

CITY OF ALBUQUERQUE



December 16, 2019

Daniel Puzak, R.A.
ARIA Studio Consultants, Inc.
P.O. Box 1515,
Cedar Crest, NM 8008

Re: Monroe's New Mexico Food
1025 4th St. NW, 87102
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 3-19-19 (J14D190)
Certification dated 12-5-19

Dear Mr. Puzak,

Based upon the information provided in your submittal received 12-10-19, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

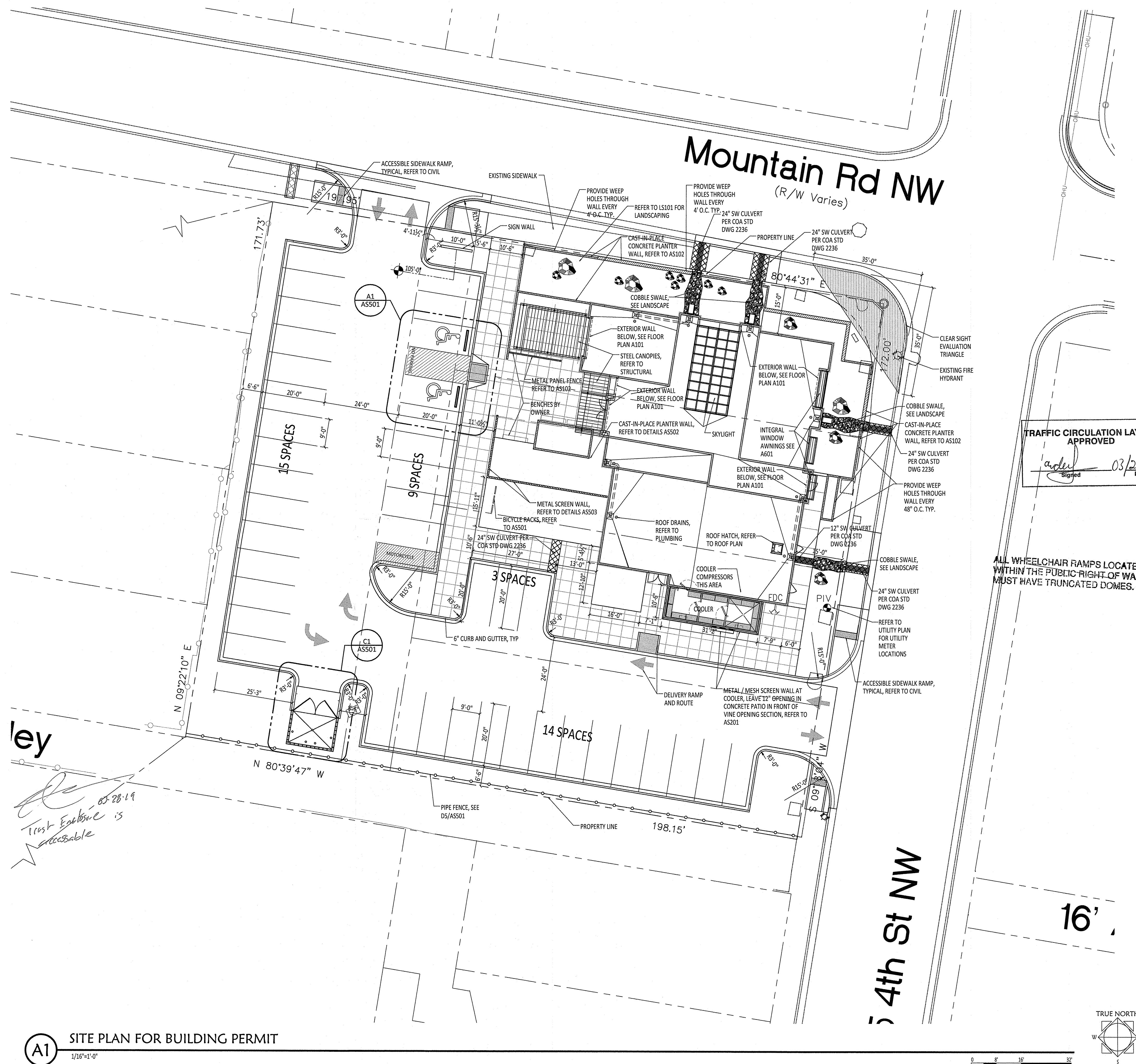
If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

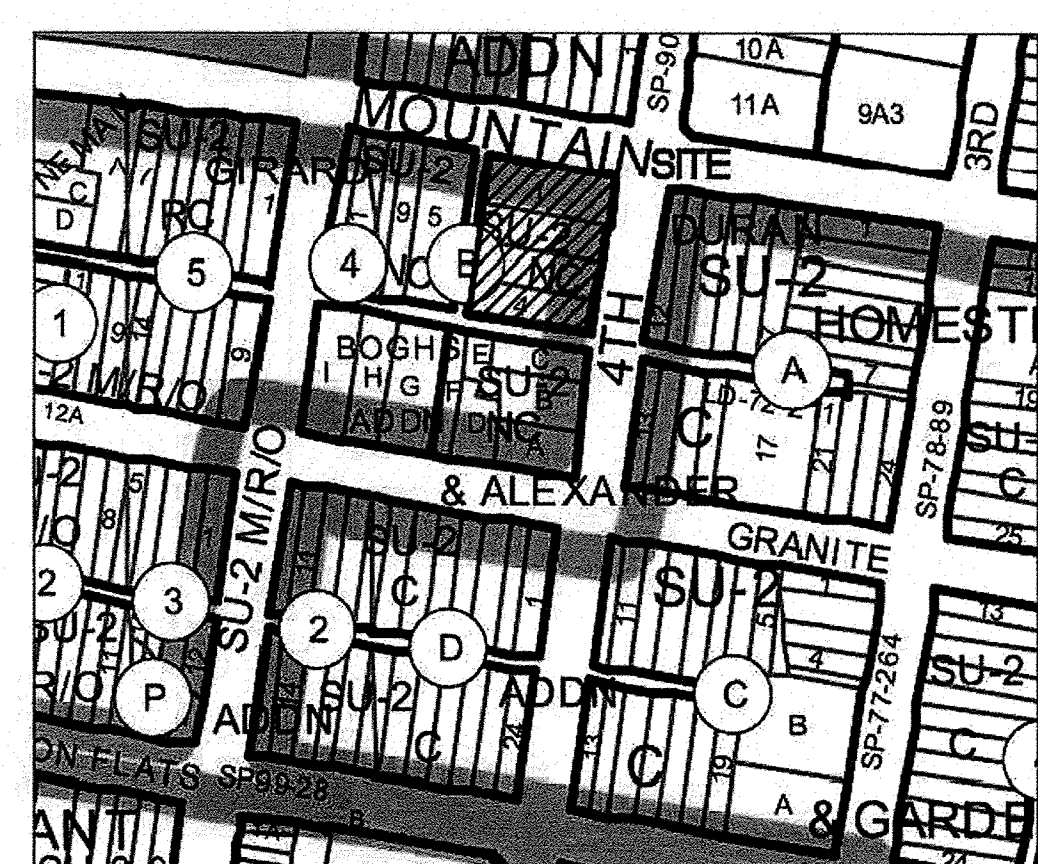
EG via: email
C: CO Clerk, File



A1 SITE PLAN FOR BUILDING PERMIT
1/16"=1'-0"

GENERAL INFORMATION

RELATIONSHIP TO IDO: MX-L
TYPE OF DEVELOPMENT: RESTAURANT
SIZE OF DEVELOPMENT: 0.78 ACRE SITE, 5,645 GROSS SF
EXECUTIVE SUMMARY:
PROJECT LOCATION: 4TH ST AND MOUNTAIN ROAD
DEVELOPMENT CONCEPT: SEMI-MODERN, TRADITIONAL NEW MEXICO ARCHITECTURE
IMPACT ON ADJACENT SITES: NONE
PREVIOUS APPROVALS: PRE-APPLICATION REVIEW PA#18-267
FIRE 1 PLAN
HYDROLOGY J14D190
FOUNDATION PERMIT (BP-2019-05729)
GRADING AND DRAINAGE
VARIANCES: NONE



VICINITY MAP Zone Atlas J-14
NTS
Legal Description: B Lots 1 Thru 5, Replat of Lots 1 Thru 8 Blk B, Duran & Alexander Add. (0.78 Acres)

TRAFFIC CIRCULATION LAYOUT APPROVED
Signed: [Signature] Date: 03/29/19

PARKING CALCULATIONS

Vehicular Spaces Required: IDO Table 5-5-1 (5 Spaces per 1,000 sf GFA)
1st Floor: 5,880 GSF / 1,000 = 5.9 x 5=29 Required spaces
Total Parking Spaces Required = 29
Total Parking Spaces Provided = 42
ADA Parking Spaces = 2 (1 Van Accessible)
Bicycle Parking Spaces- IDO Table 5-5-5 = 3 Spaces Required
Motorcycle Parking Spaces- IDO Table 5-5(D)= 2 Spaces Required

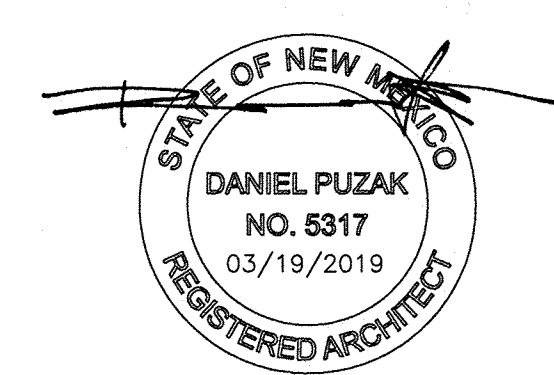
SITE NOTES

- SITE LIGHTING SHALL BE LIMITED TO 16' POLES WITH SHARP CUT-OFF ANGLE FIXTURES.
- ALL EXTERIOR LIGHTING SHALL BE NIGHT SKY COMPLIANT.
- INDIVIDUAL BUILDING-MOUNTED SIGNS SHALL HAVE AN AREA NOT TO EXCEED 6% OF THE FAÇADE TO WHICH IT IS APPLIED. ALL SIGNAGE SHALL BE DESIGNED TO BE CONSISTENT WITH AND COMPLEMENT THE MATERIALS, COLOR, AND ARCHITECTURAL STYLE OF THE BUILDING OR SITE LOCATION.
- SCREEN ALL METERS AND GROUND MOUNTED EQUIPMENT PER COA AND THE DEVELOPMENT STANDARDS.
- Slopes (REFER TO GRADING PLAN)
 - (1) Parking lots require a slope between 1% min and 8% max.
 - (2) Parking areas adjacent to major circulation aisles or adjacent to major entrances 1% min to 6% max
 - (3) Handicap parking 1% min to 2% max
- Unused curb-cuts must be replaced with curb, gutter and sidewalk per COA STD # 2415A and should match existing.

NOTE: ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE BUILT VIA A PUBLIC WORK ORDER. SEPARATE DETAILED PLANS WILL BE PROVIDED. THIS INCLUDES DEMOLITION.

ARIA
STUDIO CONSULTANTS, INC
PO BOX 1515
CEDAR CREST NM, 87008
DANIEL@ARIASCINC.COM
(505) 506-2314

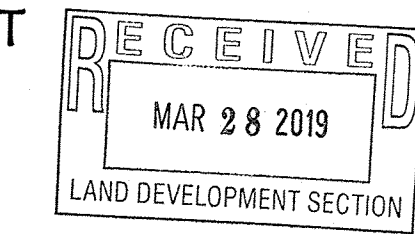
MONROE'S
1025 4th St. NW
ALBUQUERQUE, NM 87102



Architect/Engineer

MARK	DATE	DESCRIPTION
REVISIONS		
ISSUE		Permit Set
PROJECT NO		1806
CAD DWG FILE		1086 Monroe's Site Plan
DRAWN BY		DGW
CHECKED BY		DGP
DATE		March 19, 2019

TRAFFIC CIRCULATION LAYOUT



AS103



Aria Studio Consultants, Inc.

Daniel Puzak, AIA | PO Box 1515 Cedar Crest, NM 87008 | 505-506-2314 | daniel@ariascinc.com

12/05/2019

Traffic Engineer
City of Albuquerque
Public Works Department
Development & Building Services Division
Plaza del Sol, 600 2nd NW
Albuquerque, NM 87102

Re: Transportation Final C.O.- Monroe's New Mexican Food
1025 4th St NW, Albuquerque NM 87102
Traffic Circulation Layout
Zone: J-14-Z Permit #: BP-2019-05729

To Whom It May Concern:

I, Daniel Puzak, AIA, NMRA #5317, of Aria Studio Consultants, Inc., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated March 19, 2019. The record information edited onto the original design documentation has been obtained by Daniel Puzak, AIA of the firm Aria Studio Consultants, Inc. I further certify that I personally visited the project site on December 5, 2019 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

1. (Describe any exceptions and/or qualifications here in a separate paragraph.) NONE
2. (Describe any deficiencies and/or required corrections here in a separate paragraph) NONE

The Record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project as they relate to the above-mentioned building. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

If you have any questions please feel free to contact me at: Daniel@ariascinc.com or 505-506-2314

Sincerely,

A handwritten signature in black ink, appearing to be "Daniel Puzak", with a stylized flourish at the end.

Daniel Puzak, AIA, 12/05/2019

