

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

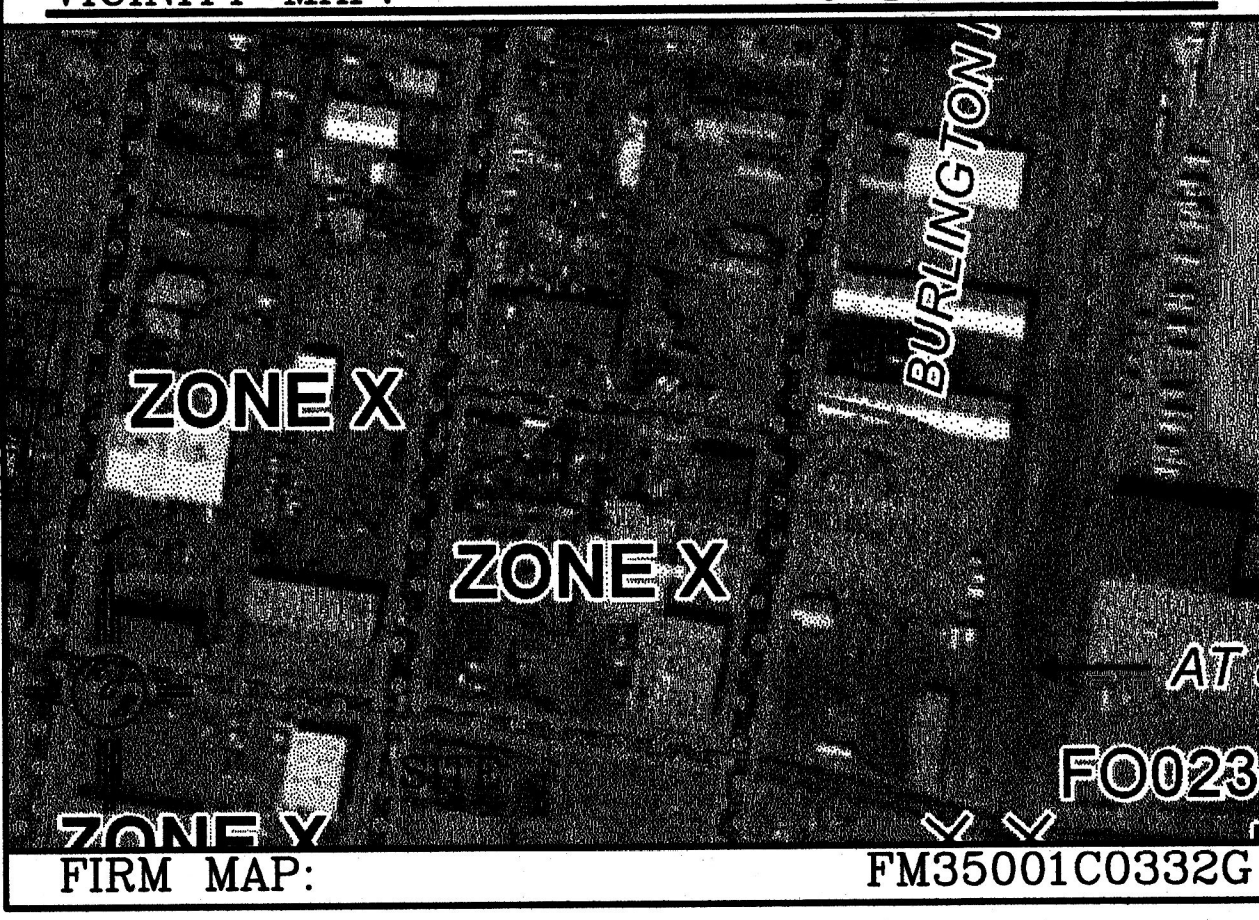
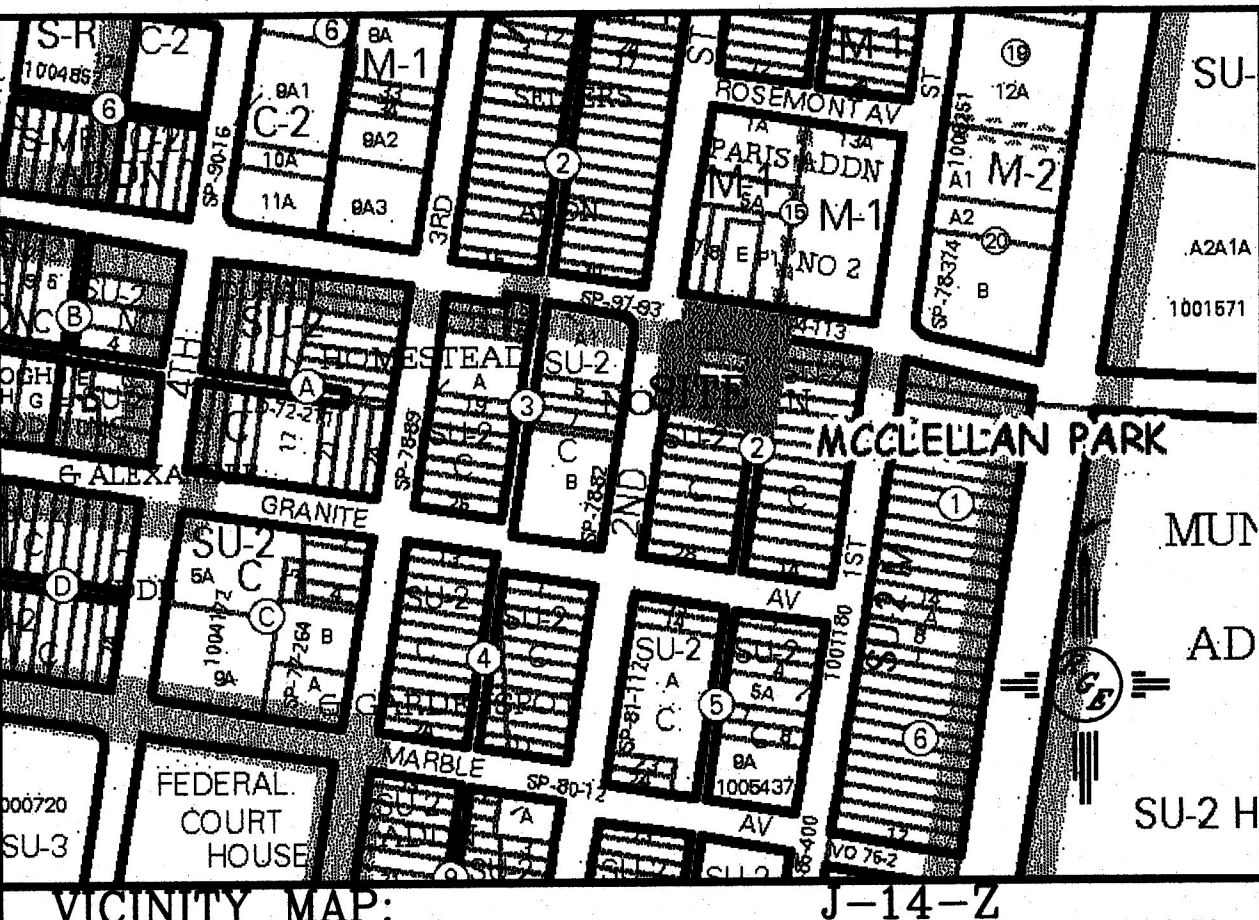
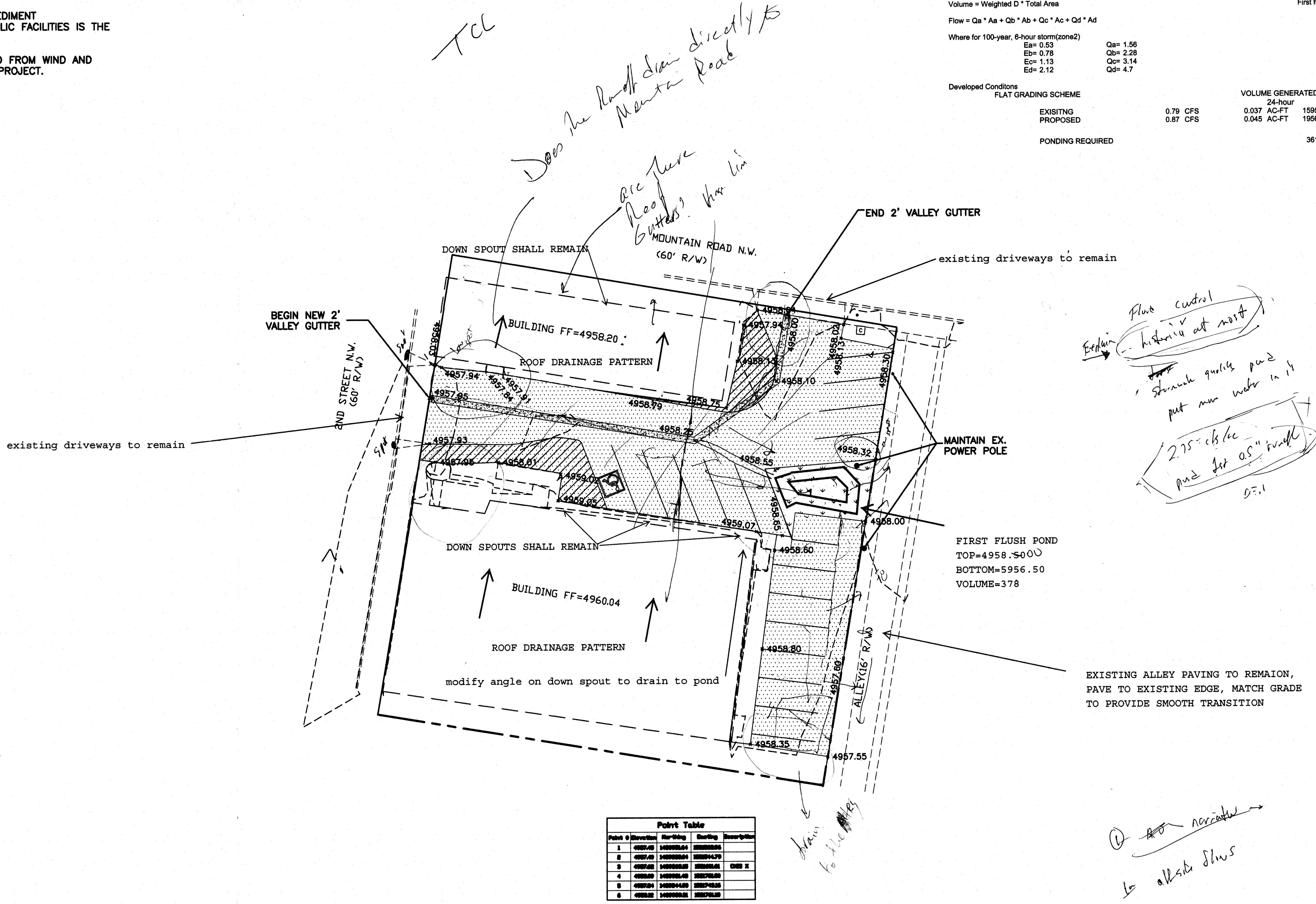
Weighted E Method											
Basin	Area (sf)	Area (acres)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow (cfs)	Volume (ac-ft)	Flow (cfs)
Existing	8410.00	0.193	0%	0%	0%	0%	0.000	40%	0.077	60%	0.118
proposed	8410.00	0.193	0%	0%	0%	0%	0.000	(13%)	0.025	(87%)	0.168
comparison	0.00	0.000	0%	0%	0%	0%	0.000	-27%	-0.052	27%	0.052

Equations:
Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)
Volume = Weighted E * Total Area
Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad
Where for 100-year, 6-hour storm (zone2)
Ea= 0.53 Qa= 1.56
Eb= 0.78 Qb= 2.28
Ec= 1.13 Qc= 3.14
Ed= 2.12 Qd= 4.7

Developed Conditions
FLAT GRADING SCHEME
EXISTING PROPOSED
PONDING REQUIRED

VOLUME GENERATED
24-hour
1595.09667 CF
1966.51642 CF
361.41975

First flush requirement 207.3065 cubic feet

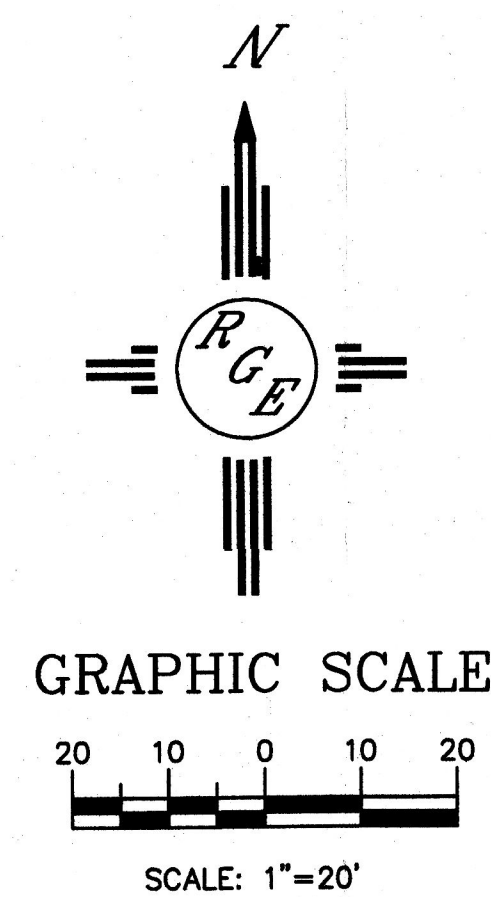


LEGAL DESCRIPTION:
LOTS 15-19 HOMESTEAD ADDITION

- NOTES:
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND	
---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
---	SLOPE TIE
---	EXISTING SPOT ELEVATION
---	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY
---	PROPOSED CURB
---	EXISTING CURB AND GUTTER
---	PROPOSED SIDEWALK
---	EXISTING SIDEWALK
---	PROPOSED RETAINING WALL (SEE STRUCTURAL DRAWINGS)
---	2' CONCRETE VALLEY GUTTER
---	NEW 3" AC PAVING
---	NEW LANDSCAPING

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ENGINEER'S SEAL

DAVID SOULE
P.E. #14522

ST. MARTINS

GRADING AND DRAINAGE PLAN

Rio Grande Engineering
1808 CENTRAL AVENUE SE
SUITE 201
ALBUQUERQUE, NM 87108
(505) 872-0999

DRAWN BY WCWJ

DATE 2-03-17

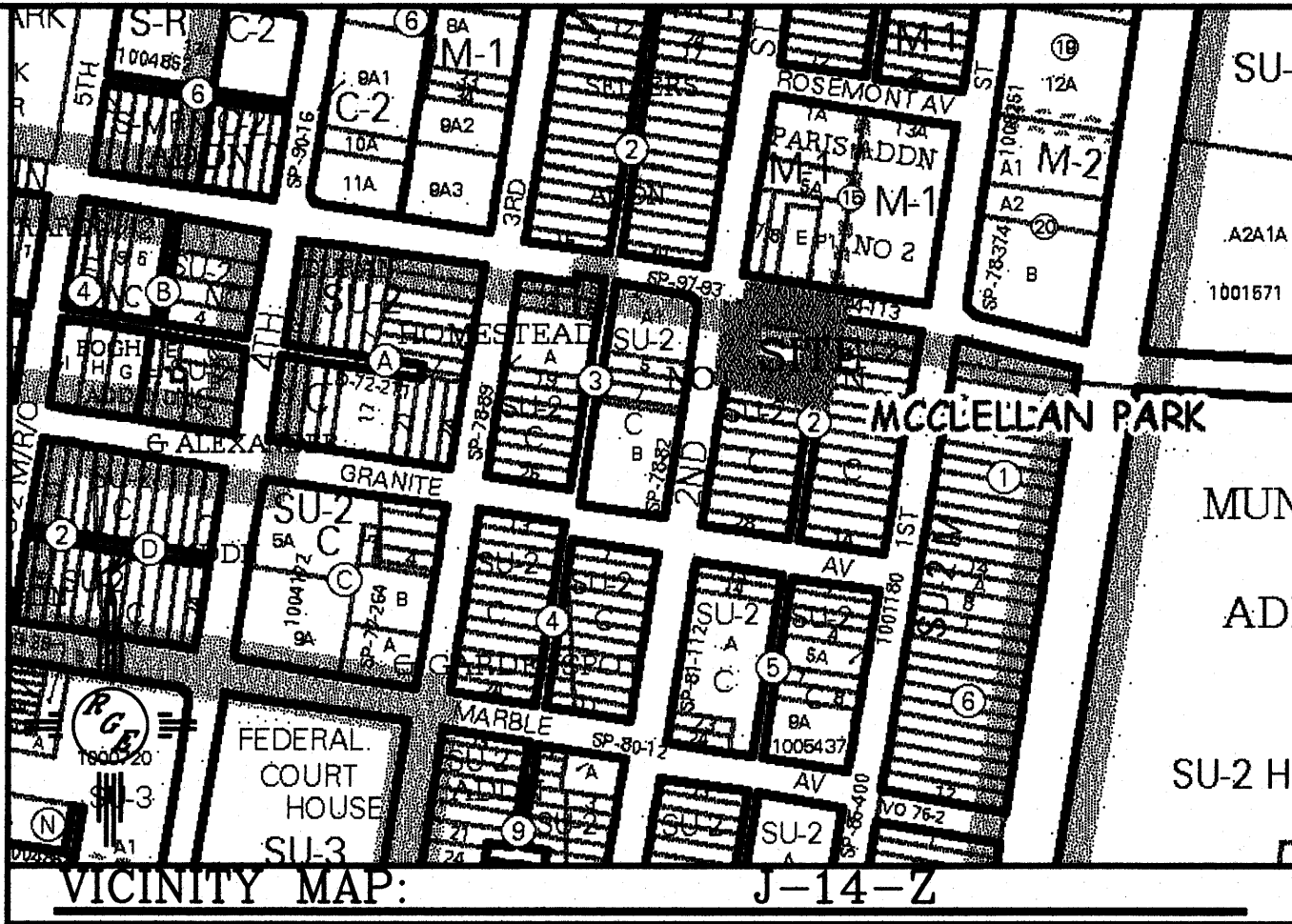
21703-LAYOUT-1-18-17

SHEET #

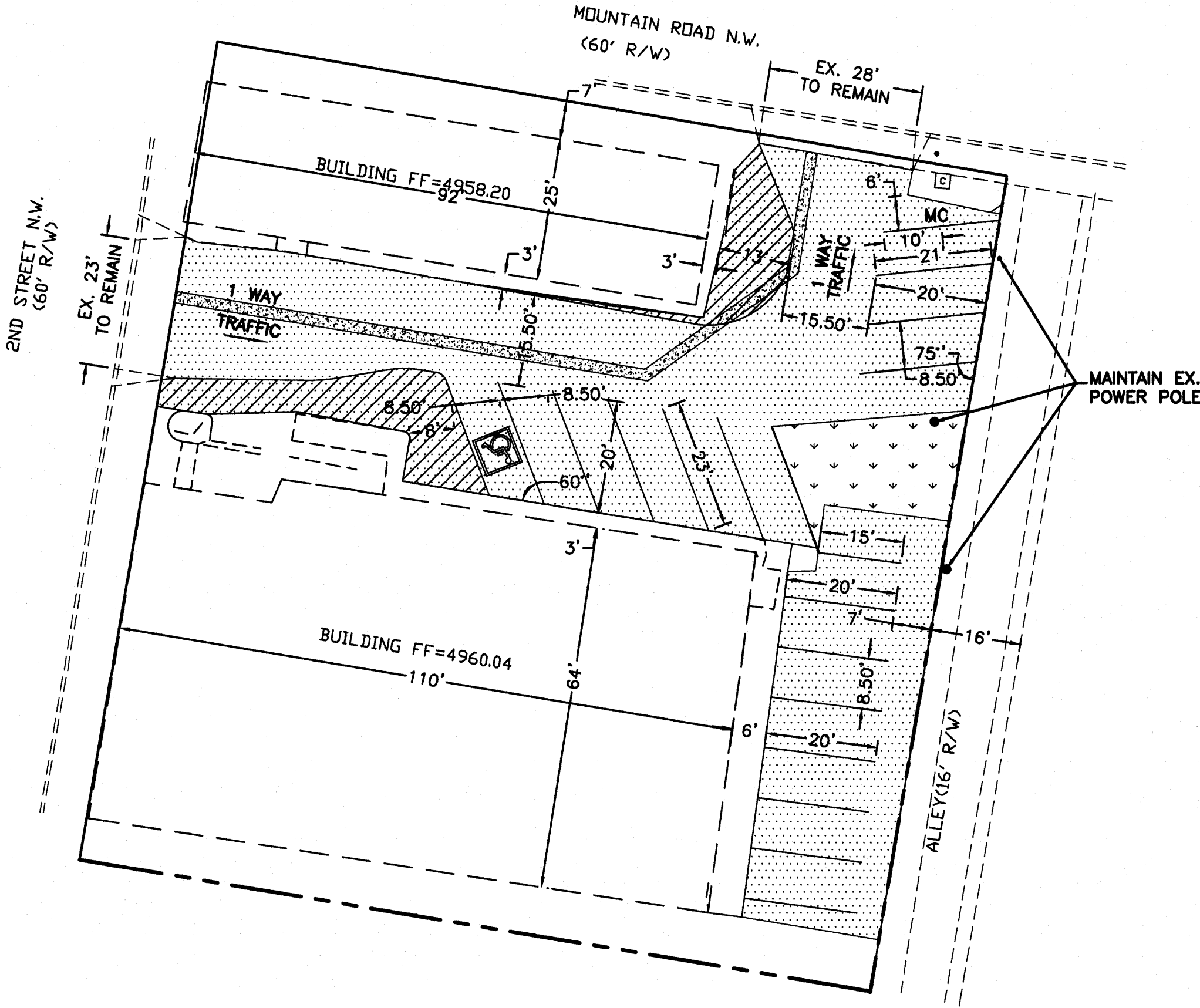
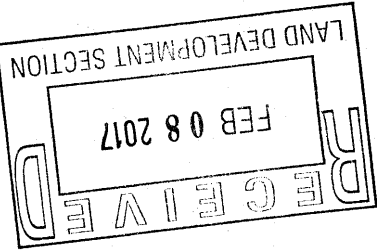
JOB # 21703

GENERAL NOTES

1. ALL DESIGN GRADES MEET COA DPM AND SHALL CONFORM TO APPROVED GRADING AND DRAINAGE PLAN, PRIOR TO CO.



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LOTS 15-19 HOMESTEAD ADDITION

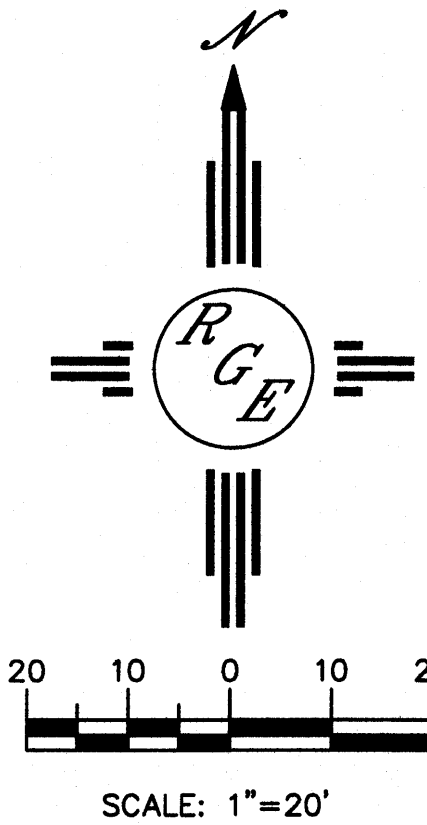


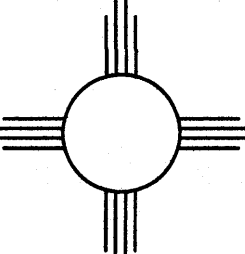
PARKING CALCULATIONS

PARKING PROVIDED = 17 SPACES (1 SMALL CAR)
ADA HC SPACES PROVIDED = 1 SPACE
NO NEW IMPROVEMENTS

LEGEND

- EXISTING CURB & GUTTER
- PROPOSED EDGE OF ASPHALT
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- RIGHT-OF-WAY
- 2' CONCRETE VALLEY GUTTER
- NEW 3" AC PAVING
- NEW LANDSCAPING



ENGINEER'S SEAL	ST. MARTINS	DRAWN BY WCWJ
	TRAFFIC CIRCULATION LAYOUT	DATE 2-03-17
2/3/17	 Rio Grande Engineering 1806 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0998	21703-LAYOUT-1-18-17
DAVID SOULE P.E. #14522		SHEET # JOB # 21703