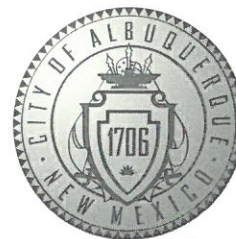


CITY OF ALBUQUERQUE



December 20, 2019

Jeffrey T. Wooten, PE
Wooten Engineering
1005 21st St. SE, Suite 13
Rio Rancho, NM 87124

Re: Tenant Improvements, BP-2017-30796, BP-2019-14734 & BP-2019-40288
1601 Commercial Rd NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 5-10-19 (J14D187)
Certification dated 12-12-19

Dear Mr. Wooten

Based upon the information provided in your pictures received 12-20-19, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

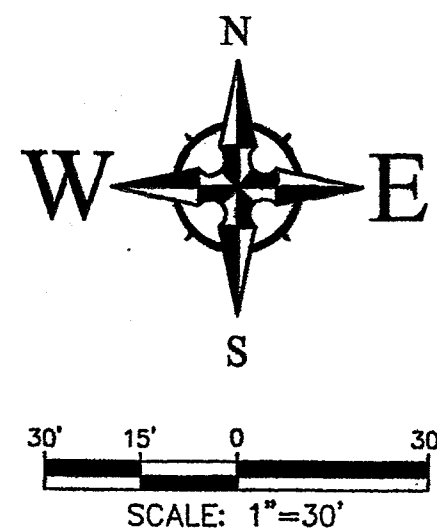
If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

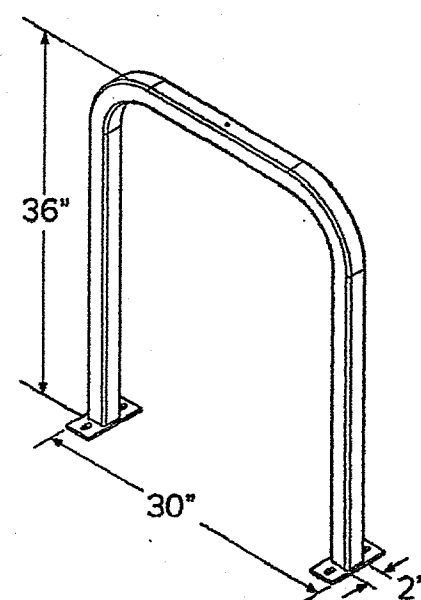
Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File



CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



Dero 'Downtown Rack' Bike Rack
NTS

SITE PLAN CERTIFICATION

I, JEFFREY T. WOOTEN, NMPE 16892, OF THE FIRM WOOTEN ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED SITE PLAN DATED 5/10/2019. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JEFFREY T. WOOTEN, P.E. OF THE FIRM WOOTEN ENGINEERING. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 12/12/2019 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SITE IMPROVEMENTS BUILT ARE REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY (PERMANENT C.O.).

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE SITE IMPROVEMENTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JEFFREY T. WOOTEN, NMPE 16892



Fence & Gate
Relocated per
Approved Fire 1
Plan Dated 8/15/19.

EXISTING COMMERCIAL BUILDING
1601 COMMERCIAL RD., N.E.
±78,019 SF
FFE=±4966.94

Parking
Adjusted
3 SPACES (-1)

6 BICYCLE
SPACES
RELOCATED HERE.

Parking Adjusted
5 SPACES (+1)

EXISTING COMMERCIAL BUILDING
±5,000 SF

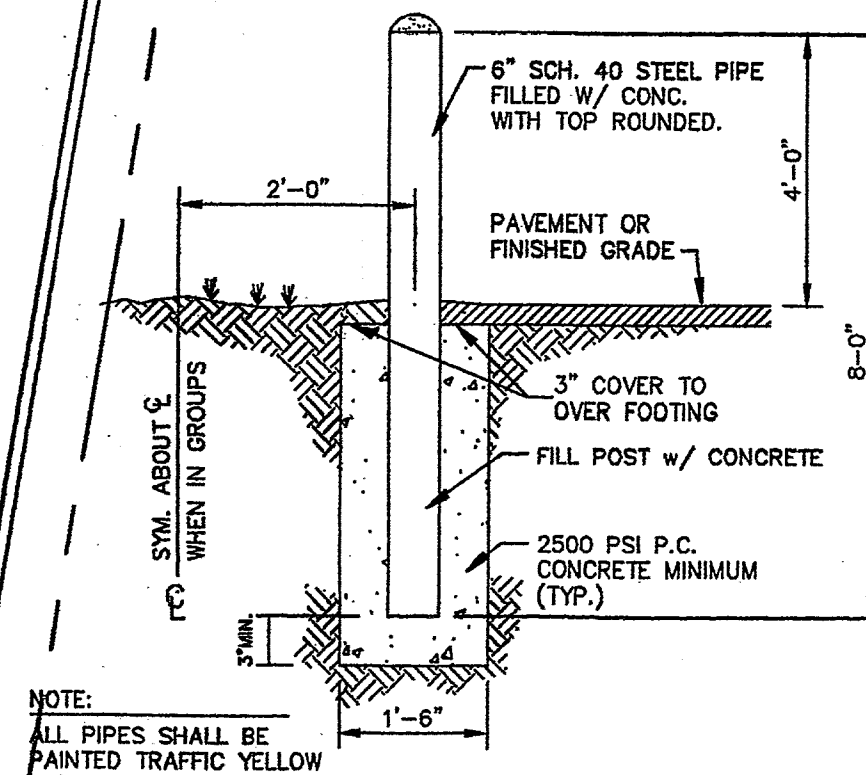
1601 COMMERCIAL ST. N.E.
(80' R/W)

KEYED NOTES

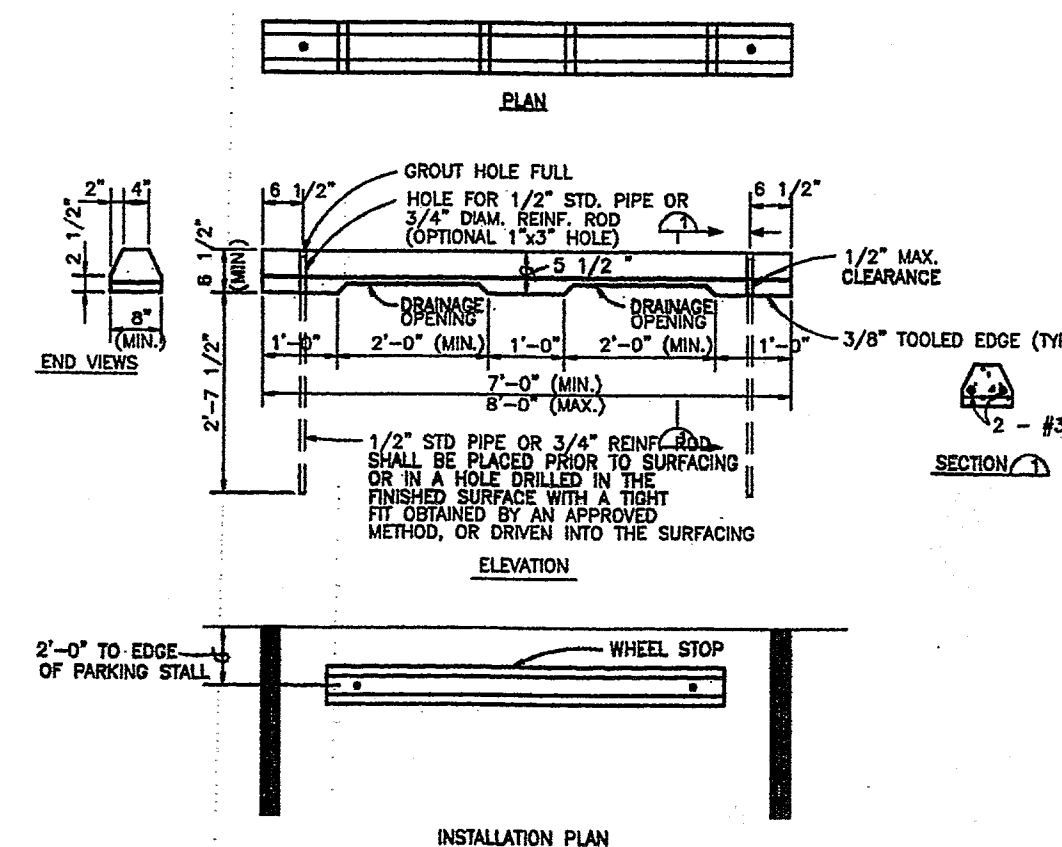
- EXISTING DUMPSTERS AND STORAGE AREA.
- EXISTING DRIVE PAD.
- ASPHALT ADA PARKING AREA LEVEL WITH CONCRETE. NO RAMP REQUIRED. MAXIMUM 1/2" VERTICAL DEFLECTION ALLOWED PER ADA.
- EXISTING CONCRETE SIDEWALK.
- EXISTING ASPHALT PAVEMENT.
- INSTALL 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPES, SPACED AT 1'-6" (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). MIN. 2 COATS. INSTALL THE WORDS 'NO PARKING' AS SHOWN WITH LETTERS AT LEAST ONE FOOT HIGH AND TWO INCHES WIDE. MIN. 2 COATS.
- INSTALL H/C SIGNAGE PER DETAIL THIS SHEET. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."
- PAINTED INTERNATIONAL WHEELCHAIR SYMBOL (BLUE) PER ADA STANDARDS. MIN. TWO COATS.
- INSTALL 4" WIDE PAINT STRIPES (WHITE) FOR PARKING SPACES AS SHOWN. MIN. 2 COATS.
- NEW PARKING SPACES DELINEATED BY WHEEL STOPS. NO PARKING STRIPES TO BE INSTALLED.
- BIKE RACK PER DETAIL THIS SHEET (6 RACKS FOR 12 SPACES)
- MOTORCYCLE PARKING AREA; 3 SPACES. ADD PAINT LABELS (2 COATS) AND SIGNAGE PER COA REQUIREMENTS.
- INSTALL PRE-CAST WHEELSTOPS PER DETAIL THIS SHEET.
- EXISTING FLAG POLE TO REMAIN.
- EXISTING CHAIN LINK FENCE.
- EXISTING VEHICULAR GATE.
- EXISTING DRAIN BASIN
- ADA RAMP TO BUILDING
- INSTALL 1" WIDE PAINT STRIPES (WHITE) FOR ON STREET PARKING SPACES. MIN. 2 COATS.
- INSTALL NEW PRIVATE FIRE HYDRANT PAINTED SAFETY ORANGE WITH 6" GATE VALVE PER COA STD DWGS. INSTALL 2 6" BOLLARDS TO PROTECT FIRE HYDRANT PER DETAIL THIS SHEET.
- REFERENCE APPROVED FIRE 1 PLAN FOR FINAL LOCATION OF FIRE LANES.
- INSTALL MEDIAN CURB AND GUTTER PER COA STD DWG 2415B.

PARKING CALCULATIONS

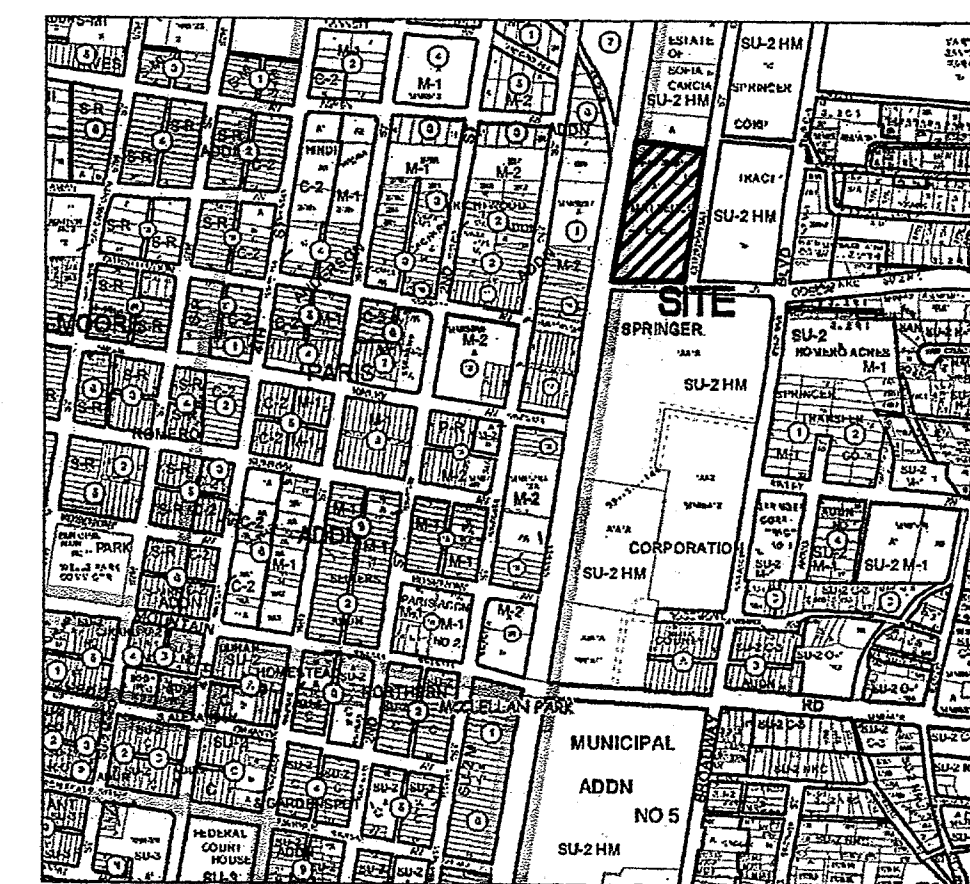
PARKING REQUIREMENTS:	AREA (SF)	REQUIRED	PROVIDED
OFFICE (3.5/1000 SF)	12,028	42.1 spaces	
INDUSTRIAL-LM (1.0/1000 SF)	68,311	68.3 spaces	
TOTAL (ON-SITE)		111 spaces	115 spaces
		REQUIRED	PROVIDED
HANDICAP PARKING	5 spaces (1 Van)	5 spaces (1 Van)	8 spaces (1 Van)
MOTORCYCLE PARKING	4 spaces	4 spaces	4 spaces
BICYCLE PARKING	12 spaces	12 spaces	12 spaces



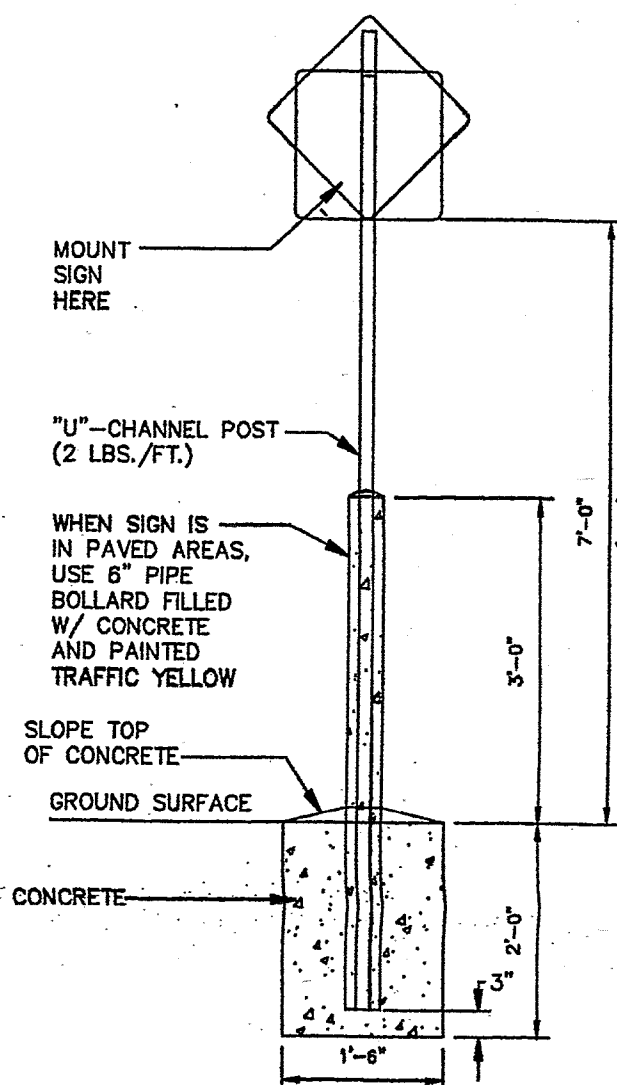
Pipe Bollard Detail
NTS



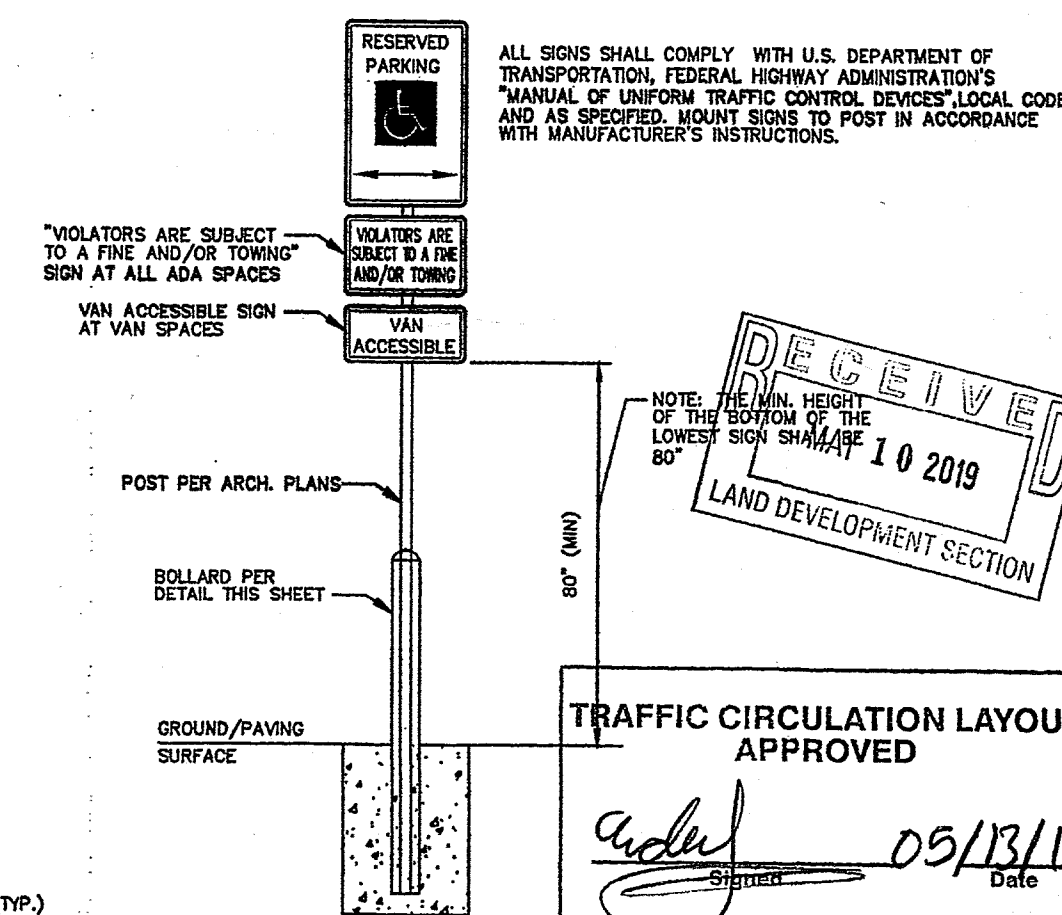
Precast Concrete Wheel Stop
NTS



VICINITY MAP - Zone J-14
Legal Description: Tract A, Lands of Mateucci Trust



Standard Sign Base
NTS



H/C Sign Detail
NTS

ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

ALL WHEELCHAIR RAMP LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

TENANT IMPROVEMENTS
1601 COMMERCIAL RD. NE
Albuquerque, NM

Traffic Circulation Layout

C-100