER AND GAS FIRED HANGING HEATER) TO REMAIN.
- PROVIDE PRESSURE TREATED SILL PLATE W/ SILL STRIP & NON HARDENING SEALANT AT ALL WALLS.
- NEW WASTE LINES ARE TO CONNECT TO EXISTING SANITARY SEWER CONNECTIONS.
- ALL EXTERIOR OPENINGS ARE EXISTING.
- PROVIDE 2X BLOCKING AT ALL GRAB BAR LOCATIONS.

DISTILLERY EQUIPMENT SCHEDULE

- A. 2" DIA COPPER FRATIONATING COLUMN STILL W/ REFLUX CONDENSER.  
B. 15 GALLON CAPACITY ELECTRICALLY HEATED BOILER W/ 220VAC, 5 KW HEATING ELEMENT.  
C. 10 GALLON CAPACITY LAUTER TANK.  
D. 20 GALLON CAPACITY FERMENTER W/ AIRLOCK.

NOTE:  
1. SANITIZATION OF ALL DISTILLERY EQUIPMENT TO BE PERFORMED IN 2-COMPARTMENT SINK IN PRODUCTION AREA IN ACCORDANCE WITH FDA FOOD CODE 2009 SECTION 4-301.12(D)

2. ALL GRAINS (BARLEY, CORN ETC.) USED IN RECIPE PREPERATION ARE PRE-GROUND. THERE WILL BE NO GRINDING OPERATIONS ON SITE.

3. SAFETY-TYPE LIGHT BULBS OR PLASTIC SHIELDS MUST BE INSTALLED ON ALL LIGHT FIXTURES OVER PROCESSING AND STORAGE AREAS TO PREVENT CONTAMINATION WITH BROKEN GLASS.

FINISH NOTES

- WALL FINISH THROUGHOUT IS PAINTED GYPSUM BOARD UNLESS NOTED OTHERWISE.
- CEILING FINISH THROUGHOUT IS GALVANIZED METAL ROOF DECK.
- WATER RESISTANT GYPSUM BOARD IS TO BE USED AT ALL WET AREAS.
- ABUSE RESISTANT GYPSUM BOARD TO BE USED THROUGHOUT.
- PAINT ALL WALLS WITHIN 2' OF A WATER CLOSET WITH SHERWIN WILLIAMS PRO INDUSTRIAL HIGH PERFORMANCE EPOXY PAINT TO A HEIGHT OF 4'.
- SEAL EDGE OF PLYWOOD FINISH TO FLOOR WITH SILICONE SEALANT AT ALL BATHROOM AREAS. PER C3/A1.1.
- SEAL PLYWOOD FINISH AT ALL EDGES TO PREVENT WATER ABSORPTION.

FINISH SCHEDULE

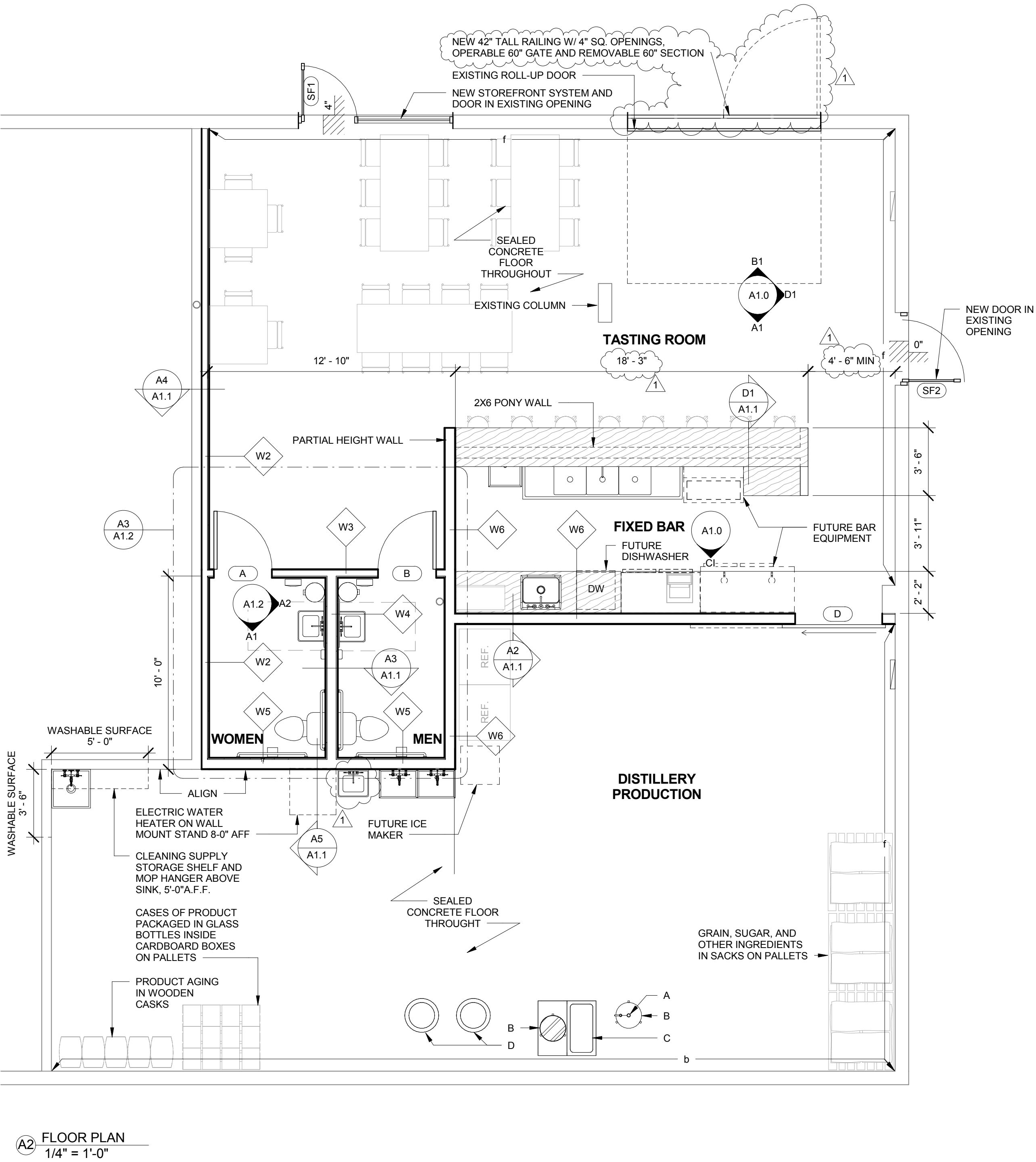
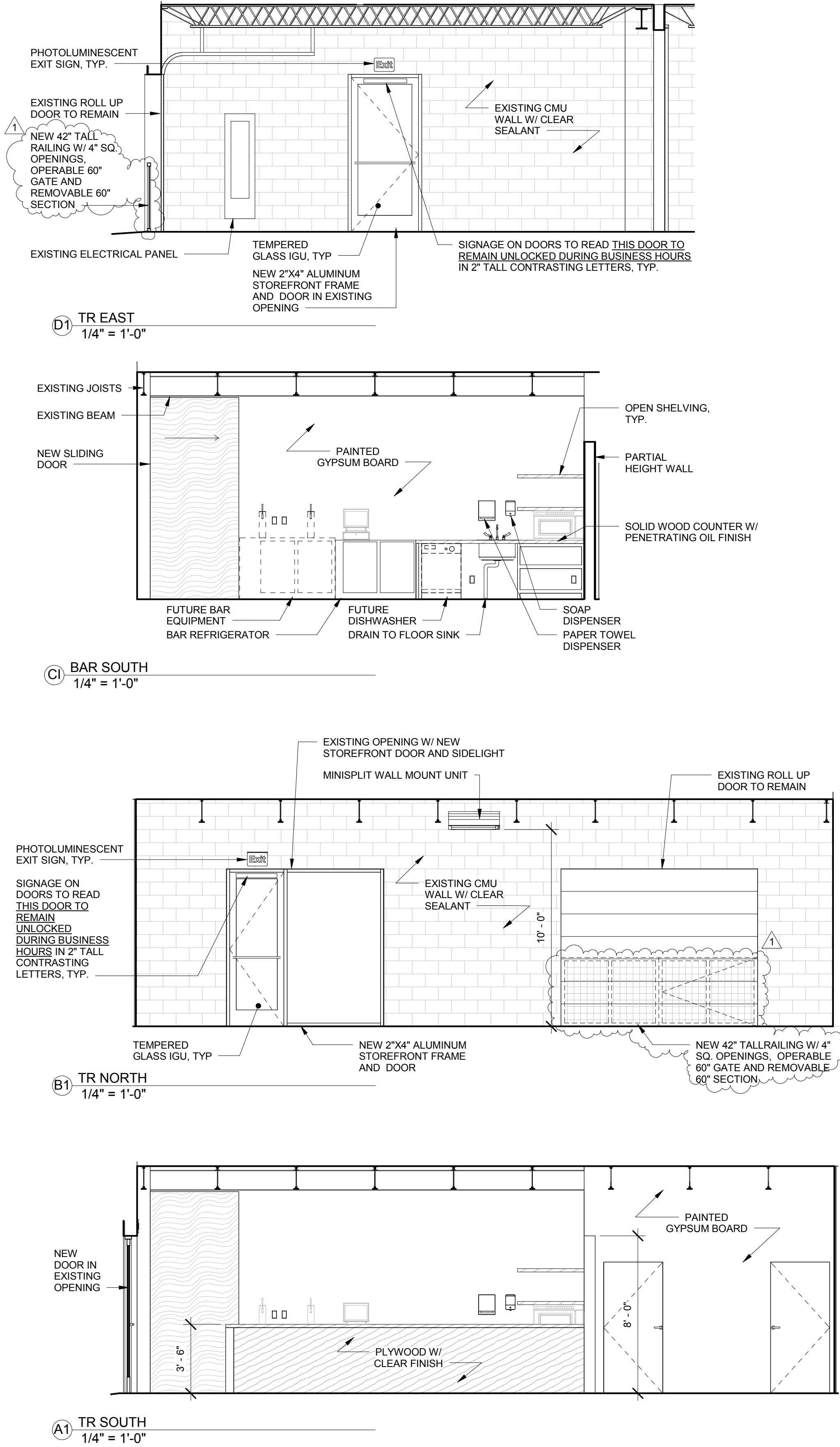
- a. PAINT OVER GYP BOARD AS SPECIFIED, COLOR BY ARCHITECT.  
b. PAINT OVER BLOCK FILLING PRIMER AND CMU, COLOR BY ARCHITECT.  
c. CLEAR MINWAX POLYCRYLIC FINISH OVER PLYWOOD.  
d. PENETRATING OIL FINISH ON SOLID WOOD COUNTER TOP.  
e. CEILING THROUGHOUT: GALVANIZED METAL ROOF DECK.  
f. CLEAR SEALER OVER CMU.

DRAWING SYMBOLS

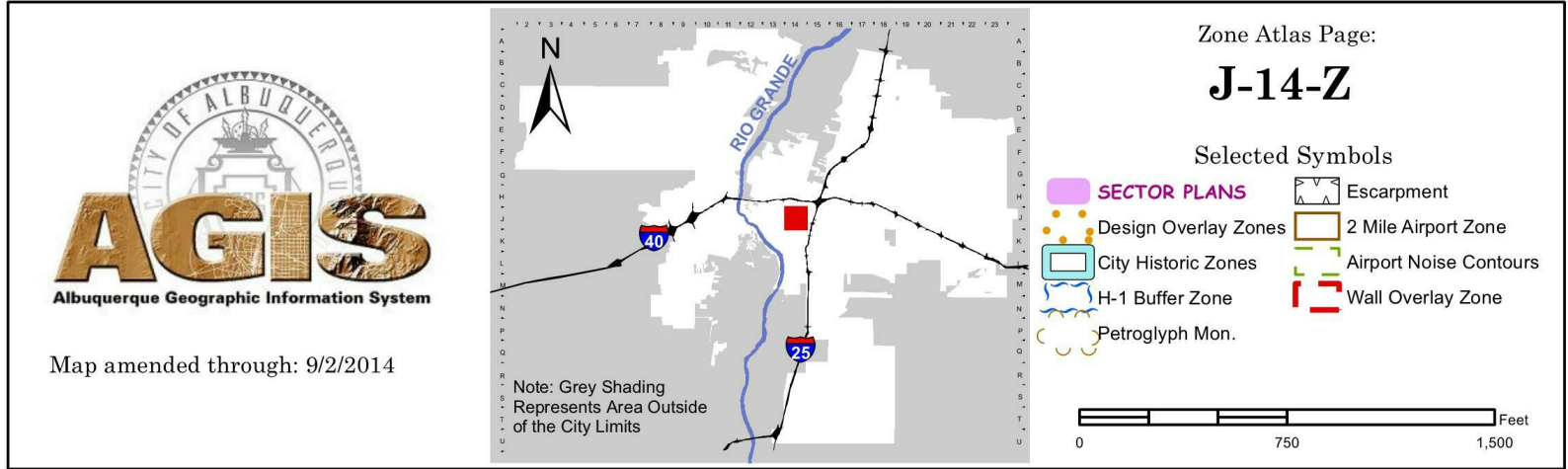
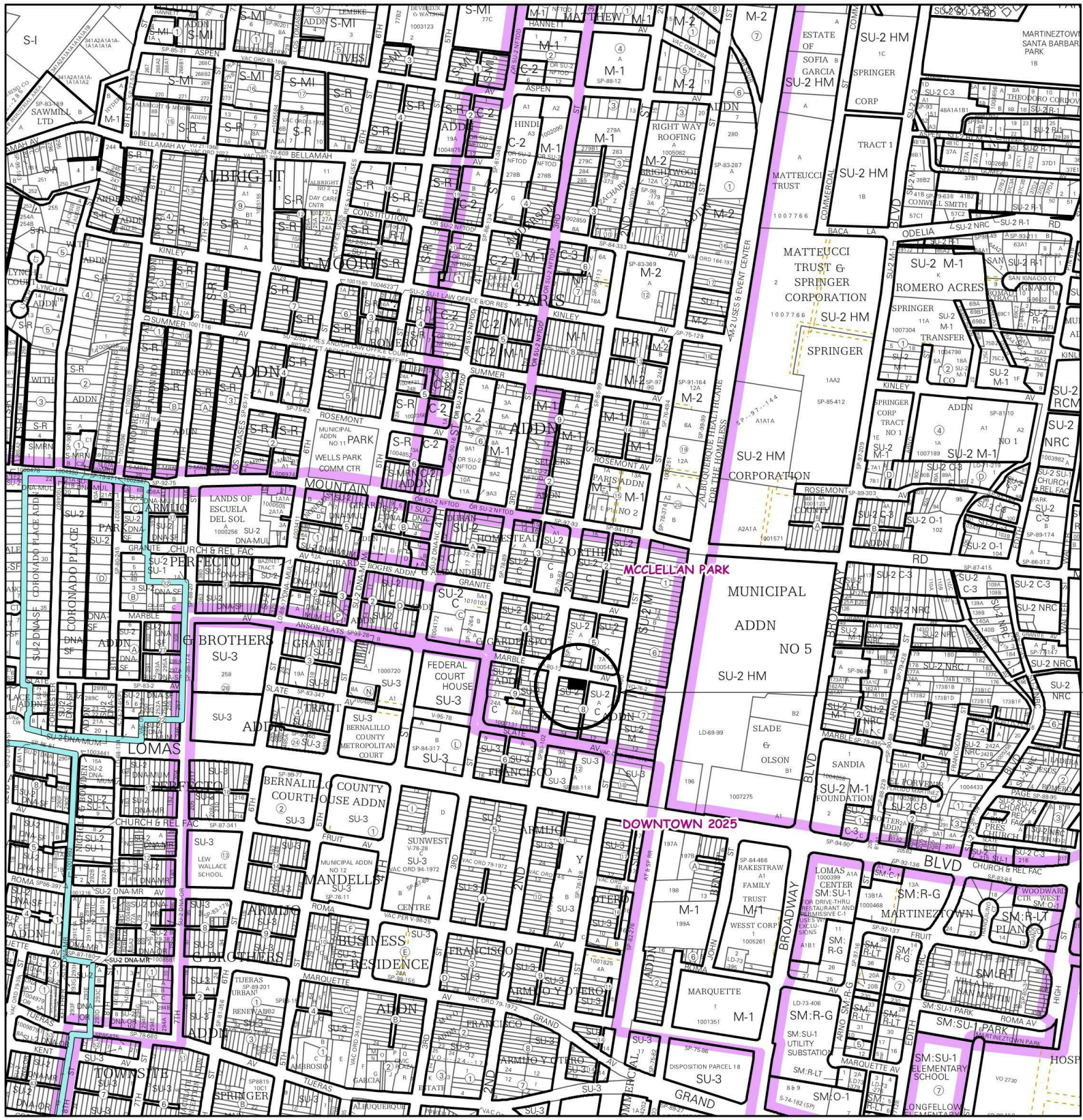
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1101 SIM SHEET NUMBER  
1101 SIM WALL SECTION NUMBER  
1101 SIM SHEET NUMBER  
1 Ref 1 Ref ELEVATION NUMBER  
1 Ref 1 Ref SHEET NUMBER  
11 WALL TYPE TAG  
11 PLUMBING FIXTURE TAG  
a FINISH TAG

Door Schedule								
Mark	Door Type	Frame Type	Thickness	Width	Height	Acessories	Finish	Comments
A	Solid Core	Wood	0' - 2"	3' - 0"	6' - 8"	Sound Seal & Closer	Clear Finish	Privacy lock with keyed override
B	Solid Core	Wood	0' - 2"	3' - 0"	6' - 8"	Sound Seal & Closer	Clear Finish	Privacy lock with keyed override
SF1	Aluminum Storefront	Aluminum	0' - 2"	2' - 9"	7' - 10"	Weather Seal	Anodized	Deadbolt lock, keyed exterior, knob interior
D	Surface Mount Sliding Door - Site Fabricated	Steel	0' - 2"	4' - 6"	8' - 0"	Sweep seal at perimeter, bulb seal at threshold	Stained plywood w/ clear finish	Hasp and padlock. 2" sq. galvanized steel track & hardware
E	Existing Roll-up Door	Steel	0' - 1 1/2"	10' - 0"	8' - 0"	Weather Seal	Existing	Existing
SF2	Aluminum Storefront	Aluminum	0' - 2"	3' - 5"	7' - 10"	Weather Seal	Anodized	Deadbolt lock, keyed exterior, knob interior

DOOR NOTES  
1. ALL DOOR HARDWARE TO MEET ADA REQUIREMENTS.  
2. PROVIDE KEYED LOOKS AT ALL EXTERIOR DOORS.  
3. ALL EXTERIOR DOORS TO MEET IECC REQUIREMENTS.







PROJECT LOCATION

EXECUTIVE SUMMARY

Reconfiguration of a 1923 sf portion of an existing 4722 sf Group B occupancy single storey building with the addition of two bathrooms, tasting room, and distillery production area. Existing plumbing and sanitary sewer are to be extended as necessary to serve new fixtures. Existing HVAC will be used in the production area while the tasting room will be served by a new mini-split system. New storefront doors and windows are to be installed in existing openings. No exterior work, no alteration to footprint.

Accessible entrance is to be provided from accessible route at sidewalk via striped walkway meeting ADA requirements at paved alley to the east.

TCL NOTES

1. ALL EXTERIOR / SITE ELEMENTS SHOWN ARE EXISTING UNLESS NOTED OTHERWISE
2. NO EXTERIOR WORK UNDER THIS PERMIT EXCEPT ADA WALKWAY AT ALLEY.
3. DRIVE PAD / CURB CUT TO REMAIN. ACTIVE LOADING OF ITEMS TOO LARGE TO FIT THROUGH DOOR AT ALLEY, E.G. PALLETS, 50 GALLON CASKS, AND GRAIN TOTES. ADDITIONALLY THIS DRIVE PAD WILL BE USED FOR PERIODIC VACUUM TRUCK ACCESS TO SEWER INTERCEPTOR SEE. A1.0 FOR FURTHER DETAILS.
4. EXISTING SIDEWALKS MEET ADA REQUIREMENTS AND ARE IN GOOD REPAIR. VERIFY ALL WALKWAYS MEET STANDARDS FOR ACCESSIBILITY.

GENERAL NOTES

LOCATION:  
120 AVENUE NW  
ALBUQUERQUE NM 87102

SITE / LEGAL DESCRIPTION:

Lots numbered 13 and 14 in block numbered Eight (8) of the NORTHERN ADDITION to the city of Albuquerque, New Mexico, as the same is shown and designated on the plat of said Addition, filed in the Office of the Probate Clerk abd Rex-Oficio REcorder of Bernalillo County, New Mexico on January 8, 1892.

ZONING  
SU-2 C ZONE  
NOTE: CONDITIONAL USE FOR MANUFACTURING REQUIRED PER 14-16-2-17(B)(19), APPROVED 7.31.15, PROJECT #1010503  
SPECIAL EXCEPTION # 15ZHE-80176

PARKING REQUIRED:  
NONE, PER CABQ OFF STREET PARKING REGULATIONS 14-16-3-1, BUILDING CONSTRUCTED PRIOR TO OCTOBER 22, 1965.  
NO PARKING REQUIREMENT PER MCLELLAN PARK SDP, SECTION #7, PAGE 80.

PARKING PROVIDED:  
4 SPACES ON STREET

GENERAL NOTES

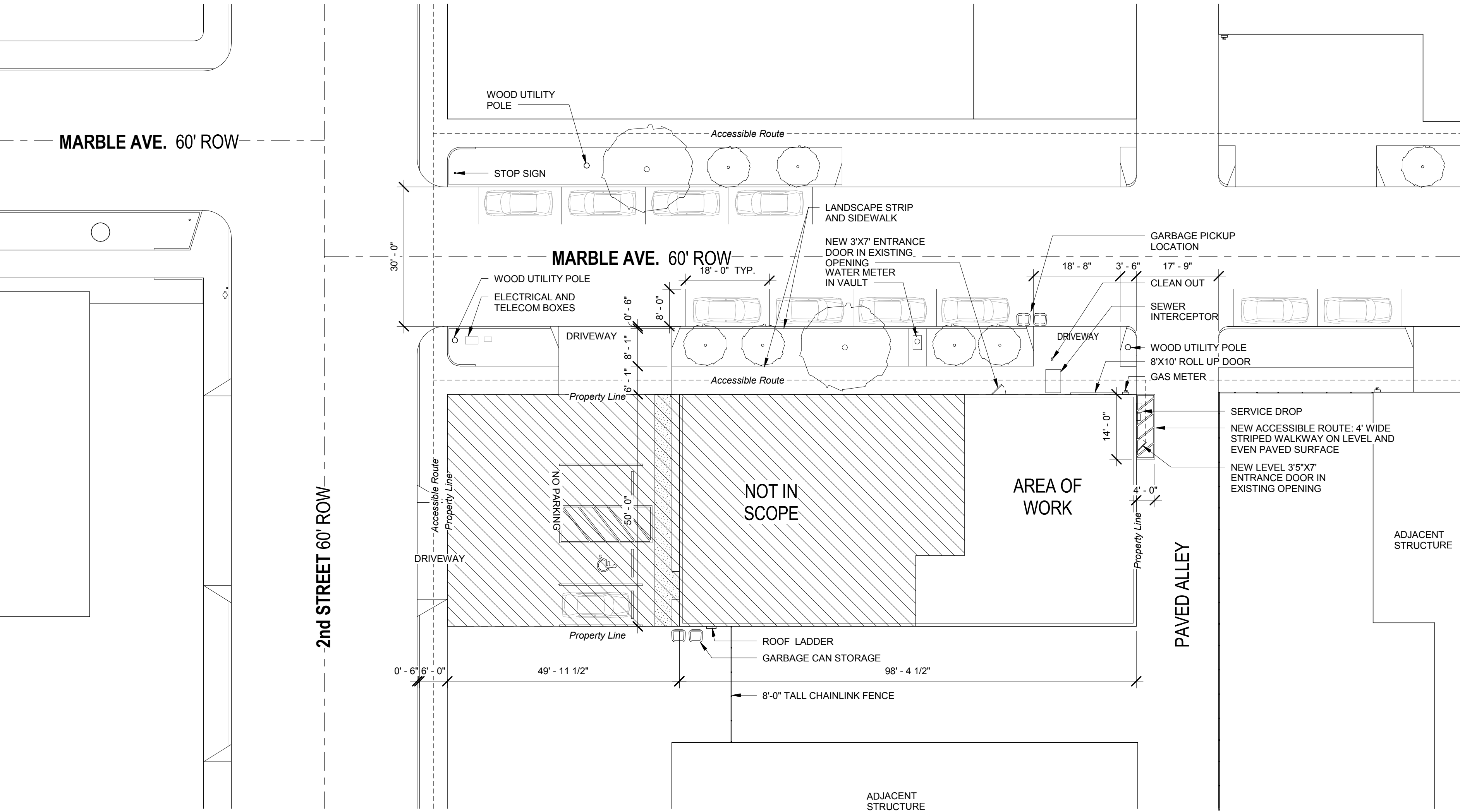
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5. NEW WASTE LINES ARE TO CONNECT TO EXISTING SANITARY SEWER CONNECTIONS.
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7. PROVIDE 2X BLOCKING AT ALL GRAB BAR LOCATIONS.

TCL SYMBOLS

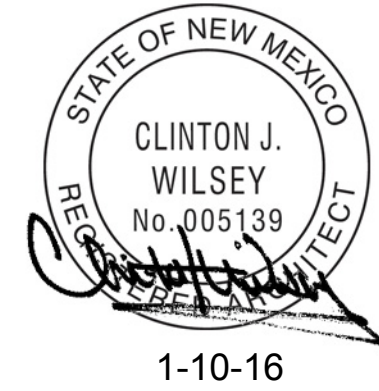
- ⊕ GAS METER
- ELECTRIC METER
- ◇ FIRE HYDRANT
- STREET SIGN
- UTILITY POLE

DRAWING SYMBOLS

- 1 SIM ———— DETAIL CALLOUT NUMBER
- A101 ———— SHEET NUMBER
- 1 SIM ———— WALL SECTION NUMBER
- A101 ———— SHEET NUMBER
- 1 Ref ———— ELEVATION NUMBER
- A101 1 Ref ———— SHEET NUMBER
- 1i ———— WALL TYPE TAG
- 1i ———— PLUMBING FIXTURE TAG



1 TCL  
1/16" = 1'-0"



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