



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

**Project Title:** Lots 5-A, 11-A, 13-A, 15-A, Block 2, Commercial Add. Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_

DRB#: 1011039 EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Lots 1 thru 15, Block 2, Commercial Addition TBK Lots 5-A, 11-A, 13-A, 15-A, Block 2

City Address: 523-573 Commercial Street, NE

**Applicant:** SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR

Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114

Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@AOL.COM

**Other Contact:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☒ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☒ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

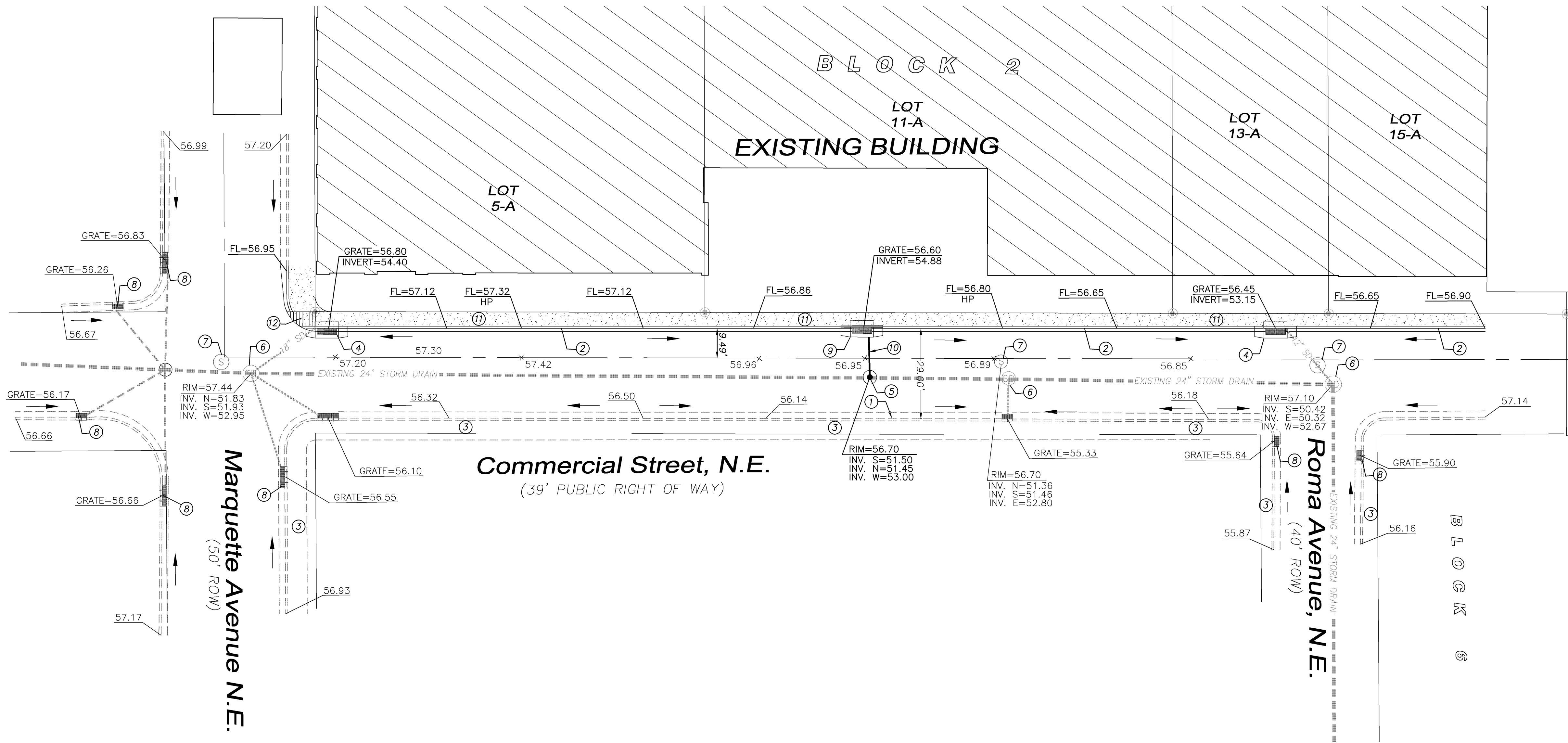
### PRE-DESIGN MEETING?

☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 9-5-2017 By: SHAWN BIAZAR

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



VICINITY MAP: J-14-Z

LEGAL DESCRIPTION:  
LOTS 5-A, 11-A, 13-A AND 15-A, BLOCK 2, COMMERCIAL ADDITION  
CONTAINING 1.598 ACRE  
ADDRESS: 523-573 COMMERCIAL STREET NE

- GENERAL NOTES:
- 1: CONTOUR INTERVAL IS HALF (1.00) FOOT.
  - 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 18-K14, HAVING AN ELEVATION OF 4963.415 FEET ABOVE SEA LEVEL.
  - 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
  - 4: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
  - 5: SLOPES ARE AT 3:1 MAXIMUM.

- NOTICE TO CONTRACTORS
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
  2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL FOR LOCATING SERVICE, 260-1990 OR "811", FOR LOCATION OF EXISTING UTILITIES.
  4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
  6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

**Location**  
LOT'S 5-A, 11-A, 13-A AND 15-A, BLOCK 2, COMMERCIAL ADDITION is located at 523-573 Commercial Street NE, containing 1.3776 acre. See attached portion of Vicinity Map J-14-Z for exact location.

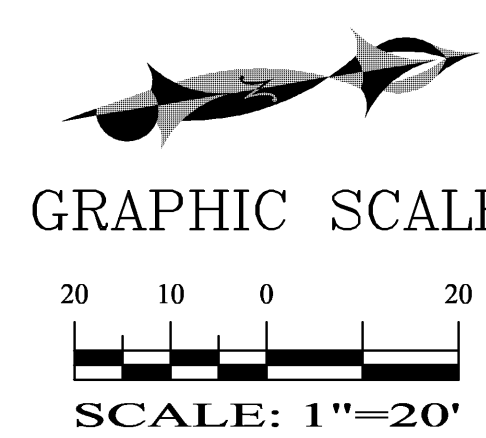
**Purpose**  
The purpose of this grading plan is to show the proposed curb and gutter for Commercial Street, NE with seven (7) vacated right-of-way on the west side and present the new grades for the new proposed street section.

**Existing Drainage Conditions**  
The water currently drains from center of Commercial Street to the west and east and into existing drop inlets along the street. There are no other off-site water entering this portion of the street. There are existing drop inlets basically on each intersection, please see grading plan for reference.

**Proposed Conditions**  
We are not changing any drainage patterns on Commercial Street. This grading plan is showing the new curb and gutter along the west side of street for the seven (7) feet vacated portion of Commercial Street, NE. We are relocating the existing two drop inlets along the west side and constructing a new one.

- NOTES:
1. EXISTING STANDARD CURBA AND GUTTER.
  2. PROPOSED MEDIAN CURB.
  3. EXISTING SIDEWALK.
  4. PROPOSED DROP INLET SINGLE "C" PER CITY STANDARD DWG. # 2205.
  5. PROPOSED STORM DRAIN MANHOLE.
  6. EXISTING STORM SEWER MANHOLE TYP.
  7. EXISTING SANITARY SEWER MANHOLE, TYP.
  8. EXISTING DROP INLET, TYP.
  9. PROPOSED DROP INLET SINGLE "D" PER CITY STANDARD DWG. # 2206.
  10. PROPOSED 12" STORM DRAIN
  11. PROPOSED SIDEWALK
  12. PROPOSED WHEELCHAIR RAMP

- LEGEND
- EXISTING SAS MANHOLE
  - EXISTING SD MANHOLE
  - EX. 24" SD
  - EXISTING STORM SEWER
  - EX. 8" SAS
  - EXISTING SANITARY SEWER LINE
  - NEW CATCH BASIN
  - PROPOSED STORM DRAIN MANHOLE
  - PROPOSED FLOWLINE ELEVATION
  - EXISTING CENTERLINE GRADE
  - EXISTING FLOWLINE ELEVATION
  - HP
  - HIGH POINT
  - AS-BUILT GRADES
  - AS-BUILT SPOT ELEVATIONS



REZA AFAGHPOUR  
P.E. #11814  
9/05/2017  
LICENSED PROFESSIONAL ENGINEER

**SBS CONSTRUCTION AND ENGINEERING, LLC**  
10209 SNOWFLAKE CT., NW  
ALBUQUERQUE, NEW MEXICO 87114  
(505)899-5570

Lots 5-A, 11-A, 13-A and 15-A, Block 2 Commercial Addition GRADING PLAN			
DRAWING: 201622-GD.DWG	DRAWN BY: SH-B	DATE: 3/25/2017	SHEET # 1

LAST REVISION: 9-5-2017