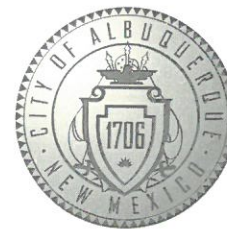


CITY OF ALBUQUERQUE

Planning Department
David S. Campbell, Director



Timothy M. Keller, Mayor

April 5, 2018

Reza Afaghpour, P.E.
SBS Construction and Engineering
10209 Snowflake Ct., NW,
Albuquerque, NM 87114

RE: **Commercial Addition, Lot 5-A, 11-A, 13-A, & 15-A, Block 2**
Grading and Drainage Plan
Engineer's Stamp Date 3/28/2018 (J14D186)

Dear Mr. Afaghpour:

Based upon the information provided in your submittal received 3/30/2018, the above referenced plan is approved for Preliminary Plat and Work Order.

Please include the plan in the Work Order plan set and label the sheet "For Information Only". The construction plans must include more specific construction notes including, removal notes, inlet types, typical sections, and pipe lengths and slopes.

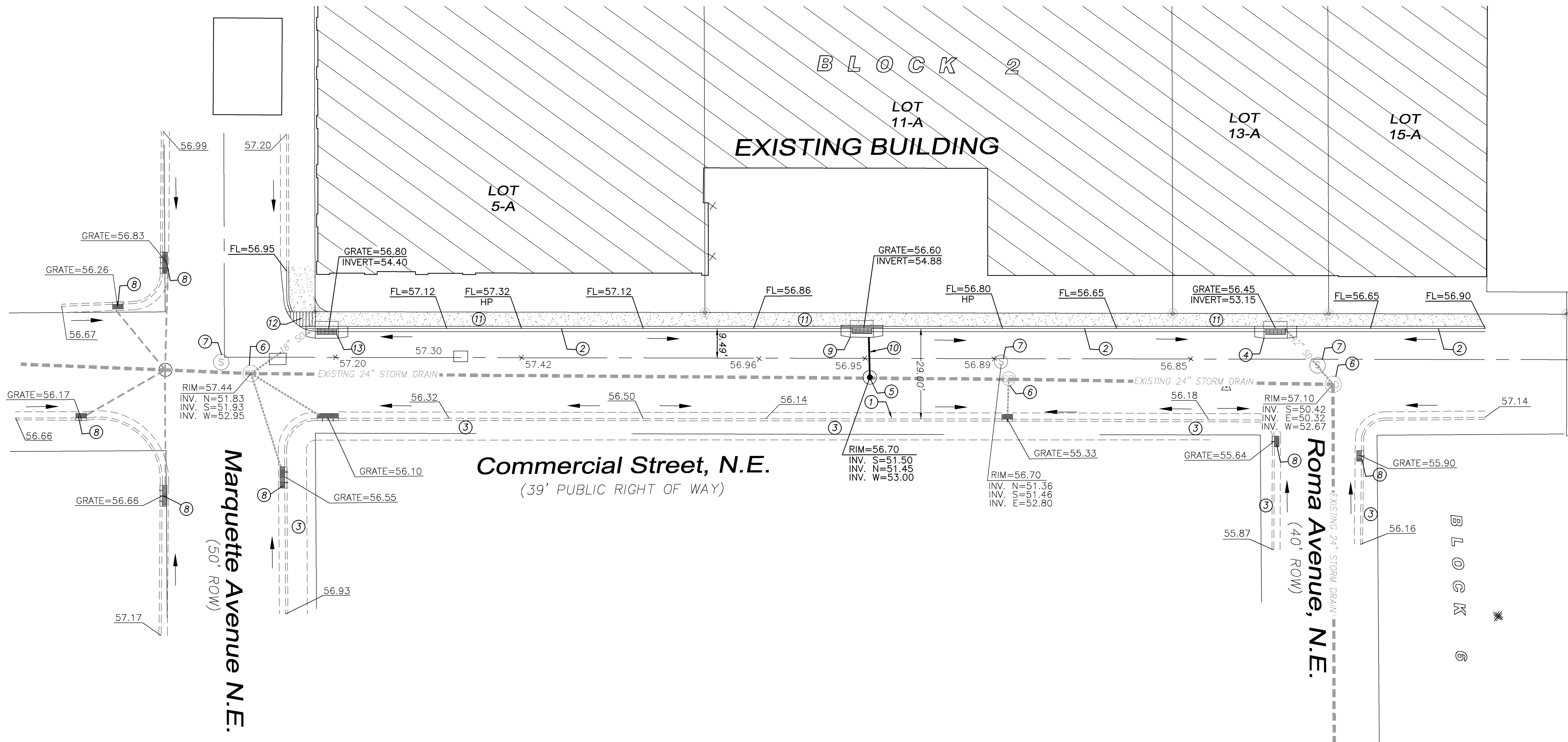
An Engineer Certification per the DPM checklist will be required prior to release of Financial Guarantees.

If you have any questions, you can contact me at 924-3986.

Sincerely,

James D. Hughes, P.E.
Principal Engineer, Planning Dept.
Development Review Services

Orig: Drainage file



VICINITY MAP: J-14-Z

LEGAL DESCRIPTION:
LOTS 5-A, 11-A, 13-A AND 15-A, BLOCK 2, COMMERCIAL ADDITION
CONTAINING 1.598 ACRE
ADDRESS: 523-573 COMMERCIAL STREET NE

- GENERAL NOTES:**
- 1: CONTOUR INTERVAL IS HALF (1.00) FOOT.
 - 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 18-K14, HAVING AN ELEVATION OF 4963.415 FEET ABOVE SEA LEVEL.
 - 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 - 4: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
 - 5: SLOPES ARE AT 3:1 MAXIMUM.

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL FOR LOCATING SERVICE, 260-1990 OR "811", FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

Location
LOT'S 5-A, 11-A, 13-A AND 15-A, BLOCK 2, COMMERCIAL ADDITION is located at 523-573 Commercial Street NE, containing 1.3776 acre. See attached portion of Vicinity Map J-14-Z for exact location.

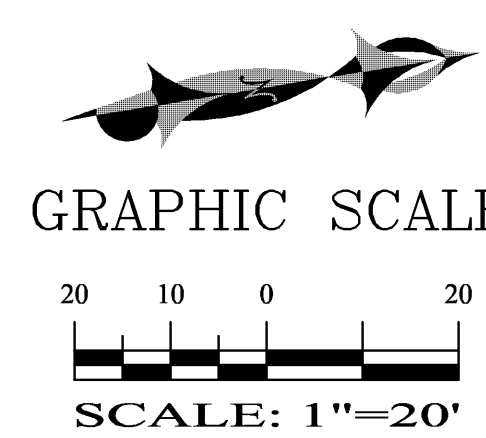
Purpose
The purpose of this grading plan is to show the proposed curb and gutter for Commercial Street, NE with seven (7) vacated right-of-way on the west side and present the new grades for the new proposed street section.

Existing Drainage Conditions
The water currently drains from center of Commercial Street to the west and east and into existing drop inlets along the street. There are no other off-site water entering this portion of the street. There are existing drop inlets basically on each intersection, please see grading plan for reference.

Proposed Conditions
We are not changing any drainage patterns on Commercial Street. This grading plan is showing the new curb and gutter along the west side of street for the seven (7) feet vacated portion of Commercial Street, NE. We are relocating the existing two drop inlets along the west side and constructing a new one.

- NOTES:**
1. EXISTING STANDARD CURBA AND GUTTER.
 2. PROPOSED MEDIAN CURB.
 3. EXISTING SIDEWALK.
 4. PROPOSED DROP INLET SINGLE "C" PER CITY STANDARD DWG. # 2205.
 5. PROPOSED STORM DRAIN MANHOLE WITH GRATE RIM.
 6. EXISTING STORM SEWER MANHOLE TYP.
 7. EXISTING SANITARY SEWER MANHOLE, TYP.
 8. EXISTING DROP INLET, TYP.
 9. PROPOSED DROP INLET SINGLE "D" PER CITY STANDARD DWG. # 2206.
 10. PROPOSED 12" STORM DRAIN
 11. PROPOSED SIDEWALK
 12. PROPOSED WHEELCHAIR RAMP
 13. PROPOSED DROP INLET DOUBLE "C" PER CITY STANDARD DWG. # 2205.

LEGEND	
	EXISTING SAS MANHOLE
	EXISTING SD MANHOLE
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER LINE
	NEW CATCH BASIN
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED FLOWLINE ELEVATION
	EXISTING CENTERLINE GRADE
	EXISTING FLOWLINE ELEVATION
	HIGH POINT
	AS-BUILT GRADES
	AS-BUILT SPOT ELEVATIONS



SBS CONSTRUCTION AND ENGINEERING, LLC
10209 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

REZA AFAGHPOUR
P.E. #11814

Lots 5-A, 11-A, 13-A and 15-A, Block 2 Commercial Addition GRADING PLAN			
DRAWING: 201622-GD.DWG	DRAWN BY: SH-B	DATE: 3/25/2017	SHEET # 1

LAST REVISION: 9-2-2017