

CITY OF ALBUQUERQUE



April 7, 2017

David Soule
Rio Grande Engineering
Po Box 93924
Albuquerque, NM 87199

Re: St Martins Hospitality Center Paving Project
1120 2nd St.
Traffic Circulation Layout
Engineer's Stamp dated 03-21-17 (J14-D182)

Dear Mr. Soule,

The TCL submittal received 03-28-17 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

LWP via: email
C: File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

J14D182

Project Title: ST MARTINS HOSPITALITY CENTER PAVING PROJECT Building Permit #: City Drainage #: ~~J18D187~~

DRB#: EPC#: Work Order#:

Legal Description: LOTS13-17 NORTH ADDITION BLOCK 2

City Address: 1120 SECOND STREET

Engineering Firm: 41128 RIO GRANDE ENGINEERING Contact: DAVID SOULE

Address: PO BOX 93924, ALBUQUERQUE, NM 87199

Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: ST MARTINS HOSPITALITY CENTER Contact:

Address: 1120 SECOND STREET

Phone#: Fax#: E-mail:

Architect: none Contact:

Address:

Phone#: Fax#: E-mail:

Other Contact: Contact:

Address:

Phone#: Fax#: E-mail:

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☒ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



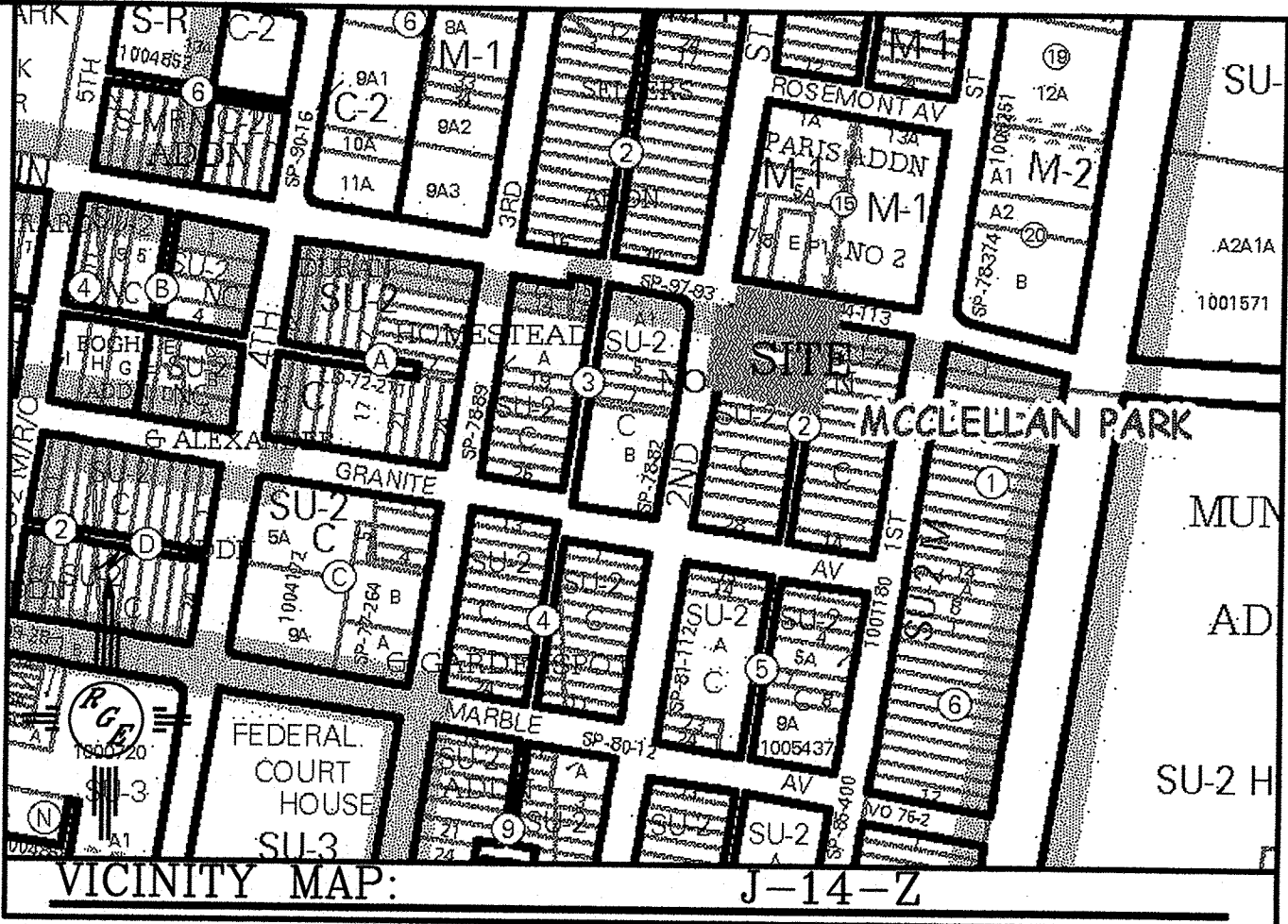
IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 2/8/17 By: _____

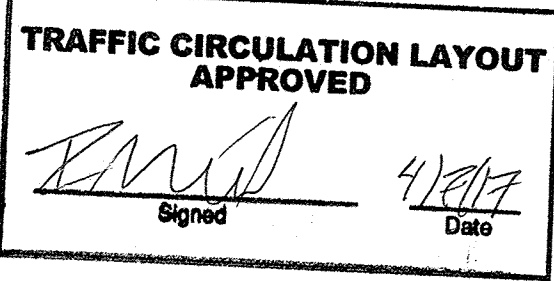
COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

GENERAL NOTES

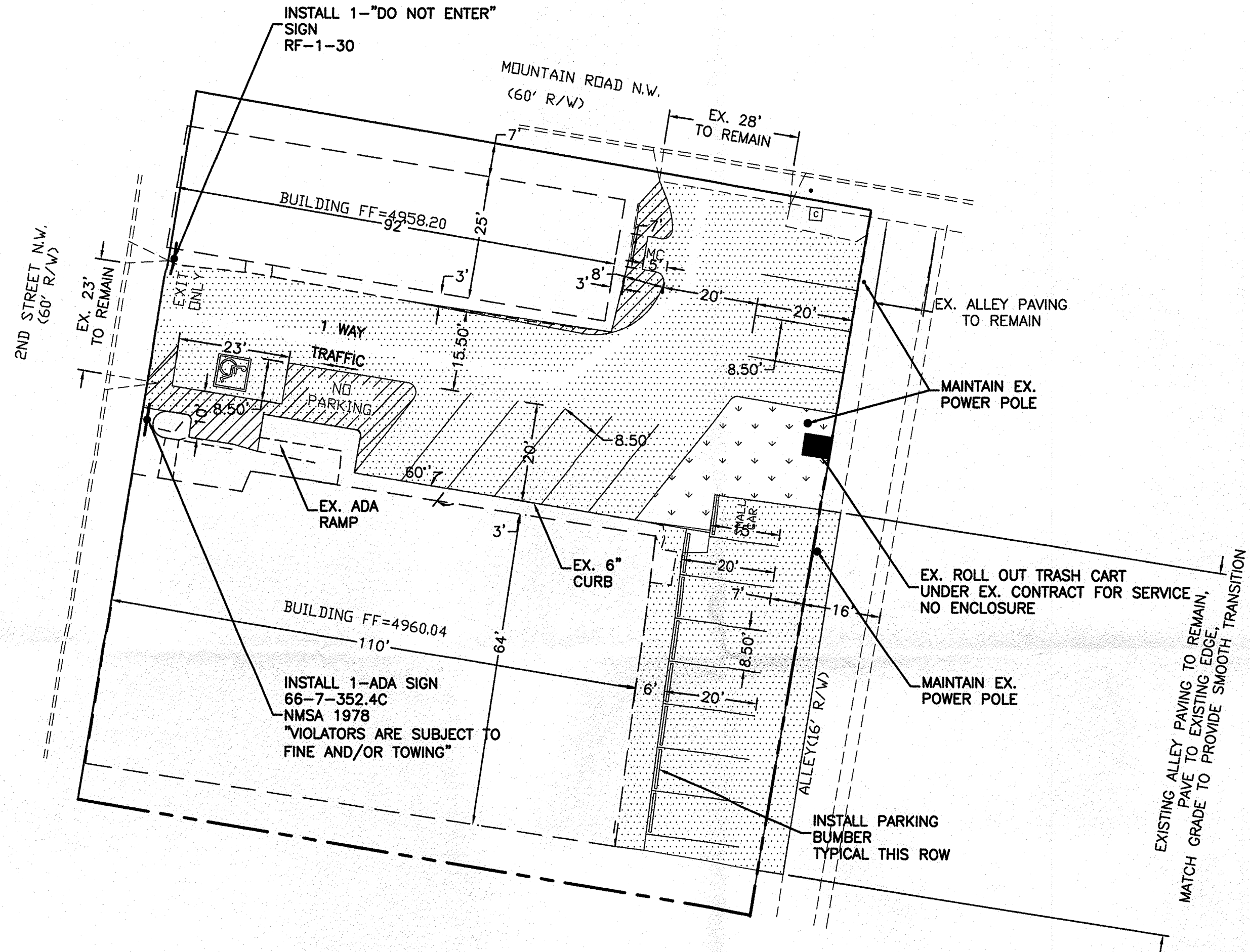
1. ALL DESIGN GRADES MEET COA DPM AND SHALL CONFORM TO APPROVED GRADING AND DRAINAGE PLAN, PRIOR TO CO.



LEGAL DESCRIPTION:
LOTS 15-19 HOMESTEAD ADDITION



ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOWNS.

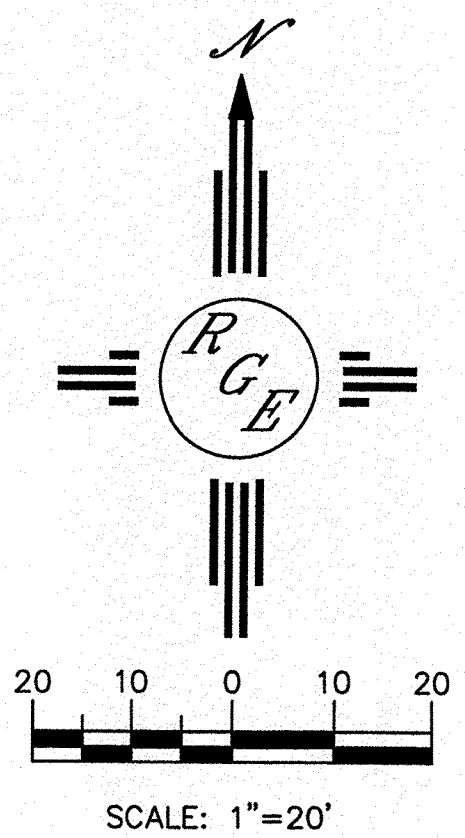



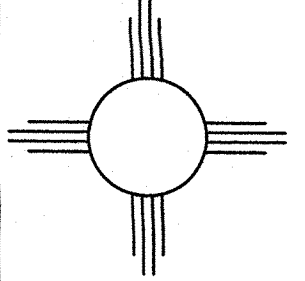
PARKING CALCULATIONS

EXISTING USE: WAREHOUSE 2300 SF
PARKING REQUIRED 1 SPACE PER 1000 SF=2.3 SPACES
1ST FLOOR OFFICE=6800 SF
1 SPACE PER 200 SF=33 SPACES
2ND FLOOR OFFICE=6400 SF
1 SPACE PER 300 SF=21.3 SPACES
57 SPACES REQUIRED
PARKING PROVIDED = 19 SPACES (1 SMALL CAR)
ADA HC SPACE PROVIDED = 1 SPACE
NO NEW BUILDING IMPROVEMENTS, SCOPE OF WORK IS PAVING AND RESTRIPIG
OF EX. PARKING LOT.

LEGEND

- ===== EXISTING CURB & GUTTER
- PROPOSED EDGE OF ASPHALT
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- RIGHT-OF-WAY
- 2' CONCRETE VALLEY GUTTER
- NEW 3" AC PAVING
- NEW LANDSCAPING



ENGINEER'S SEAL  3/21/17 DAVID SOULE P.E. #14522	ST. MARTINS		DRAWN BY WCHJ
	TRAFFIC CIRCULATION LAYOUT		DATE 3-21-17
	 1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999		21703-LAYOUT-1-19-17
			SHEET # — JOB # 21703