

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 27, 2023

Robert Fierro, P.E.
Fierro & Company
6300 Montano Rd. NW
Albuquerque, NM 87120

**RE: NM Beef Jerky– Parking Lot
Grading and Drainage Plans
Engineer's Stamp Date: 11/15/23
Hydrology File: J14D185**

Dear Mr. Fierro:

Based upon the information provided in your submittal received 11/19/2023, the Grading & Drainage Plans are approved for Grading Permit, Paving Permit, and SO-19 Permit. Once the grading and paving of the project is complete, please provide an as-built for the City's records since there is no CO attached to the project.

Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

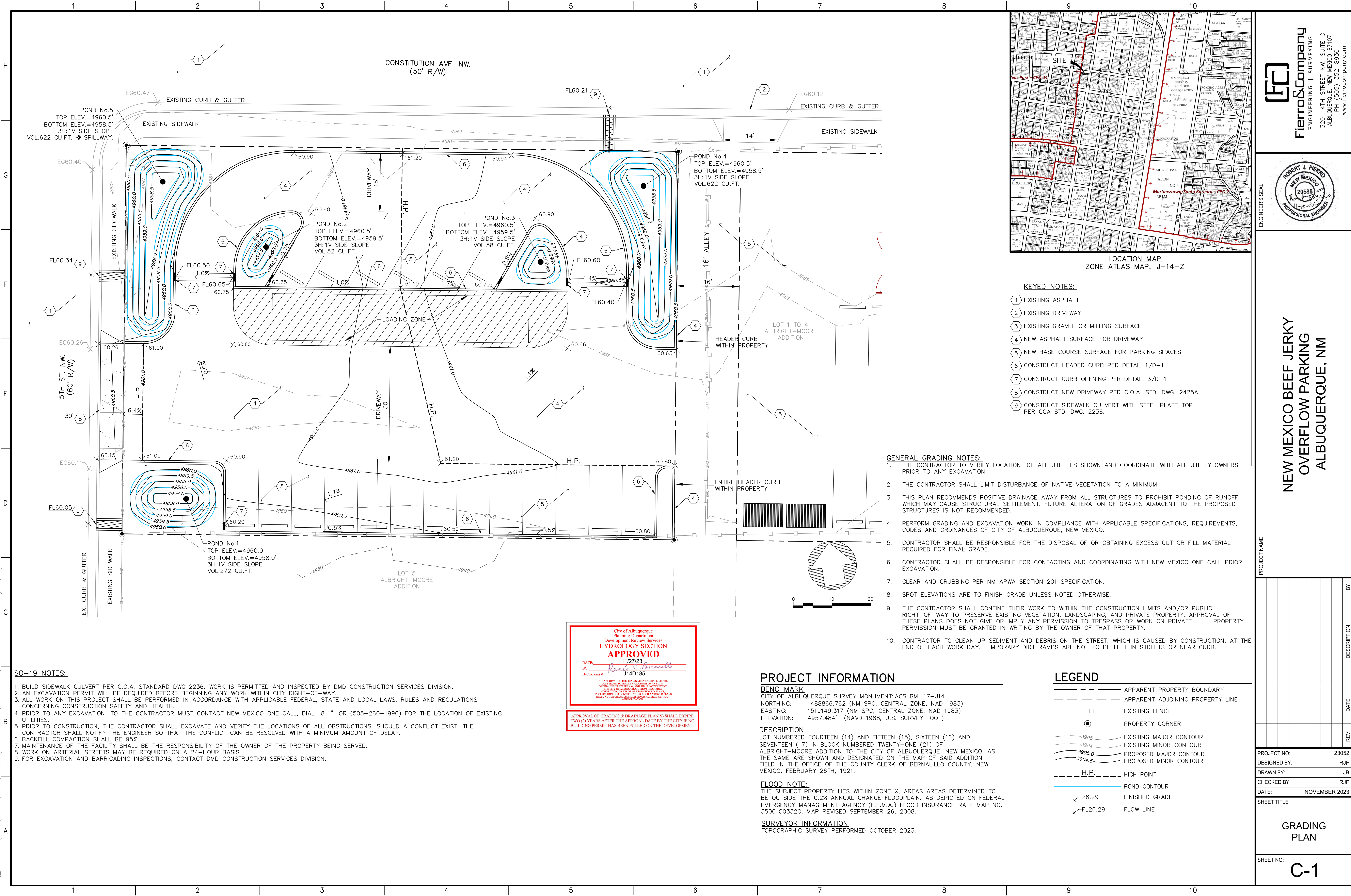
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

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**Fierro & Company**
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PH (505) 352-8930
www.fierrocompany.com

**ROBERT J. FIERRO**
NEW MEXICO
20585
11-15-2025
PROFESSIONAL ENGINEER

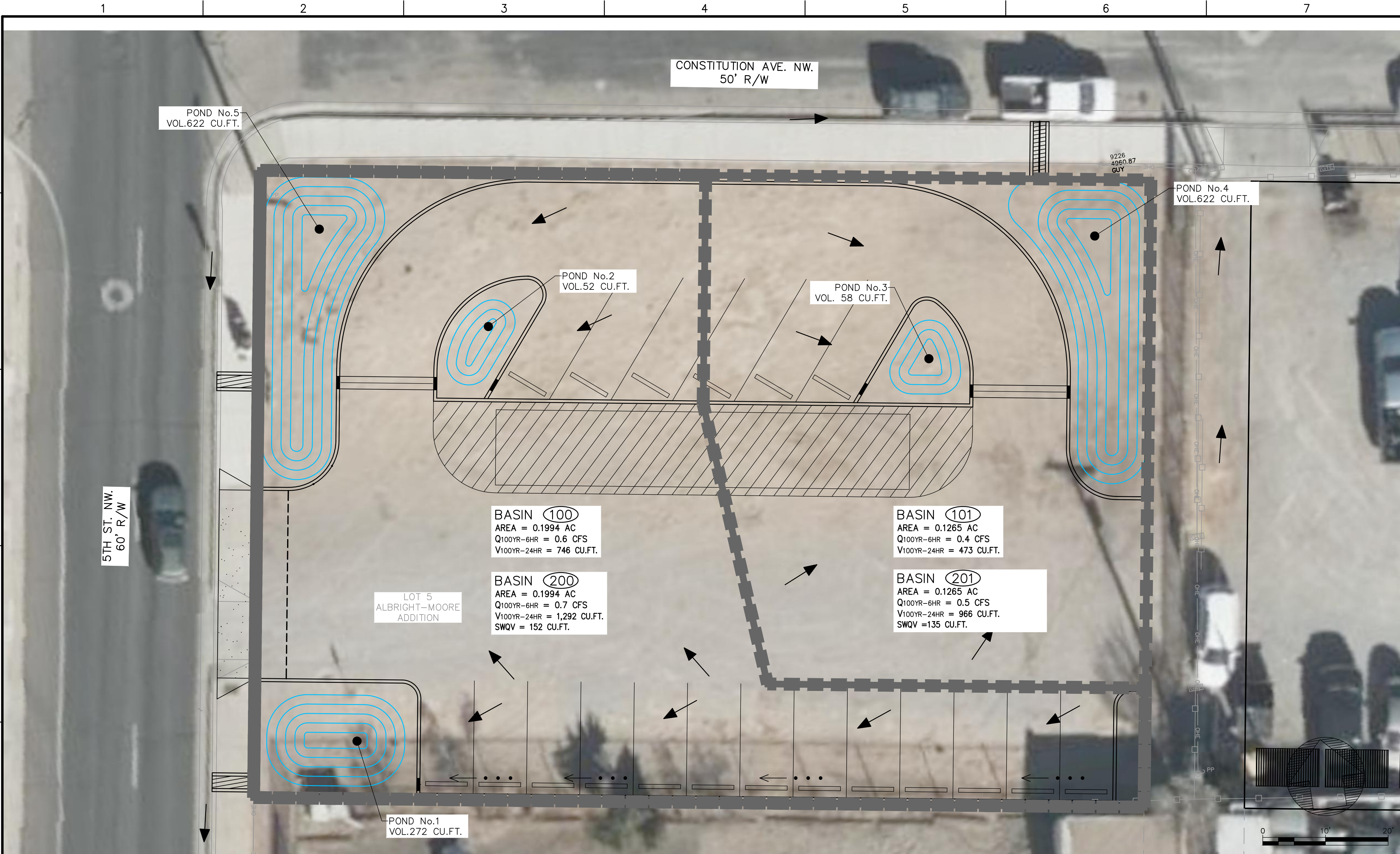
NEW MEXICO BEEF JERKY
OVERFLOW PARKING
ALBUQUERQUE, NM

PROJECT NAME

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 23052
DESIGNED BY: RJF
DRAWN BY: JB
CHECKED BY: RJF
DATE: NOVEMBER 2023
SHEET TITLE
GRADING PLAN
SHEET NO:
C-1

P:_PROJECTS\2023\23052\CADD\PROJECTS\23052\DRAINAGE\PLAN.dwg 11/15/2023 3:12:50 PM



BASIN MAP

HYDROLOGY SUMMARY								
BASIN	Total Area (acres)	Land Treatment (%)				Q ₁₀₀ (cfs)	V _{100yr-24hr} (cf)	V _{SWQ} (cu-ft)
		A	B	C	D			
100	0.1994	0.0	0.0	100.0	0.0	0.6	746	N/A
101	0.1265	0.0	0.0	100.0	0.0	0.4	473	N/A
200	0.1994	0.0	20.0	30.0	50.0	0.7	1292	152
201	0.1265	0.0	20.0	10.0	70.0	0.5	966	135

HYDROLOGY SUMMARY

PROPOSED DETENTION POND REQUIRED VOLUME:

TOTAL REQUIRED STORAGE VOL. PRIOR TO DISCHARGING TO 5TH STREET
= (Basin 200 Vol. - Basin 100 Vol.) + SWQV
= (1292 cu.ft. - 746 cu.ft. + 152 cu.ft.) = 698 cu.ft.

VOLUME PROVIDE (946 cu.ft.) > VOLUME REQUIRED (698 cu.ft.)

TOTAL REQUIRED STORAGE VOL. PRIOR TO DISCHARGING TO CONSTITUTION AVE.
= (Basin 201 Vol. - Basin 101 Vol.) + SWQV
= (966 cu.ft. - 473 cu.ft. + 135 cu.ft.) = 628 cu.ft.

VOLUME PROVIDE (680 cu.ft.) > VOLUME REQUIRED (626 cu.ft.)

PONDING STORAGE REQUIREMENT IS MET.

DETENTION POND REQUIREMENTS

Introduction

The site is located at the SW intersection of Constitution Ave NW and 5th Street, and is 0.326 acres. This property is a vacant lot and is used by NM Beef Jerky Company for overflow parking. The purpose of this Grading & Drainage Plan is to 1) provide hydrologic and hydraulic analysis of the existing and proposed condition, 2) satisfy allowable stormwater discharge rates, and 4) seek approval for paving permit.

Methodology

Hydrologic procedures presented in the Hydrology Section of the DMP, Article 6-2(a), approved June 8, 2020 were followed. Precipitation Zone 2 data was used in the hydrologic computations.

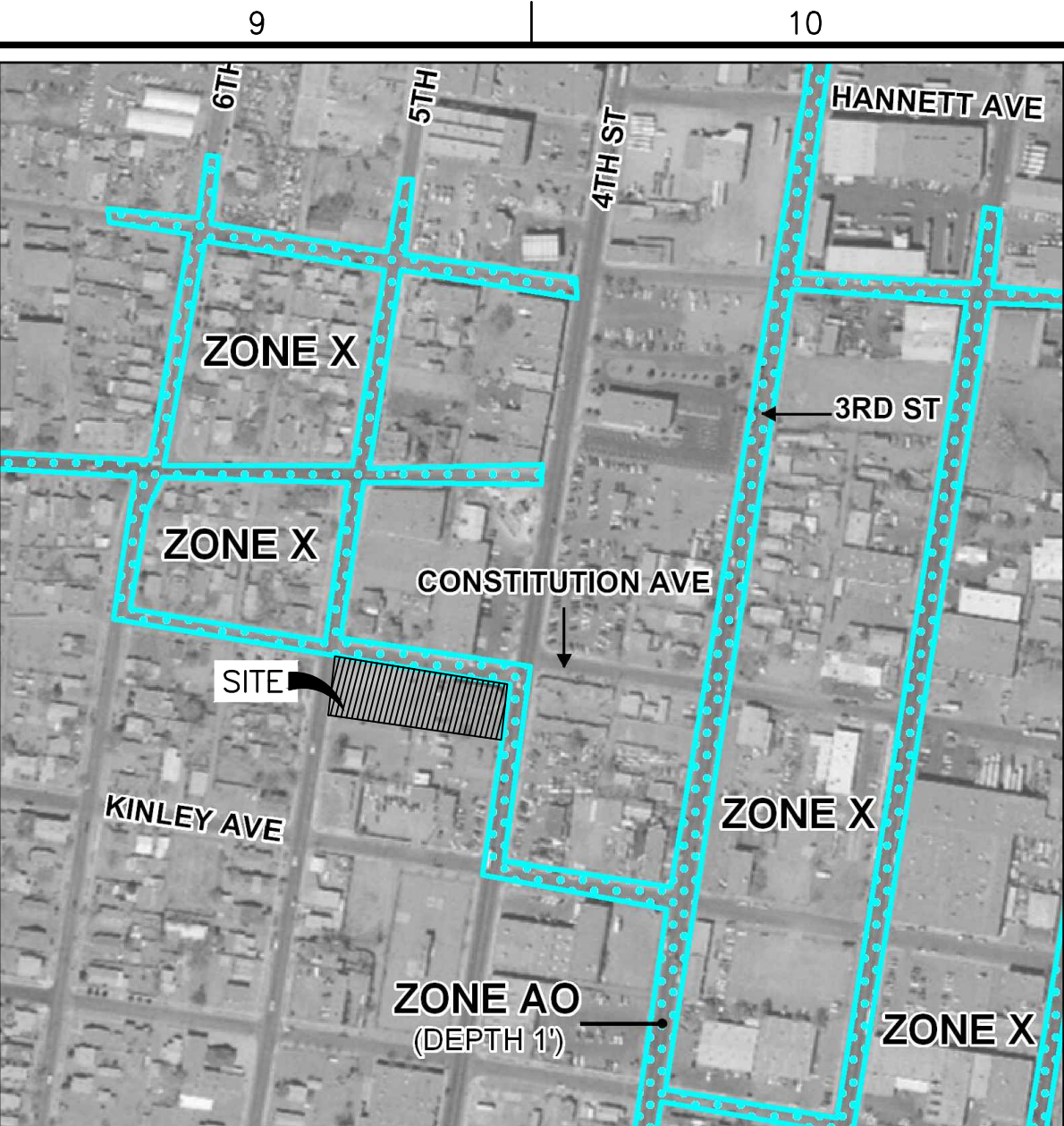
Existing Condition

The site is flat with slopes less than 0.5%. Runoff from the site discharges to Constitution Ave NW and 5th Street NW. as shown hereon. The vacant site is used as overflow parking by NM Beef Jerky Company located East of the 16-foot alley. The existing surface is compacted sub-grade.

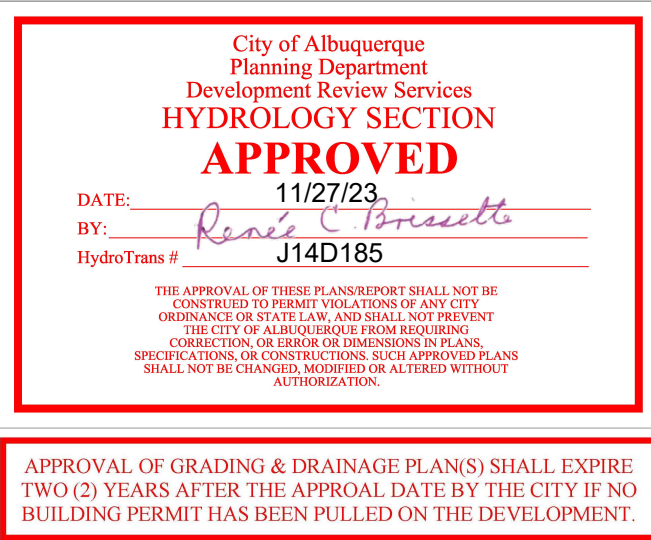
Proposed Condition

The site is proposed to remain a parking lot. The driveways are proposed to be paved with asphalt and the parking spaces are proposed to be compacted base course. There are 5 ponds proposed to retain the increased runoff from the 100-year, 24-hour storm plus the storm water quality volume. Drainage patterns will remain the same.

DRAINAGE REPORT



FLOOD INSURANCE RATE MAP
MAP NO. 35001C0332G
EFFECTIVE DATE: 09/26/2008



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ENGINEER'S SEAL

PROJECT NAME

NEW MEXICO BEEF JERKY
OVERFLOW PARKING
ALBUQUERQUE, NM

PROJECT NO. 23052
DESIGNED BY: R/JF
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SHEET NO:
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