

CITY OF ALBUQUERQUE



July 29, 2016

RESPEC
Hugh Floyd
6808 Academy Parkway East NE
Albuquerque, NM 87102

Re: Sandia Foundation
807 Arno St NE
Traffic Circulation Layout
Engineer's/Architect's Stamp **XX-XX-XX** (J14D181)

Dear Mr. Floyd,

Based upon the information provided in your submittal received XX-XX-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Show all drive aisle widths and radii of end islands
2. One-way vehicular paths require pavement directional signage and a posted **"Do Not Enter"** sign at the point of egress. Please show detail and location of posted signs.
3. Please specify the City Standard Drawing Number when applicable.
4. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
5. A gutter at the East drive way is not necessary unless required by Hydrology.
6. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact Monica Ortiz (505) 924-3981 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

mao via: email
C: CO Clerk, File

July 26, 2016

City of Albuquerque
Development Review Board
Plaza del Sol
600 Second Street NW
Albuquerque, NM 87102

RE: Lomas / Broadway Parking Improvements

RESPEC is requesting an initial review of the conceptual Traffic Circulation Layout at the northeast corner of Lomas Blvd. and Broadway Blvd. The development is approximately 0.13 acres and is within zone atlas J-14-Z zoned SU-2. The proposed development will add 10 parking spaces approximately 8.5' by 20' and an alternative egress to the east on Arno St. NE. In addition, a 5' sidewalk will be implemented for pedestrian access and the site will have standard curb and gutter drainage.

The improvement is proposed to relieve traffic congestion from the two fast food establishments (Carl's Jr. and Starbucks). Currently, there are 2 ingress points and 1 egress point. This can be observed in Exhibit 1 on the following page. The development will establish a one-way access road on the east side of the site with an egress to Arno Street NE as a right turn only.

INCLUDED WITH THIS SUBMITTAL

- Exhibit 1: Layout of Proposed Access
- TCL Plan (full size)
- Drainage and Transportation Information Sheet

If you should have any questions or comments concerning this plan, please contact us at your convenience.

Sincerely,

Hugh Floyd, PE
New Mexico Area Manager, W&NR
6808 Academy Parkway East NE, Building C 2
Albuquerque, NM 87109
505.253.9810 office | 505.366.4187 cell
Hugh.Floyd@respec.com

Enclosure



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: _____
City Address: _____

Engineering Firm: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR

TYPE OF SUBMITTAL:

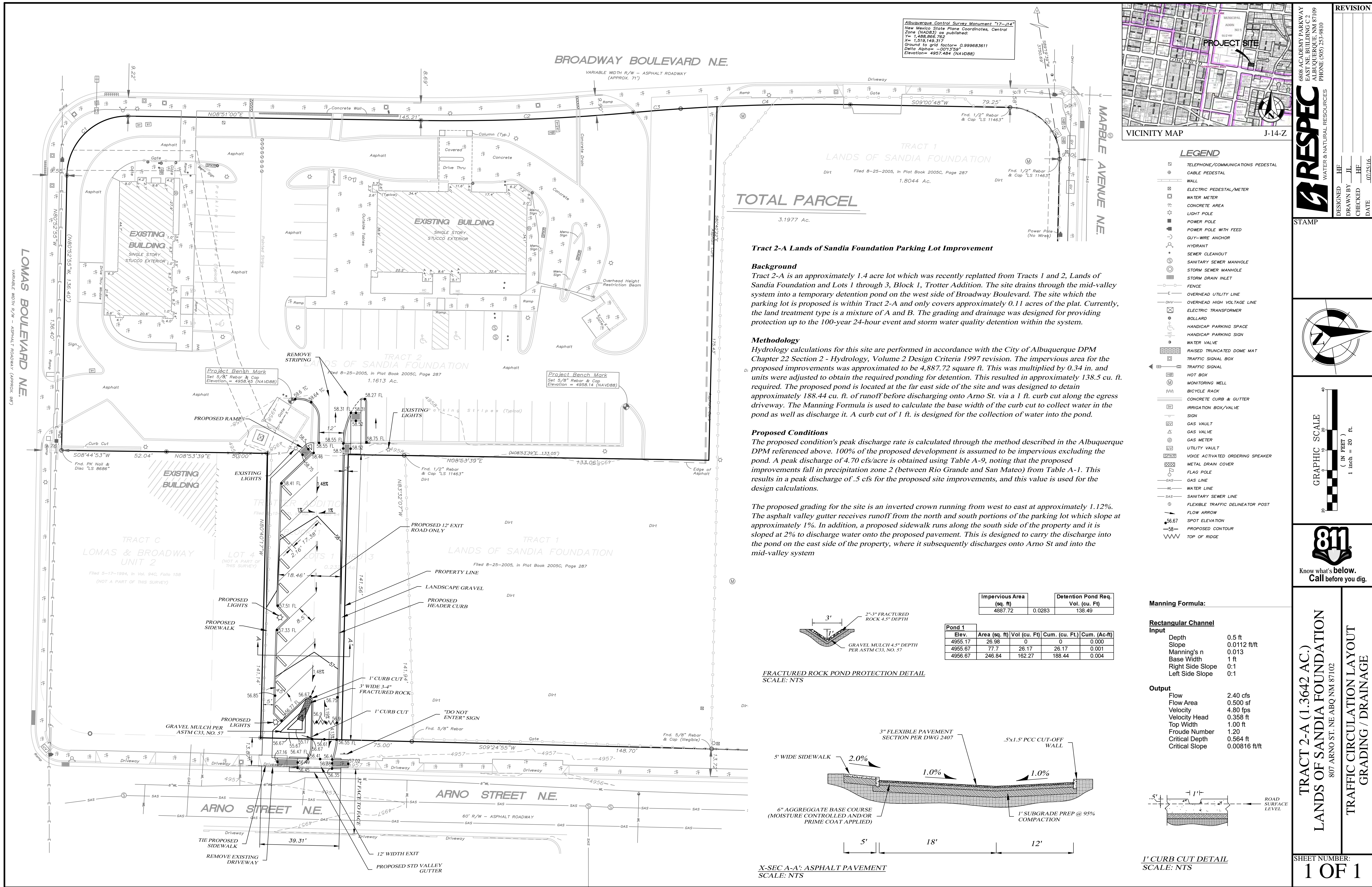
- ENGINEER/ ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) _____

- PRE-DESIGN MEETING
- OTHER (SPECIFY) _____

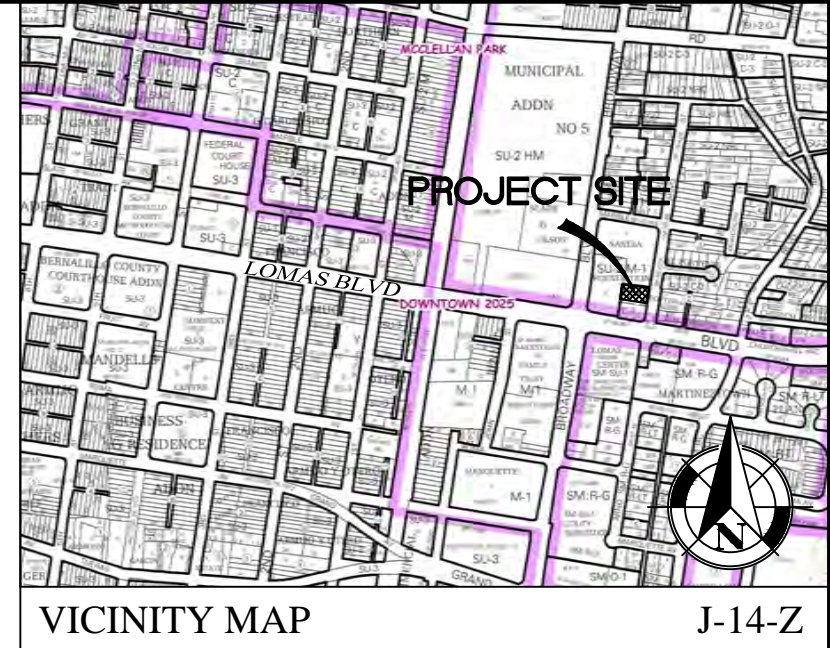
IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: _____ By: _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



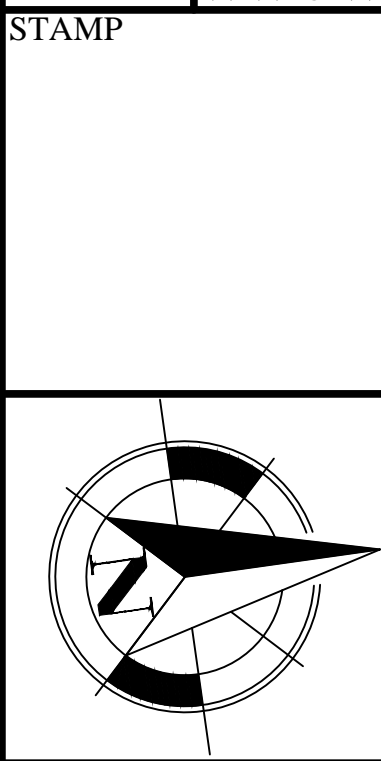
Albuquerque Control Survey Monument "17-14"
 New Mexico State Plane Coordinates, Central
 Zone (NAD83) as published
 Y = 1,488,866.762
 X = 1,519,149.317
 Ground to grid factor = 0.999683611
 Delta Alpha = -001'35.9"
 Elevation = 4957.484 (NAVD88)



- LEGEND**
- ☐ TELEPHONE/COMMUNICATIONS PEDESTAL
 - ☐ CABLE PEDESTAL
 - WALL
 - ⊗ ELECTRIC PEDESTAL/METER
 - ⊗ WATER METER
 - ⊗ CONCRETE AREA
 - ⊗ LIGHT POLE
 - ⊗ POWER POLE
 - ⊗ POWER POLE WITH FEED
 - ⊗ GUY-WIRE ANCHOR
 - ⊗ HYDRANT
 - ⊗ SEWER CLEANOUT
 - ⊗ SANITARY SEWER MANHOLE
 - ⊗ STORM SEWER MANHOLE
 - ⊗ STORM DRAIN INLET
 - FENCE
 - OVERHEAD UTILITY LINE
 - OVERHEAD HIGH VOLTAGE LINE
 - ⊗ ELECTRIC TRANSFORMER
 - ⊗ BOLLARD
 - ⊗ HANDICAP PARKING SPACE
 - ⊗ HANDICAP PARKING SIGN
 - ⊗ WATER VALVE
 - ⊗ RAISED TRUNCATED DOME MAT
 - ⊗ TRAFFIC SIGNAL BOX
 - ⊗ TRAFFIC SIGNAL
 - ⊗ HOT BOX
 - ⊗ MONITORING WELL
 - ⊗ BICYCLE RACK
 - ⊗ CONCRETE CURB & GUTTER
 - ⊗ IRRIGATION BOX/VALVE
 - ⊗ SIGN
 - ⊗ GAS VAULT
 - ⊗ GAS VALVE
 - ⊗ GAS METER
 - ⊗ UTILITY VAULT
 - ⊗ VOICE ACTIVATED ORDERING SPEAKER
 - ⊗ METAL DRAIN COVER
 - ⊗ FLAG POLE
 - ⊗ GAS LINE
 - ⊗ WATER LINE
 - ⊗ SANITARY SEWER LINE
 - ⊗ FLEXIBLE TRAFFIC DELINEATOR POST
 - FLOW ARROW
 - ⊗ 56.67 SPOT ELEVATION
 - 58— PROPOSED CONTOUR
 - ⊗ TOP OF RIDGE

REVISION

DESIGNED BY: JL
 DRAWN BY: JL
 CHECKED BY: JL
 DATE: 07/25/16



811
 Know what's below.
 Call before you dig.

TOTAL PARCEL
 3.1977 Ac.

Tract 2-A Lands of Sandia Foundation Parking Lot Improvement

Background
 Tract 2-A is an approximately 1.4 acre lot which was recently replatted from Tracts 1 and 2, Lands of Sandia Foundation and Lots 1 through 3, Block 1, Trotter Addition. The site drains through the mid-valley system into a temporary detention pond on the west side of Broadway Boulevard. The site which the parking lot is proposed is within Tract 2-A and only covers approximately 0.11 acres of the plat. Currently, the land treatment type is a mixture of A and B. The grading and drainage was designed for providing protection up to the 100-year 24-hour event and storm water quality detention within the system.

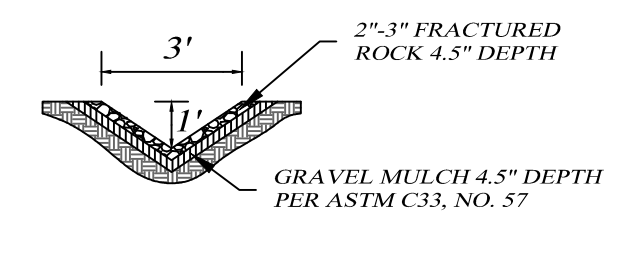
Methodology
 Hydrology calculations for this site are performed in accordance with the City of Albuquerque DPM Chapter 22 Section 2 - Hydrology, Volume 2 Design Criteria 1997 revision. The impervious area for the proposed improvements was approximated to be 4,887.72 square ft. This was multiplied by 0.34 in. and units were adjusted to obtain the required ponding for detention. This resulted in approximately 138.5 cu. ft. required. The proposed pond is located at the far east side of the site and was designed to detain approximately 188.44 cu. ft. of runoff before discharging onto Arno St. via a 1 ft. curb cut along the egress driveway. The Manning Formula is used to calculate the base width of the curb cut to collect water in the pond as well as discharge it. A curb cut of 1 ft. is designed for the collection of water into the pond.

Proposed Conditions
 The proposed condition's peak discharge rate is calculated through the method described in the Albuquerque DPM referenced above. 100% of the proposed development is assumed to be impervious excluding the pond. A peak discharge of 4.70 cfs/acre is obtained using Table A-9, noting that the proposed improvements fall in precipitation zone 2 (between Rio Grande and San Mateo) from Table A-1. This results in a peak discharge of .5 cfs for the proposed site improvements, and this value is used for the design calculations.

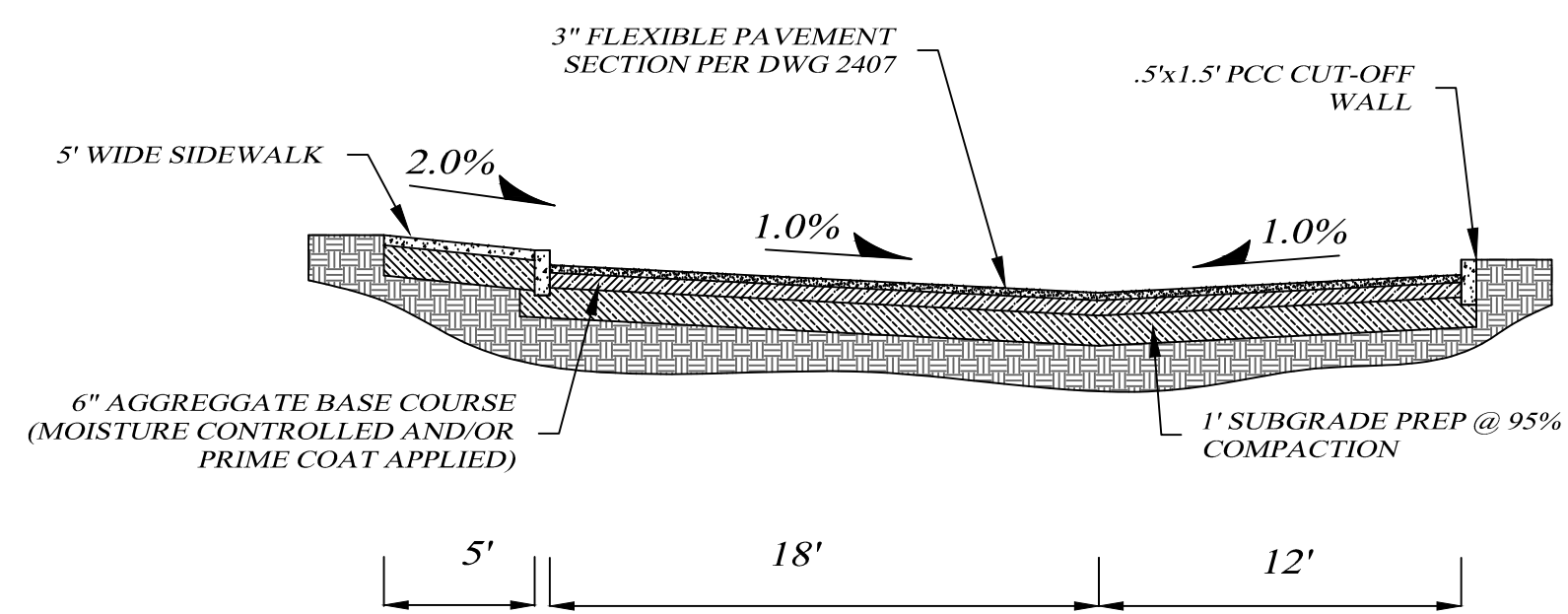
The proposed grading for the site is an inverted crown running from west to east at approximately 1.12%. The asphalt valley gutter receives runoff from the north and south portions of the parking lot which slope at approximately 1%. In addition, a proposed sidewalk runs along the south side of the property and it is sloped at 2% to discharge water onto the proposed pavement. This is designed to carry the discharge into the pond on the east side of the property, where it subsequently discharges onto Arno St and into the mid-valley system

Impervious Area (sq. ft)	Detention Pond Req. Vol. (cu. Ft)
4887.72	138.49

Pond 1	Input		Output	
	Elev.	Area (sq. ft)	Vol (cu. Ft)	Cum. (Ac-ft)
4955.17	26.98	0	0	0.000
4955.57	77.7	26.17	26.17	0.001
4956.67	246.84	162.27	188.44	0.004



FRACTURED ROCK POND PROTECTION DETAIL
 SCALE: NTS



X-SEC A-A' ASPHALT PAVEMENT
 SCALE: NTS

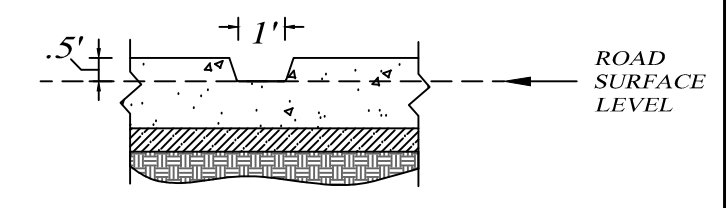
Manning Formula:

Rectangular Channel Input

Depth	0.5 ft
Slope	0.0112 ft/ft
Manning's n	0.013
Base Width	1 ft
Right Side Slope	0:1
Left Side Slope	0:1

Output

Flow	2.40 cfs
Flow Area	0.500 sf
Velocity	4.80 fps
Velocity Head	0.358 ft
Top Width	1.00 ft
Froude Number	1.20
Critical Depth	0.564 ft
Critical Slope	0.00816 ft/ft



1' CURB CUT DETAIL
 SCALE: NTS

TRACT 2-A (1.3642 AC.)
 LANDS OF SANDIA FOUNDATION
 807 ARNO ST., NE. ABOQ NM 87102
 TRAFFIC CIRCULATION LAYOUT
 GRADING / DRAINAGE

SHEET NUMBER:
1 OF 1

EXHIBIT 1

→ EXISTING ACCESS

→ PROPOSED ACCESS



Broadway Blvd NE

Lomas Blvd NE

Lomas Blvd NE

Lomas Blvd NE

Lomas Blvd NE

Arno St NE

Arno St NE

Placido Martinez Ct NE

807 Arno St NE

Carl's Jr

Starbucks

ABQ Quality Auto Service

Love Auto Sales

Jeffs Paint & Body