

CITY OF ALBUQUERQUE



December 17, 2019

Jeffrey T. Wooten, PE
Wooten Engineering
1005 21st St. SE, Suite 13
Rio Rancho, NM 87124

Re: Tenant Improvements, BP-2017-30796, BP-2019-14734 & BP-2019-40288
1601 Commercial Rd NE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 5-10-19 (J14D187)
Certification dated 12-12-19

Dear Mr. Wooten

Based upon the information provided in your submittal received 12-12-19, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

Albuquerque

- Each Motorcycle parking space shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the IDO.
- Please remove construction debris and equipment.
- Please stripe ADA access aisle and add No Parking. (See attached photo)

NM 87103

Once these corrections are complete, email pictures showing the changes to PLNDRS@cabq.gov, and epgomez@cabq.gov, for release of final CO. for log in and evaluation by Transportation.

www.cabq.gov

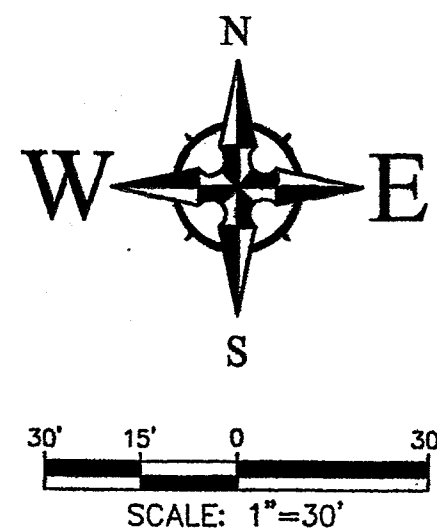
If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

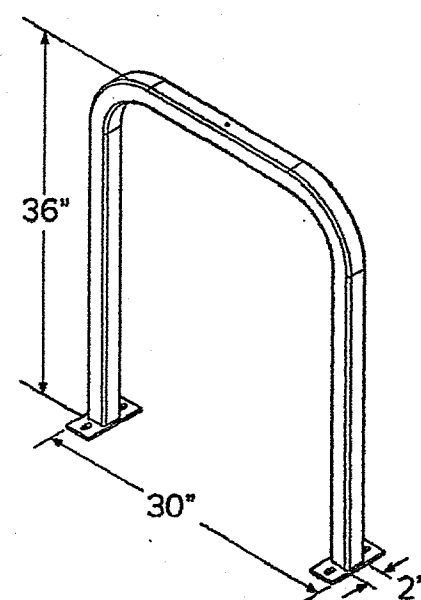
EG via: email
C: CO Clerk, File





CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



Dero 'Downtown Rack' Bike Rack
NTS

SITE PLAN CERTIFICATION

I, JEFFREY T. WOOTEN, NMPE 16892, OF THE FIRM WOOTEN ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED SITE PLAN DATED 5/10/2019. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JEFFREY T. WOOTEN, P.E. OF THE FIRM WOOTEN ENGINEERING. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 12/12/2019 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SITE IMPROVEMENTS BUILT ARE REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY (PERMANENT C.O.).

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE SITE IMPROVEMENTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JEFFREY T. WOOTEN, NMPE 16892



Fence & Gate Relocated per Approved Fire 1 Plan Dated 8/15/19.

EXISTING COMMERCIAL BUILDING
1601 COMMERCIAL RD. N.E.
±78,019 SF
FFE=±4966.94

Parking Adjusted 3 Spaces (-1)

6 BICYCLE PARK SPACES Relocated Here.

Parking Adjusted 5 Spaces (+1)

EXISTING COMMERCIAL BUILDING
±5,000 SF

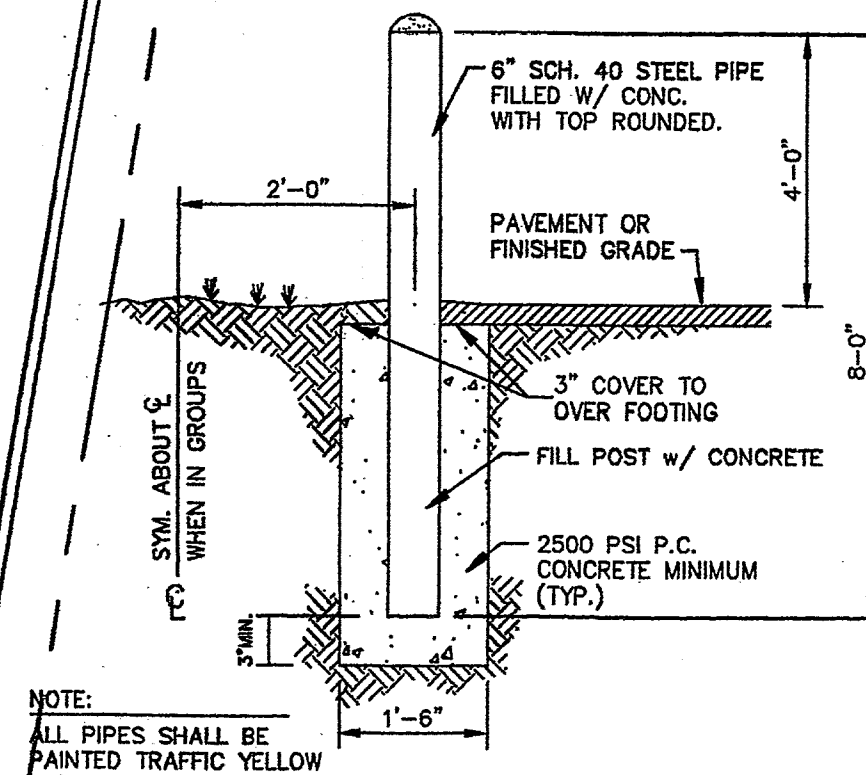
1601 COMMERCIAL ST. N.E.
(80' R/W)

KEYED NOTES

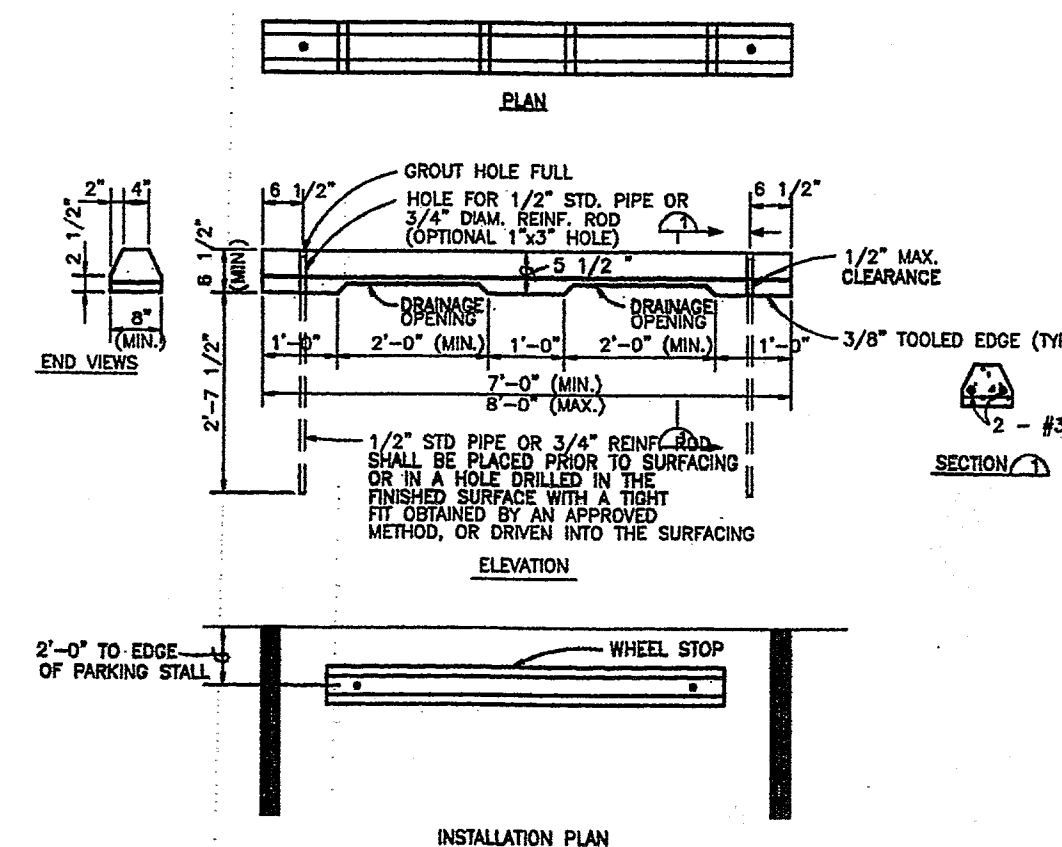
- EXISTING DUMPSTERS AND STORAGE AREA.
- EXISTING DRIVE PAD.
- ASPHALT ADA PARKING AREA LEVEL WITH CONCRETE. NO RAMP REQUIRED. MAXIMUM 1/2" VERTICAL DEFLECTION ALLOWED PER ADA.
- EXISTING CONCRETE SIDEWALK.
- EXISTING ASPHALT PAVEMENT.
- INSTALL 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPES, SPACED AT 1'-6" (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). MIN. 2 COATS. INSTALL THE WORDS 'NO PARKING' AS SHOWN WITH LETTERS AT LEAST ONE FOOT HIGH AND TWO INCHES WIDE. MIN. 2 COATS.
- INSTALL H/C SIGNAGE PER DETAIL THIS SHEET. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."
- PAINTED INTERNATIONAL WHEELCHAIR SYMBOL (BLUE) PER ADA STANDARDS. MIN. TWO COATS.
- INSTALL 4" WIDE PAINT STRIPES (WHITE) FOR PARKING SPACES AS SHOWN. MIN. 2 COATS.
- NEW PARKING SPACES DELINEATED BY WHEEL STOPS. NO PARKING STRIPES TO BE INSTALLED.
- BIKE RACK PER DETAIL THIS SHEET (6 RACKS FOR 12 SPACES)
- MOTORCYCLE PARKING AREA; 3 SPACES. ADD PAINT LABELS (2 COATS) AND SIGNAGE PER COA REQUIREMENTS.
- INSTALL PRE-CAST WHEELSTOPS PER DETAIL THIS SHEET.
- EXISTING FLAG POLE TO REMAIN.
- EXISTING CHAIN LINK FENCE.
- EXISTING VEHICULAR GATE.
- EXISTING DRAIN BASIN
- ADA RAMP TO BUILDING
- INSTALL 1" WIDE PAINT STRIPES (WHITE) FOR ON STREET PARKING SPACES. MIN. 2 COATS.
- INSTALL NEW PRIVATE FIRE HYDRANT PAINTED SAFETY ORANGE WITH 6" GATE VALVE PER COA STD DWGS. INSTALL 2 6" BOLLARDS TO PROTECT FIRE HYDRANT PER DETAIL THIS SHEET.
- REFERENCE APPROVED FIRE 1 PLAN FOR FINAL LOCATION OF FIRE LANES.
- INSTALL MEDIAN CURB AND GUTTER PER COA STD DWG 2415B.

PARKING CALCULATIONS

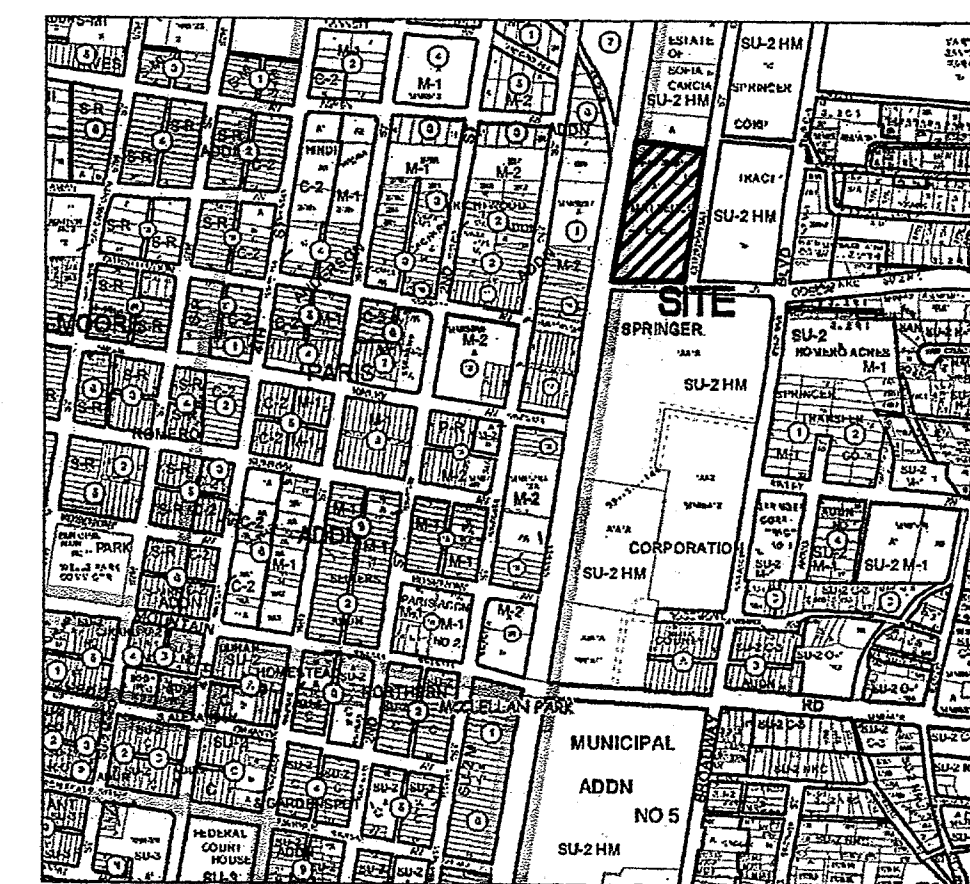
PARKING REQUIREMENTS:	AREA (SF)	REQUIRED	PROVIDED
OFFICE (3.5/1000 SF)	12,028	42.1 spaces	
INDUSTRIAL-LM (1.0/1000 SF)	68,311	68.3 spaces	
TOTAL (ON-SITE)		111 spaces	115 spaces
		REQUIRED	PROVIDED
HANDICAP PARKING	5 spaces (1 Van)	5 spaces (1 Van)	8 spaces (1 Van)
MOTORCYCLE PARKING	4 spaces	4 spaces	4 spaces
BICYCLE PARKING	12 spaces	12 spaces	12 spaces



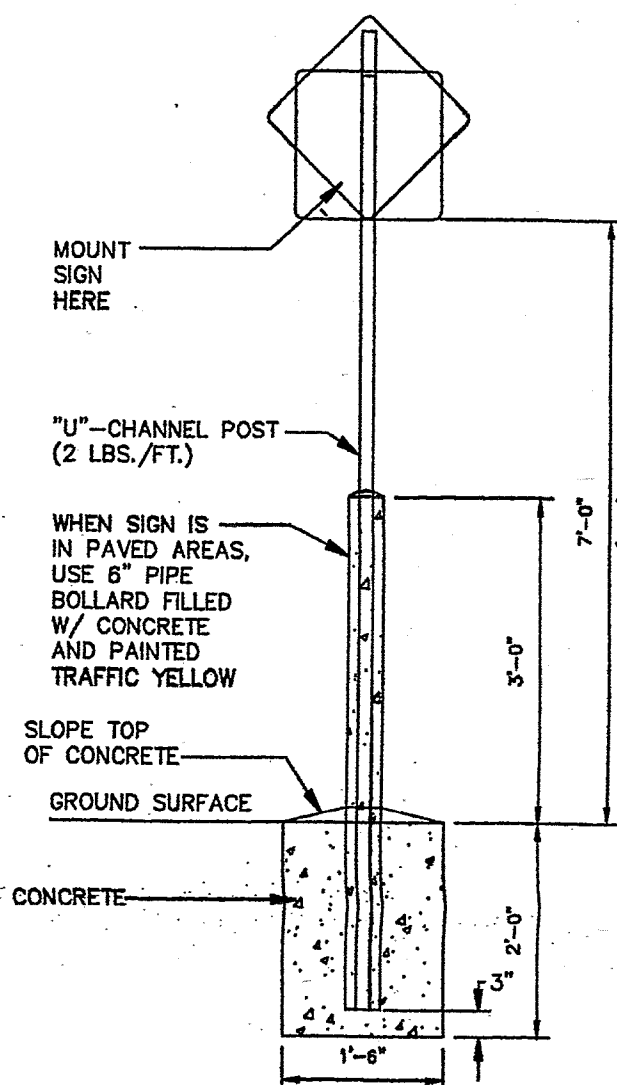
Pipe Bollard Detail
NTS



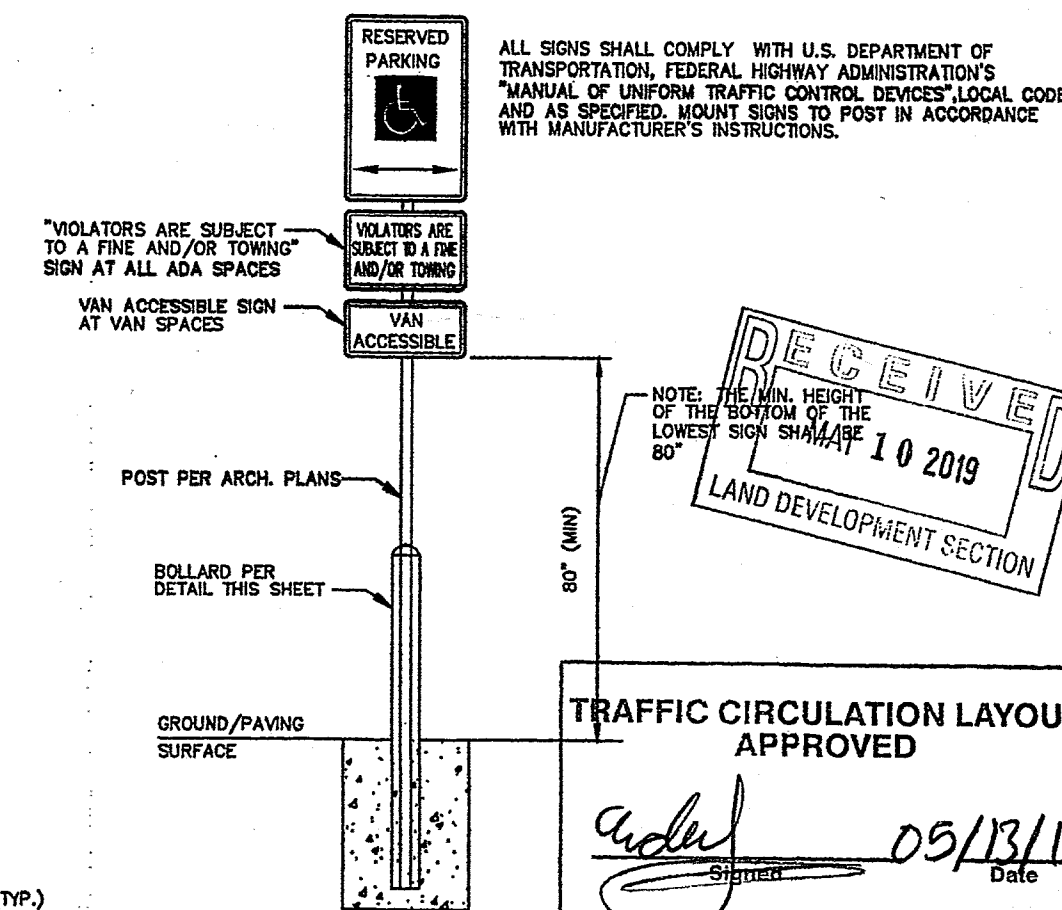
Precast Concrete Wheel Stop
NTS



VICINITY MAP - Zone J-14
Legal Description: Tract A, Lands of Mateucci Trust



Standard Sign Base
NTS



H/C Sign Detail

NTS

ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

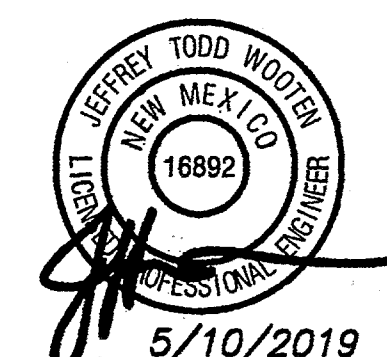
ALL WHEELCHAIR RAMP LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

TENANT IMPROVEMENTS
1601 COMMERCIAL RD. NE
Albuquerque, NM

Traffic Circulation Layout

C-100

Wooten Engineering
1003 21st St SE, Suite 13
Rio Rancho, N.M. 87124
Phone: (505) 980-3560



NO.	DATE	REMARKS	BY
		DESIGN	
		DESIGNED BY: JW	
		DRAWN BY: JW	
		CHECKED BY: JW	
		DATE: 4/16/2019	
		JOB NO.: 2018008	



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11-2018)

Project Title: Tenant Improvements **Building Permit #:** _____ **Hydrology File #:** J14-D187
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Tract A, Lands of Matteucci Trust
City Address: 1601 Commercial Rd NE

Applicant: Wooten Engineering **Contact:** Jeffrey T. Wooten, P.E.
Address: 1005 21st Street SE, Suite 13, Rio Rancho, NM 87124
Phone#: 505-980-3560 **Fax#:** N/A **E-mail:** jeffwooten.pe@gmail.com
Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____ # OF LOTS) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: ☒ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: December 12, 2019 **By:** Jeffrey T. Wooten, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____