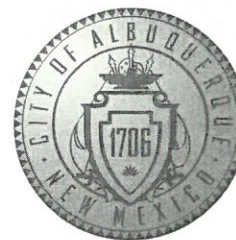


CITY OF ALBUQUERQUE



February 13, 2017

Rio Grande Engineering
David Soule P.E.
PO Box 93924
Albuquerque, NM 87199

Re: St Martins Hospitality Center Paving Project
1120 Second St.
Traffic Circulation Layout
Engineer's Stamp 02-03-17 (J18-D182)

Dear Mr. Soule,

Based upon the information provided in your submittal received 02-08-17, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces including bicycle and motorcycle parking.
2. Label the compact parking spaces by placing the words "**COMPACT**" on the pavement of each space.
3. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**" Please call out detail and location of HC signs.
4. The ADA access aisles shall have the words "**NO PARKING**" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
5. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please dimensions showing.
6. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out detail and location of barrier curb.
7. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
8. One-way vehicular paths require pavement directional signage and a posted "**Do Not Enter**" sign at the point of egress. Please show detail and location of posted signs.
9. The alley off of Mountain Rd NW should be paved. *STD DWG 2411 LP 02/14/2017*

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Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact me at (505) 924-3630.

Sincerely,

Logan Patz
Senior Engineer, Planning Dept.
Development Review Services

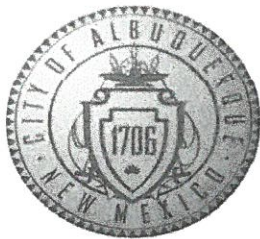
LWP via: email
C: File

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New Mexico 87103

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City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: ST MARTINS HOSPITALITY CENTER PAVING PROJECT **Building Permit #:** **City Drainage #:** J18D182
DRB#: **EPC#:** **Work Order#:**
Legal Description: LOTS13-17 NORTH ADDITION BLOCK 2
City Address: 1120 SECOND STREET

Engineering Firm: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924, ALBUQUERQUE, NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** DAVID@RIOGRANDEENGINEERING.COM

Owner: ST MARTINS HOSPITALITY CENTER **Contact:**
Address: 1120 SECOND STREET
Phone#: **Fax#:** **E-mail:**

Architect: none **Contact:**
Address:
Phone#: **Fax#:** **E-mail:**

Other Contact: **Contact:**
Address:
Phone#: **Fax#:** **E-mail:**

Check all that Apply:

DEPARTMENT:

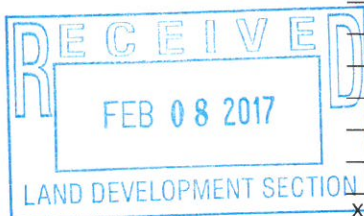
- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☒ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



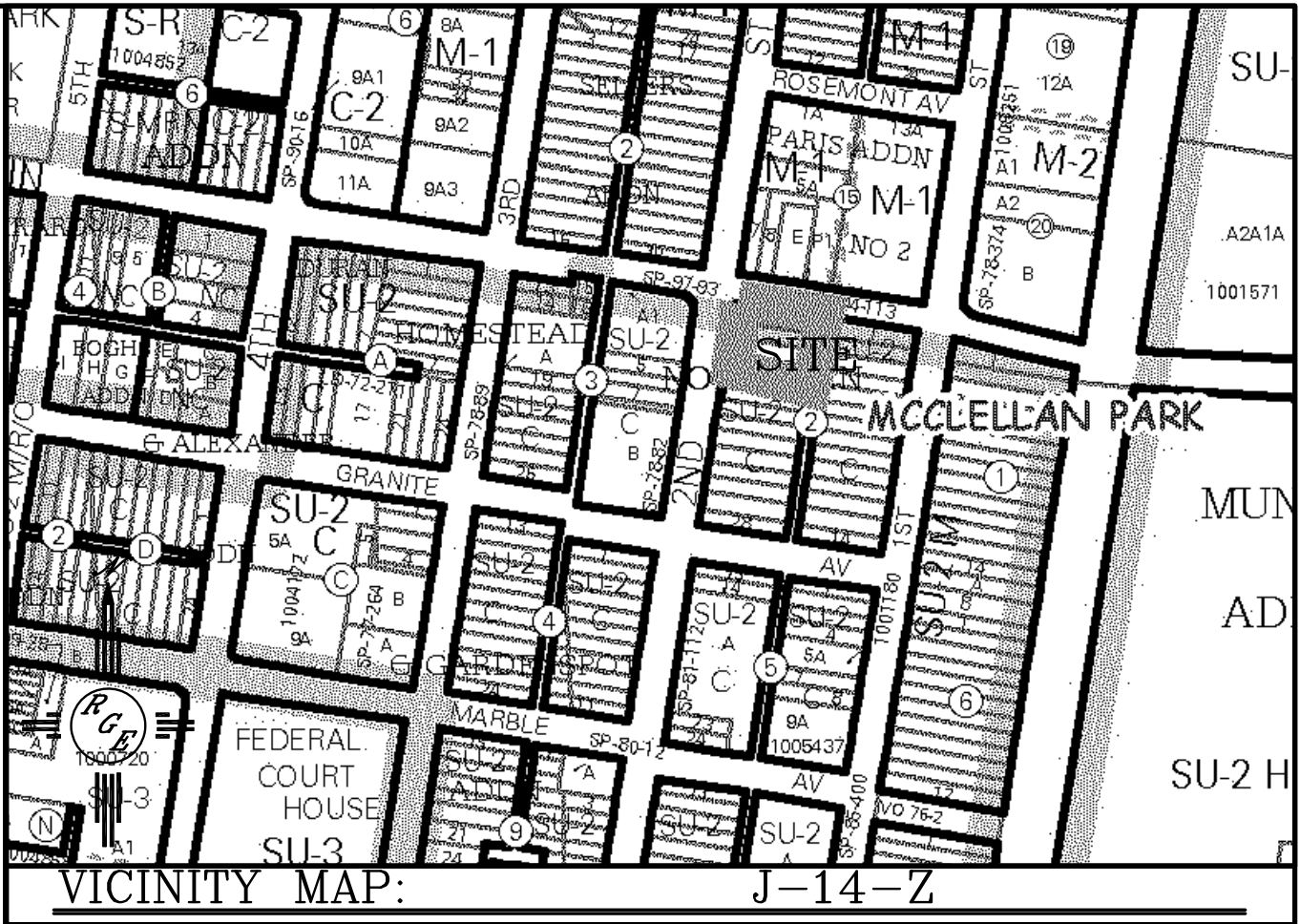
IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 2/8/17 **By:** _____

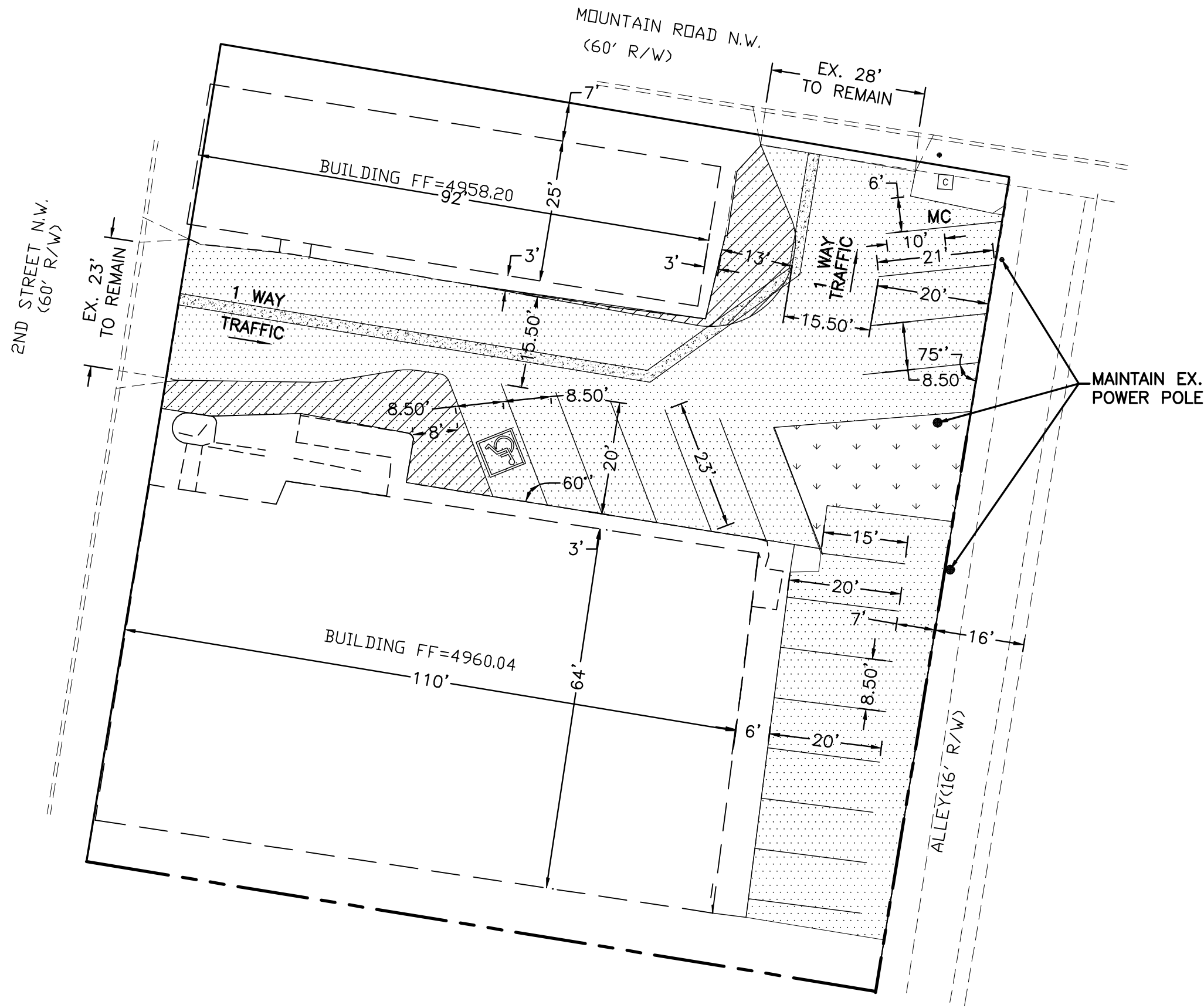
COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

GENERAL NOTES

1. ALL DESIGN GRADES MEET COA DPM AND SHALL CONFORM TO APPROVED GRADING AND DRAINAGE PLAN, PRIOR TO CO.



LEGAL DESCRIPTION:
LOTS 15-19 HOMESTEAD ADDITION

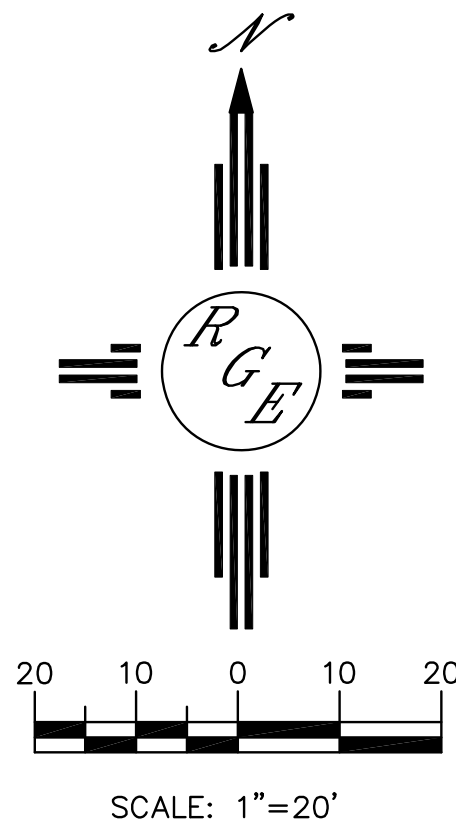


PARKING CALCULATIONS

PARKING PROVIDED = 17 SPACES (1 SMALL CAR)
ADA HC SPACES PROVIDED = 1 SPACE
NO NEW IMPROVEMENTS

LEGEND

- ===== EXISTING CURB & GUTTER
- PROPOSED EDGE OF ASPHALT
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- RIGHT-OF-WAY
- 2' CONCRETE VALLEY GUTTER
- NEW 3" AC PAVING
- NEW LANDSCAPING



<div>ENGINEER'S SEAL</div> <div></div> <div>2/3/17</div> <div>DAVID SOULE P.E. #14522</div>	ST. MARTINS	DRAWN BY WCWJ
	TRAFFIC CIRCULATION LAYOUT	DATE 2-03-17
	<div>Rio Grande Engineering 1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999</div>	21703-LAYOUT-1-19-17
		SHEET #
		JOB # 21703