

# CITY OF ALBUQUERQUE



August 17, 2020

Jesus Lopez  
RESPEC  
5971 Jefferson St NE  
Albuquerque, NM 87109

**Re: Lomas and Broadway Egress and parking lot**  
807 Arno St NE Albuquerque, NM 87102  
**Traffic Circulation Layout**  
Architect's Stamp 08-17-2019 (J14-D193)

Dear Mr. Lopez,

The TCL submittal received 08-17-2020 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

  
Nilo Salgado-Fernandez, P.E.  
Senior Transportation Engineer,  
Planning Dept. Development  
Review Services

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)





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[illegible]

THROUGH LANE-USE ARROW DETAIL  
N.T.S.

Impervious Area (sq. ft)		Retention Pond Req. Vol. (cu. Ft)		
4867.72		136.49		
0.0263				

Pond 1				
Elev.	Area (sq. ft)	Vol (cu. Ft)	Cum. (cu. Ft.)	Cum. (Ac-Ft)
4955.17	26.96	0	0	0.000
4955.67	77.7	26.17	26.17	0.001
4956.67	246.84	162.27	188.44	0.004

**Tract 2-A Lands of Sandia Foundation Parking Lot Improvement**

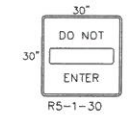
**Background**

Tract 2-A is an approximately 1.4 acre lot which was recently replatted from Tracts 1 and 2, Lands of Sandia Foundation and Lots 1 through 3, Block 1, Trotter Addition. The site drains through the mid-valley system into a temporary detention pond on the west side of Broadway Boulevard. The site which the parking lot is proposed is within Tract 2-A and only covers approximately 0.11 acres of the plat. Currently, the land treatment type is a mixture of A and B. The grading and drainage was designed for providing protection up to the 100-year 24-hour event and storm water quality detention within the system.

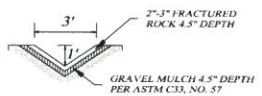
**Methodology** Hydrology calculations for this site are performed in accordance with the City of Albuquerque DPM Chapter 22 Section 2 - Hydrology, Volume 2 Design Criteria 1997 revision. The impervious area for the proposed improvements was approximated to be 4,887.72 square ft. This was multiplied by 0.34 in. and units were adjusted to obtain the required ponding for detention. This resulted in approximately 138.5 cu. ft. required. The proposed pond is located at the far east side of the site and was designed to detain approximately 188.44 cu. ft. of runoff before discharging onto Armo St. via a 1 ft. curb cut along the egress driveway. The Manning Formula is used to calculate the base width of the curb cut to collect water in the pond as well as discharge it. A curb cut of 1 ft. is designed for the collection of water into the pond.

**Proposed Conditions**  
The proposed condition's peak discharge rate is calculated through the method described in the Albuquerque DPM referenced above. 100% of the proposed development is assumed to be impervious excluding the pond. A peak discharge of 4.70 cfs/acre is obtained using Table A-9, noting that the proposed improvements fall in precipitation zone 2 (between Rio Grande and San Mateo) from Table A-1. This results in a peak discharge of .5 cfs for the proposed site improvements, and this value is used for the design calculations.

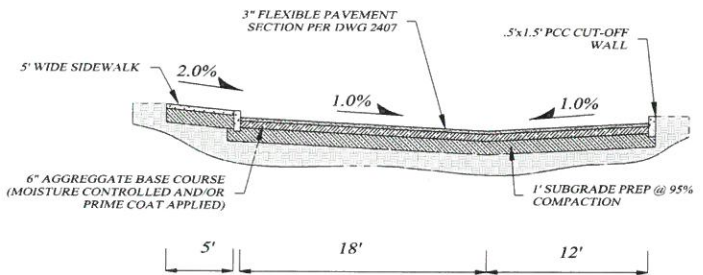
The proposed grading for the site is an inverted crown running from west to east at approximately 1.12%. The asphalt valley gutter receives runoff from the north and south portions of the parking lot which slope at approximately 1%. In addition, a proposed sidewalk runs along the south side of the property and it is sloped at 2% to discharge water onto the proposed pavement. This is designed to carry the discharge into the pond on the east side of the property, where it subsequently discharges onto Amo St and into the mid-valley system.



SIGN DETAIL



FRACTURED ROCK POND PROTECTION DETAIL  
SCALE: NTS



X-SEC A-A': ASPHALT PAVEMENT  
SCALE: NTS

**Manning Formula:**

### Rectangular Channel Input

Depth	0.5 ft
Slope	0.0112 ft/ft
Manning's n	0.013
Base Width	1 ft
Right Side Slope	0:1
Left Side Slope	0:1

Flow	2.40 cfs
Flow Area	0.500 sf
Velocity	4.80 fps
Velocity Head	0.358 ft
Top Width	1.00 ft
Froude Number	1.20
Critical Depth	0.564 ft
Critical Slope	0.00816 ft/ft

<div> <div>  <b>RESPEC</b>          5971 JEFFERSON STREET SUITE 101          ALBUQUERQUE, NEW MEXICO 87109          WATER &amp; NATURAL RESOURCES          WWW.RESPEC.COM 505.743.1281       </div> <div>         DESIGNED _____          DRAWN _____          CHECKED _____          DATE 8.17.2020       </div> </div>	<div>  </div>		
	<div> <p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED</p>  </div>		
<div> <div>ISSUED FOR:</div> <div>SHEET NUMBER:</div> </div>	<div> <div>REVIEW</div> </div>	<div> <div>SHEET TITLE:</div> <div> <div>TRAFFIC CIRCULATION</div> <div>LAYOUT</div> </div> </div>	<div> <div>PROJECT NAME:</div> <div> <div>LOMAS &amp; BROADWAY</div> <div>EGRESS &amp; PARKING LOT</div> </div> </div>
<div> <div>C-100</div> </div>			

SHEET NUMBER:

**C-100**