

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



September 14, 2017

Reza Afaghpour, P.E.
SBS Construction and Engineering
10209 Snowflake Ct., NW,
Albuquerque, NM 87114

Richard J. Berry, Mayor

RE: Commercial Addition, **Lot 5-A, 11-A, 13-A, & 15-A, Block 2**
Grading and Drainage Plan
Engineer's Stamp Date 9/05/2017 (J14D186)

Dear Mr. Afaghpour:

Based upon the information provided in your submittal received 9/08/2017, the above referenced plan cannot be is approved for Grading Permit.

- The spot elevations of the new curb do not agree with the ALTA elevations. Show both the existing curb elevations and the new curb elevations adding more elevations from the ALTA.
- It further appears that the existing road has an inverted crown. A combination of new inlets and repaving of the street should be designed to eliminate any bird baths in the street.
- The south inlet should be a double C since that is what exists there now, and the other two inlets should be according to the approved infrastructure list.

Please resubmit the corrected G&D plan to hydrology prior to submitting plans to DRC for Work Order.

An Engineer Certification per the DPM checklist will be required prior to release of Financial Guarantees.

If you have any questions, you can contact me at 924-3986.

Sincerely,

James D. Hughes, P.E.
Principal Engineer, Planning Dept.
Development Review Services

Orig: Drainage file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: Lots 5-A, 11-A, 13-A, 15-A, Block 2, Commercial Add. Building Permit #: _____ Hydrology File #: _____

DRB#: 1011039 EPC#: _____ Work Order#: _____

Legal Description: Lots 1 thru 15, Block 2, Commercial Addition TBK Lots 5-A, 11-A, 13-A, 15-A, Block 2

City Address: 523-573 Commercial Street, NE

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR

Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114

Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@AOL.COM

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☒ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

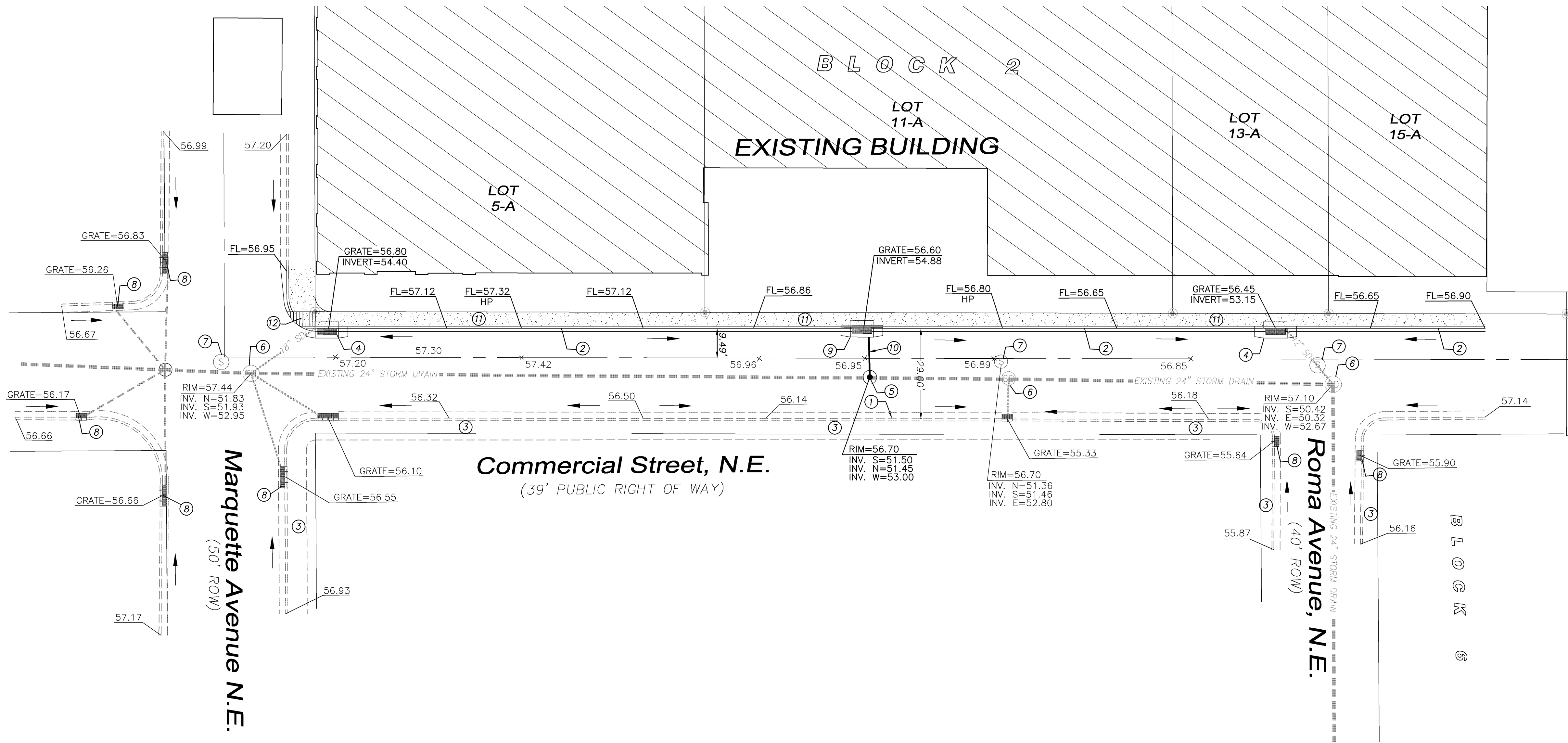
PRE-DESIGN MEETING?

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 9-5-2017 By: SHAWN BIAZAR

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



VICINITY MAP: J-14-Z

LEGAL DESCRIPTION:
LOTS 5-A, 11-A, 13-A AND 15-A, BLOCK 2, COMMERCIAL ADDITION
CONTAINING 1.598 ACRE
ADDRESS: 523-573 COMMERCIAL STREET NE

- GENERAL NOTES:**
- 1: CONTOUR INTERVAL IS HALF (1.00) FOOT.
 - 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 18-K14, HAVING AN ELEVATION OF 4963.415 FEET ABOVE SEA LEVEL.
 - 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 - 4: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
 - 5: SLOPES ARE AT 3:1 MAXIMUM.

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL FOR LOCATING SERVICE, 260-1990 OR "811", FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

Location
LOT'S 5-A, 11-A, 13-A AND 15-A, BLOCK 2, COMMERCIAL ADDITION is located at 523-573 Commercial Street NE, containing 1.3776 acre. See attached portion of Vicinity Map J-14-Z for exact location.

Purpose
The purpose of this grading plan is to show the proposed curb and gutter for Commercial Street, NE with seven (7) vacated right-of-way on the west side and present the new grades for the new proposed street section.

Existing Drainage Conditions
The water currently drains from center of Commercial Street to the west and east and into existing drop inlets along the street. There are no other off-site water entering this portion of the street. There are existing drop inlets basically on each intersection, please see grading plan for reference.

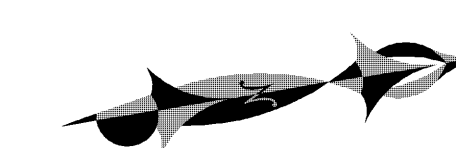
Proposed Conditions
We are not changing any drainage patterns on Commercial Street. This grading plan is showing the new curb and gutter along the west side of street for the seven (7) feet vacated portion of Commercial Street, NE. We are relocating the existing two drop inlets along the west side and constructing a new one.

NOTES:

1. EXISTING STANDARD CURBA AND GUTTER.
2. PROPOSED MEDIAN CURB.
3. EXISTING SIDEWALK.
4. PROPOSED DROP INLET SINGLE "C" PER CITY STANDARD DWG. # 2205.
5. PROPOSED STORM DRAIN MANHOLE.
6. EXISTING STORM SEWER MANHOLE TYP.
7. EXISTING SANITARY SEWER MANHOLE, TYP.
8. EXISTING DROP INLET, TYP.
9. PROPOSED DROP INLET SINGLE "D" PER CITY STANDARD DWG. # 2206.
10. PROPOSED 12" STORM DRAIN
11. PROPOSED SIDEWALK
12. PROPOSED WHEELCHAIR RAMP

LEGEND

	EXISTING SAS MANHOLE
	EXISTING SD MANHOLE
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER LINE
	NEW CATCH BASIN
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED FLOWLINE ELEVATION
	EXISTING CENTERLINE GRADE
	EXISTING FLOWLINE ELEVATION
	HIGH POINT
	AS-BUILT GRADES
	AS-BUILT SPOT ELEVATIONS



GRAPHIC SCALE

SCALE: 1"=20'



REZA AFAGHPOUR
P.E. #11814

**SBS CONSTRUCTION
AND ENGINEERING, LLC**

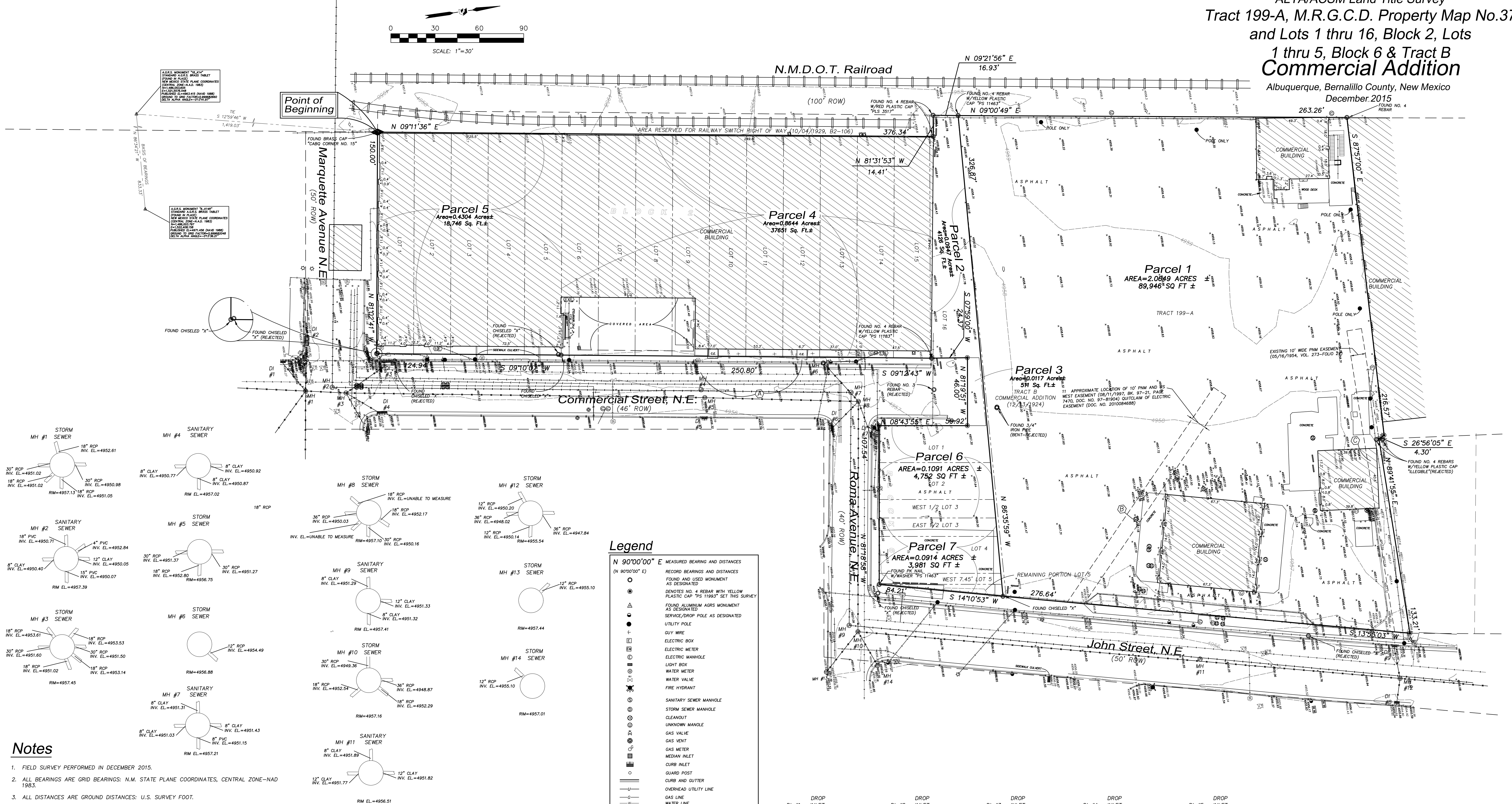
10209 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

**Lots 5-A, 11-A, 13-A and 15-A, Block 2
Commercial Addition
GRADING PLAN**

DRAWING: 201622-GD.DWG	DRAWN BY: SH-B	DATE: 3/25/2017	SHEET # 1
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LAST REVISION: 9-2-2017

ALTA/ACSM Land Title Survey
Tract 199-A, M.R.G.C.D. Property Map No.37
and Lots 1 thru 16, Block 2, Lots
1 thru 5, Block 6 & Tract B
Commercial Addition
Albuquerque, Bernalillo County, New Mexico
December 2015

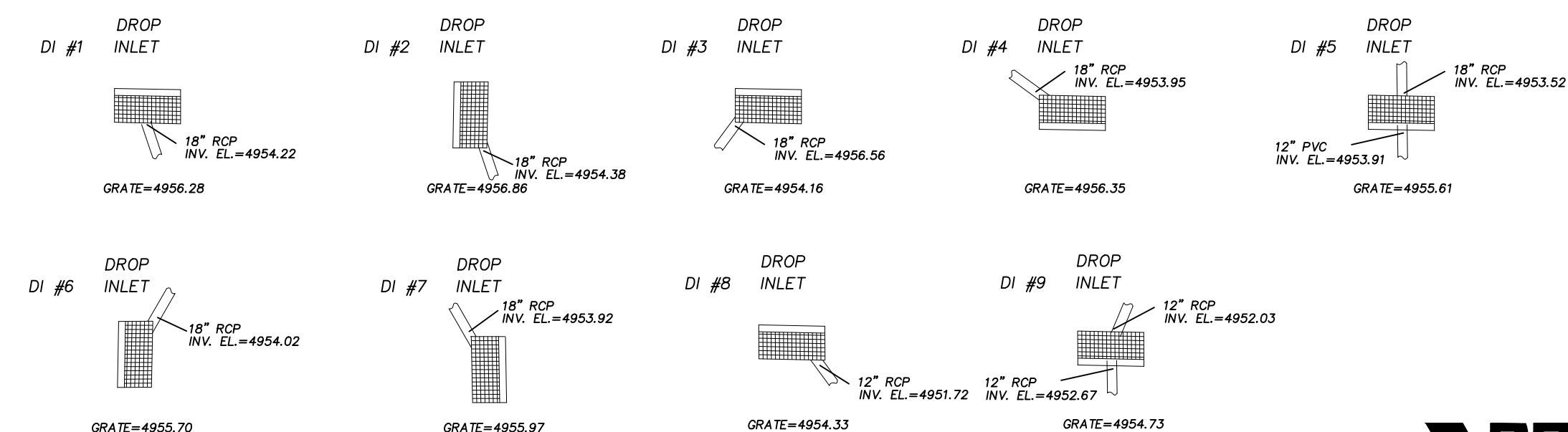


Notes

1. FIELD SURVEY PERFORMED IN DECEMBER 2015.
2. ALL BEARINGS ARE GRID BEARINGS: N.M. STATE PLANE COORDINATES, CENTRAL ZONE-NAD 1983.
3. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
4. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION OF ABOVE GROUND APPURTENANCES AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
5. THIS PROPERTY LIES WITHIN THE SECTION 17, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO, NEW MEXICO.
6. NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
7. NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION. NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
8. NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
9. EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED

Flood Note

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE(S) X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 35001C0334 G, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 26, 2008 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND ELEVATION CERTIFICATION MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.



PRECISION
SURVEYS, INC.

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
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505.856.5700 PHONE
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