

CITY OF ALBUQUERQUE



May 8, 2019

Audaz Design
Troy Borron
P.O. Box 30274
Albuquerque NM 87190

Re: Context Brewing Company
816 3rd St NW
Traffic Circulation Layout
Engineer's/Architect's Stamp **05-03-2019** (J14D192)

Dear Mr. Borron,

The TCL submittal received 05-06-19 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

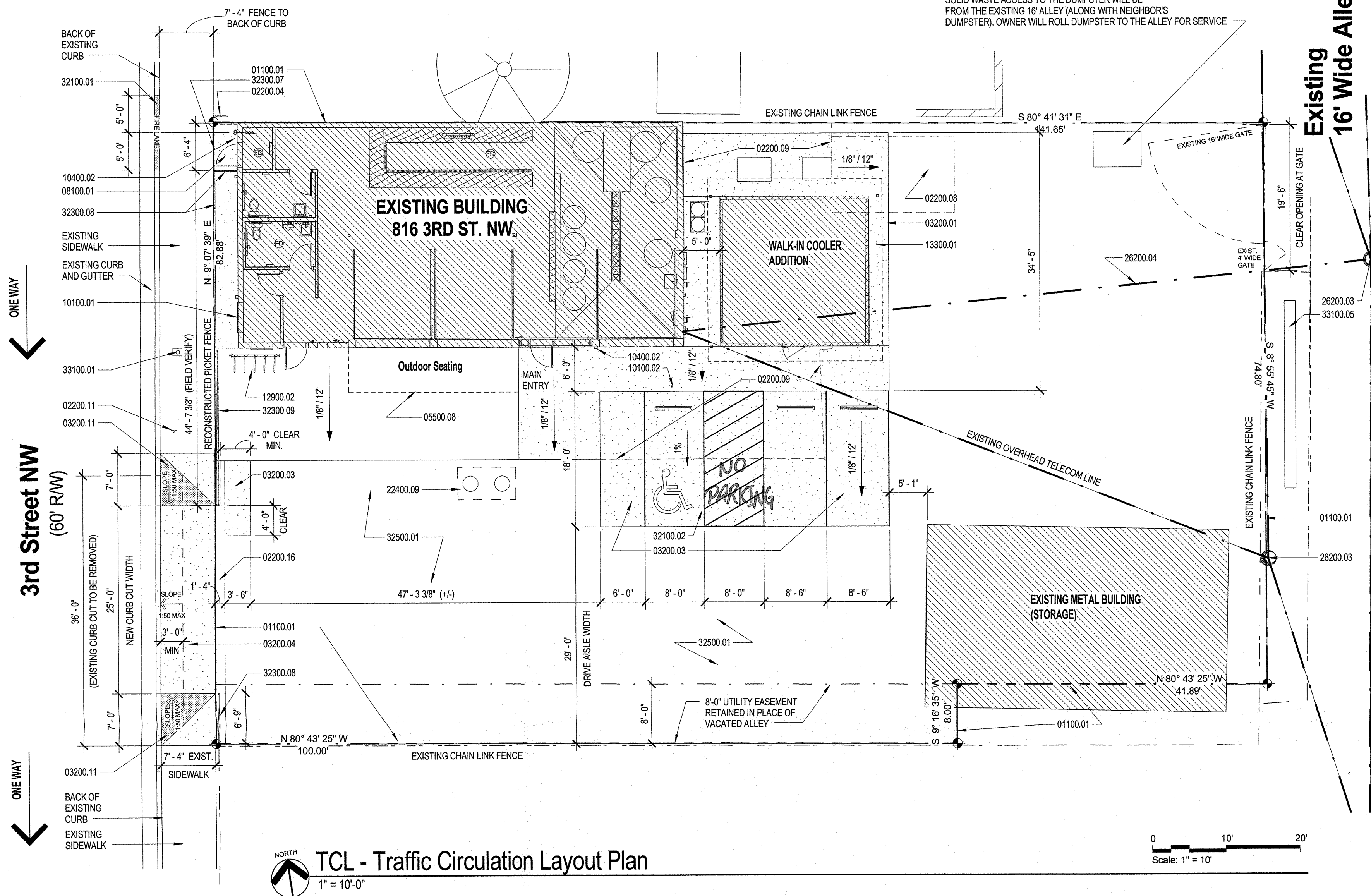
When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

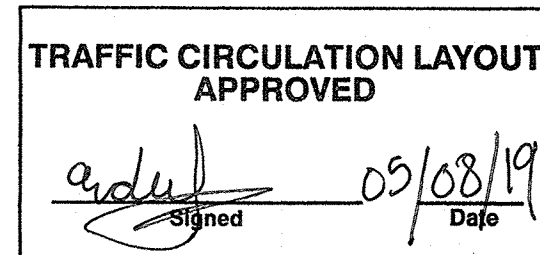
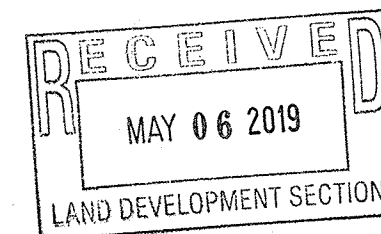
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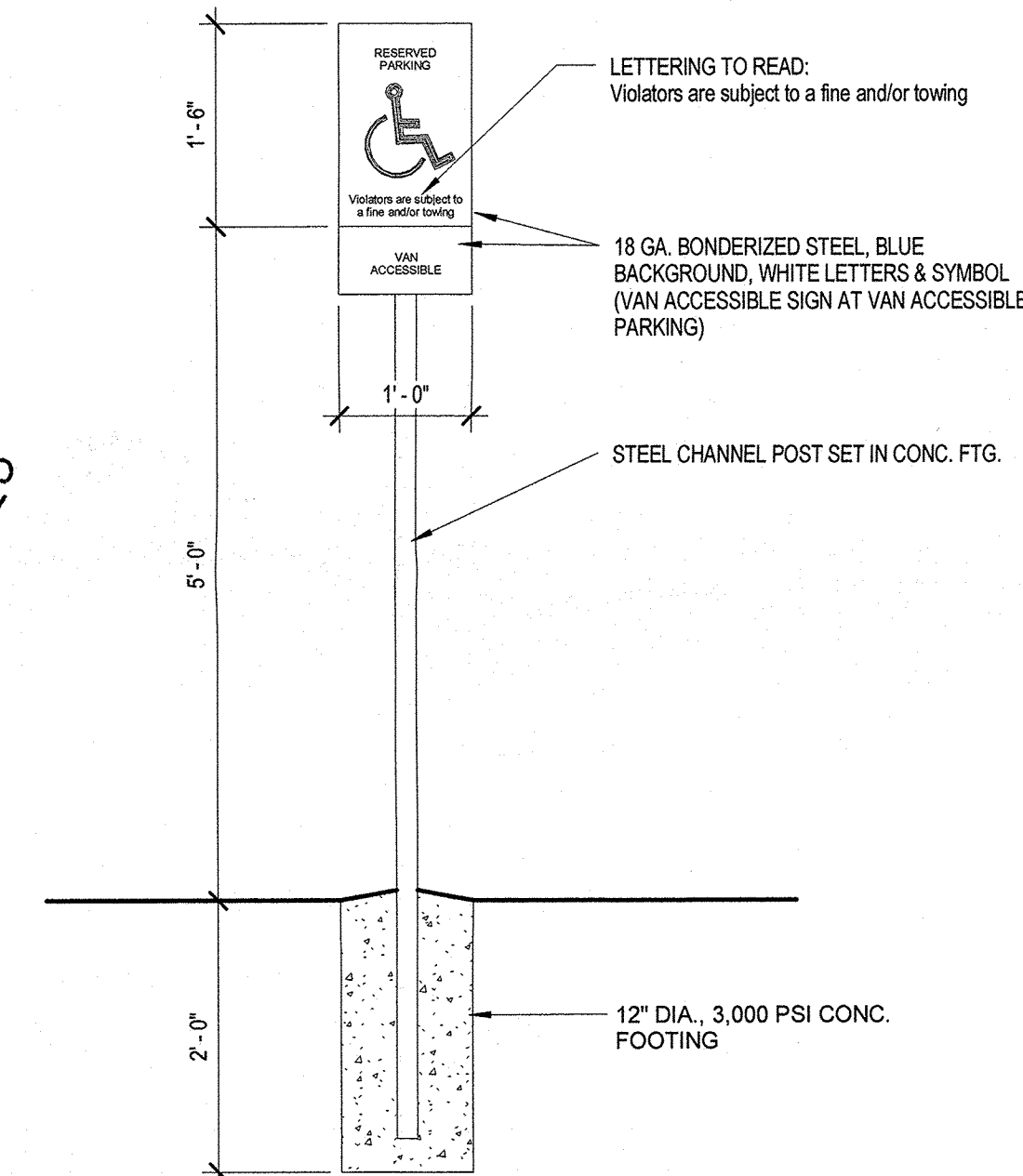
KEYED NOTES:

- 01100.01 PROPERTY LINE.
02200.04 EXISTING SPEED LIMIT SIGN TO REMAIN.
02200.08 REMOVE CONCRETE PAD AND EXISTING METAL SHED.
02200.09 REMOVE EXISTING CONCRETE SLAB.
02200.11 EXISTING 2-HR PARKING SIGN TO REMAIN.
02200.16 EXISTING CONCRETE PAD FOR MANUAL ROLLING GATE WHEELS TO REMAIN.
03200.01 4" THICK 3000 PSI AIR-ENTRAINED CONCRETE SIDEWALK / SLAB OVER GRADE COMPACTED TO 95%. REINFORCE WITH 6X6-10X10 WWM, FLAT SHEETS ONLY. SLOPE AWAY FROM BUILDING AT 1/8" PER FOOT MINIMUM.
03200.03 6" THICK 4,000 PSI AIR-ENTRAINED CONCRETE SLAB WITH #4 REBAR EACH WAY AT 18" O.C., CENTERED IN SLAB. TOP OF SLAB FLUSH WITH ADJACENT EXISTING CONCRETE AND WITHIN 3/4" OF TOP OF EXISTING DRIVE SURFACE.
03200.04 NEW CONCRETE DRIVE PAD CURB CUT PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. SEE CITY STANDARD DWG. 2425.
03200.11 ADA ACCESSIBLE SIDEWALK WITH TRUNCATED DOMES AT CURB CUT PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. SLOPE 1:50 MAX IN DIRECTION OF TRAVEL. REFER TO CITY STANDARD DWG. 2425.
05500.08 METAL CANOPY STRUCTURE WITH STANDING SEAM METAL ROOF PANELS. SEE STRUCTURAL.
08100.01 INSTALL NEW INSULATED METAL DOOR AND HOLLOW METAL FRAME IN EXISTING CMU WALL. INSTALL NEW STEEL ANGLE HEADER. ATTACH FRAME TO CMU WITH MASONRY ANCHORS. SEE DOOR SCHEDULE.
10100.01 PREMISE IDENTIFICATION NUMBER. MINIMUM 4" HIGH WITH MINIMUM 1/2" STROKE WIDTH. CAST PROJECTED MOUNT ALUMINUM NUMBERS. FONT STYLE SELECTED BY OWNER.
10100.02 VAN ACCESSIBLE PARKING SIGN. SEE DETAIL C4 / TCL-101.
10400.02 EMERGENCY KEY CABINET. KNOX-BOX 3200 SERIES, RECESSED MOUNT. INSTALL PER MANUFACTURER'S INSTRUCTIONS. MOUNT 4" TO 6" ABOVE FINISHED GRADE.
12900.02 VERTICAL BIKE RACK. "NO-LIFT" VERTICAL FLOW BIKE RACK. ATTACH TO CONCRETE SLAB PER MANUFACTURER'S RECOMMENDATIONS. FUNCTION FIRST DESIGN, LLC, BIKERACK.COM, 520.322.9626.
13300.01 STEEL STRUCTURE SHADE CANOPY WITH STANDING SEAM ROOF. SEE STRUCTURAL.
22400.09 500 GALLON, TWO-COMPARTMENT, REINFORCED PRE-CAST CONCRETE SOLIDS INTERCEPTOR WITH (2) 24" MANHOLE COVERS. INSTALL BELOW GRADE. H-20 TRAFFIC RATED. SEE PLUMBING.
26200.03 EXISTING POWER POLE TO REMAIN.
26200.04 NEW OVERHEAD ELECTRICAL CONDUCTOR FROM EXISTING POWER POLE TO ELECTRICAL SERVICE. SEE ELECTRICAL.
32100.01 FIRE LANE AT CURB. RED PAINT BACKGROUND WITH WHITE LETTERING "FIRE LANE". CENTER ON FIRE DEPARTMENT CONNECTION AND EXTEND 5'-0" IN EACH DIRECTION.
32100.02 HC PARKING AND SYMBOLS. VAN ACCESS AISLE IS 8'-0" WIDE X 18'-0" LONG WITH AN 8'-0" WIDE ACCESS LANE. PAINT ACCESSIBLE PARKING STRIPING AND SYMBOLS WITH ASPHALT STRIPING PAINT. ACCESS AISLES TO ATTAIN 1% MINIMUM AND 2% MAXIMUM SLOPE. THE ADA ACCESS AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE PLACED. PER 66-1-4.1.8 NMSA 1978.
32300.07 REMOVE PORTION OF EXISTING STEEL PICKET FENCE.
32300.09 RECONSTRUCT EXISTING STEEL PICKET FENCE/MANUAL ROLLING GATE TO ACCOMMODATE 25'-0" CLEAR OPENING. CHAIN AND PADLOCK FOR SECURITY SHALL INCLUDE A FIRE DEPARTMENT APPROVED KNOX LOCK AND CHAIN FOR EMERGENCY ACCESS.
32500.01 EXISTING GRAVEL DRIVE TO REMAIN.
33100.01 EXISTING WATER METER BOX TO REMAIN.
33100.05 EXISTING NATURAL GAS PIPELINE TO REMAIN.

COA PERMIT STAMP AREA



ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



C4 VAN ACCESSIBLE PARKING SIGN DETAIL

34" x 1'-0"



GENERAL INFORMATION:

A. PLANNING HISTORY:

- THE PROPOSED PROJECT IS A LEVEL-3 ALTERATION OF AN EXISTING BUILDING WITH A 400 SF WALK-IN COOLER ADDITION, NOT SUBJECT TO A MASTER PLAN OR SECTOR DEVELOPMENT PLAN.
- THERE WILL BE NO CHANGE TO THE GROSS FLOOR AREA OF THE EXISTING BUILDING.
- THERE WILL BE NO CHANGE TO THE EXISTING LANDSCAPING. PER SECTION 14-16-5-B(4) OF THE CITY OF ALBUQUERQUE IDO, THE VALUE OF THE RENOVATION IS LESS THAN \$500.00 AND NOT SUBJECT TO ADDITIONAL LANDSCAPING REQUIREMENTS.
- THE PROJECT IS LOCATED WITHIN THE McLELLAN PARK AREA AND IS EXEMPT FROM OFF-STREET PARKING REQUIREMENTS PER SECTION 14-16-5-B(2) OF THE IDO EXCEPT FOR THOSE REQUIREMENTS TO SATISFY THE AMERICANS WITH DISABILITIES ACT. ADDITIONAL PARKING PROVIDED, WHERE IT IS OTHERWISE EXEMPT BY SECTION 14-16-5-B(2), SHALL COMPLY WITH REQUIREMENTS OF THE PARKING STANDARDS IN SECTION 14-16-5-5.

B. DESCRIPTION:

- VICINITY MAP (SEE MAP AT LOWER RIGHT OF SHEET).
- ADDRESS: 816 3RD ST. NW, ALBUQUERQUE, NM 87102

LEGAL DESCRIPTION:

RECORD LEGAL DESCRIPTION:

LOTS NUMBERED NINETEEN (19), TWENTY (20), AND TWENTY-ONE (21) IN BLOCK NUMBERED NINE (9) OF HOMESTEAD AND GARDENSPOT ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE PROBATE CLERK AND EX-OFFICIO RECORDER ON MAY 5, 1885 AND THE NORTH EIGHT FEET (8') OF THE WEST ONE HUNDRED FEET (100') OF THE EAST, WEST ALLEY BETWEEN MARBLE AND THIRD STREET NORTHWEST BY CITY ORDINANCE NUMBERED 1850, DATED DECEMBER 13TH 1960.

MEASURED LEGAL DESCRIPTION:

LOTS NUMBERED NINETEEN (19), TWENTY (20), AND TWENTY-ONE (21) IN BLOCK NUMBERED NINE (9) OF HOMESTEAD AND GARDENSPOT ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE PROBATE CLERK AND EX-OFFICIO RECORDER ON MAY 5, 1885 AND BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, LYING THE EASTERLY RIGHT-OF-WAY OF 3RD STREET NW, AND BEING MARKED BY A PK NAIL FOUND AT 0.31 FEET S 80°43'25" E FROM TRUE CORNER;

FROM SAID POINT OF BEGINNING, COINCIDING WITH SAID RIGHT-OF-WAY, N 09°07'39" E, A DISTANCE OF 82.88 FEET TO THE NORTHWEST CORNER OF THE DESCRIBED PARCEL, MARKED BY A 1/2" REBAR;

THENCE, LEAVING SAID RIGHT-OF-WAY, S 80°41'31" E, A DISTANCE OF 141.65 FEET TO THE NORTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, LYING ON THE WESTERLY SIDE OF AN EXISTING 16 FOOT WIDE ALLEY, BEING MARKED BY A PK NAIL;

THENCE, COINCIDING WITH SAID ALLEY, S 08°55'45" W, A DISTANCE OF 74.80 FEET TO AN ANGLE POINT, BEING MARKED WITH A BATHEY MARKER WITH CAP L.S. 14271;

THENCE, N 80°43'25" W, A DISTANCE OF 41.89 FEET TO AN ANGLE POINT;

THENCE, S 09°16'35" W, A DISTANCE OF 8.00 FEET TO AN ANGLE POINT;

THENCE, N 80°43'25" W, A DISTANCE OF 100.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.2620 ACRES (11,411 SQ. FT.) MORE OR LESS.

- VARIANCE: NOT REQUIRED

C. TRAFFIC CIRCULATION CONCEPT:

MICRO-BREWERY AND TAP-ROOM

D. TYPE OF DEVELOPMENT:

MICRO-BREWERY AND TAP-ROOM

E. SIZE OF DEVELOPMENT:

LOT SIZE: APPROXIMATELY 0.2620 ACRES (11,411 SQ. FT.)

EXISTING BUILDING GROSS FLOOR AREA = 1,800 SF
EXISTING PRE-ENGINEERED METAL BUILDING (STORAGE) GFA = 989 SF
WALK-IN COOLER ADDITION GFA = 400 SF
TOTAL BUILDING GROSS FLOOR AREA = 3,189 SF
EXISTING EXTERIOR CONCRETE PAD AREA = 2,114 SF
DEMOLISHED EXTERIOR CONCRETE PAD AREA = 1,475 SF
NEW EXTERIOR CONCRETE PAD AREA = 2,022 SF
NET NEW EXTERIOR CONCRETE PAD AREA = 547 SF

F. PARKING REQUIRED:

THE PROJECT IS LOCATED WITHIN THE McLELLAN PARK AREA AND IS EXEMPT FROM OFF-STREET PARKING REQUIREMENTS PER SECTION 14-16-5-B(2) OF THE IDO EXCEPT FOR THOSE REQUIREMENTS TO SATISFY THE AMERICANS WITH DISABILITIES ACT. ADDITIONAL PARKING PROVIDED, WHERE IT IS OTHERWISE EXEMPT BY SECTION 14-16-5-B(2), SHALL COMPLY WITH REQUIREMENTS OF THE PARKING STANDARDS IN SECTION 14-16-5-5.

TOTAL PARKING REQUIRED:

ADA ACCESSIBLE PARKING: 1 SPACE
STANDARD PARKING: 0 SPACES
MOTORCYCLE PARKING: 0 SPACES
BICYCLE PARKING: 0 SPACES

PARKING PROVIDED:

ADA ACCESSIBLE PARKING: 1 SPACE
STANDARD PARKING: 2 SPACES
BICYCLE PARKING: 5 SPACES

G. EXECUTIVE SUMMARY:

A. PROJECT LOCATION:

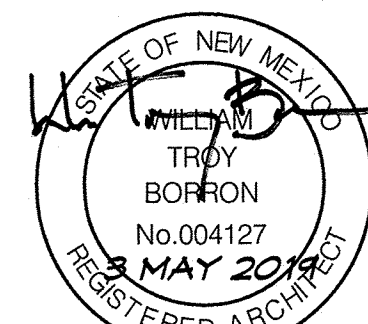
THE PROJECT IS LOCATED AT 816 3RD ST. NW, ON THE EAST SIDE OF 3RD STREET AND SOUTH OF MARBLE AVE NW.

B. DEVELOPMENT CONCEPT:

THE NEW PROJECT WILL BE A LEVEL-3 ALTERATION OF THE EXISTING 1,800 SF BUILDING AND A 400 SQUARE FOOT WALK-IN COOLER ADDITION ON THE EAST SIDE OF THE EXISTING BUILDING. THE WALK-IN COOLER WILL HAVE A STEEL FRAMED CANOPY STRUCTURE ABOVE. THERE WILL BE A STEEL FRAMED SHADE CANOPY ALONG A PORTION OF THE SOUTH FACADE OF THE EXISTING BUILDING. THERE WILL BE MINOR SITE IMPROVEMENTS INCLUDING A NEW CONCRETE PAD FOR PARKING WITH VAN ACCESSIBLE PARKING AND TWO STANDARD PARKING SPACES.

AUDAZ design
- Architecture
- Design
- Art

Audaz Design
P.O. Box 30274
Albuquerque, New Mexico 87190
tel: 505.350.8569
email: troy@audazdesign.com



PERMIT SET

PROJECT NAME:
816 3rd St. Additions & Alterations -
Context Brewing Company

PROJECT ADDRESS:
816 3rd St. NW
Albuquerque, NM 87102

OWNER:
Context Brewing Company

ISSUE DATE: 3 MAY 2019
DRAWN BY: WTB
PROJECT ARCHITECT: William Troy Borron

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SHEET TITLE:
TRAFFIC CIRCULATION LAYOUT
PLAN

CURRENT REVISION:
REVISION DATE:

TCL - 101