

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Interim Director



*Mayor Timothy M. Keller*

January 19, 2022

Amit Pathak  
Bohannon Huston, Inc.  
7500 Jefferson St. NE  
Albuquerque, NM 87109

**RE: Hope Works Hope Village  
1215 3<sup>rd</sup> St. NW  
Temporary CO – Accepted  
Grading Certification Stamp Date: 1/18/22  
Grading and Drainage Plan Stamp Date: 9/8/2020  
Hydrology File: J14D194**

Dear Mr. Pathak:

PO Box 1293

Based solely on the submittal received on 1/18/22, this certification is approved in support of Temporary Release of Occupancy by Hydrology.

Albuquerque

If you have any questions, please contact me at 924-3986 or [earmijo@cabq.gov](mailto:earmijo@cabq.gov).

NM 87103

Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

January 18, 2022

Ms. Renee Brissette  
Hydrology Section  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Re: Grading and Drainage Certification (Hope Works: Lot 1 – comprised of Lots 3A, 4A, 5A,  
6A, 7A, Block 6 Paris Addition)  
Hydrology File J14D194

Dear Renee,

We are submitting these documents for the grading and drainage certification for the Hope Works project. Per our coordination with your office, we are requesting that a fee-in-lieu of providing the full required volume be acceptable. Enclosed for your review is the as-built survey of the latest grading and drainage plan as well as the marked up drainage management plan indicating the volume built and associated fee-in-lieu amount for the outstanding amount.

The site work has been constructed and based on our review there are a few items to be corrected that have already been communicated to the contractor through a punchlist report and will be corrected in the field. These items are noted on the as-built survey for your reference and documentation. With your review, we are requesting that only the Temporary Certificate of Occupancy (TCO) be released and that once all the punchlist items are completed, that the Final CO be released as needed.

After reviewing the as-built elevations and visiting the site on 01/10/22, it is my belief that the above noted lot has been graded in substantial compliance with the approved grading and drainage plan.

Your review and approval is requested for Building Permit Approval for the above listed project. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



Kelly Klein, P.E.  
Project Manager  
Community Development & Planning

Enclosure

cc: Amit Pathak, BHI

Engineering ▲  
Spatial Data ▲  
Advanced Technologies ▲



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_\_# OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

**IS THIS A RESUBMITTAL?:** \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

GRADING AND DRAINAGE CERTIFICATION  
I, KELLY M. KLEIN, NMPE 24834, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT HOPE WORKS/HOPE VILLAGE PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 09/08/2020 WITH THE CHANGES MARKED IN BLUE. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY DAVID VIGIL, NMPS 8911, OF SURV-TEK. I HAVE PERSONALLY VISITED THE PROJECT SITE 01/10/2022 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.  
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Kelly M. Klein  
KELLY M. KLEIN, NMPE 24834  
DATE



## SUMMER AVENUE

INSTALL SWALE PER DESIGN ELEVATIONS AND INSTALL TURN BLOCKS AT WALL (AT ELEV 59.00) TO ENSURE THAT DRAINAGE CAN GO THROUGH THE WALL AND INTO THE SIDEWALK CULVERT

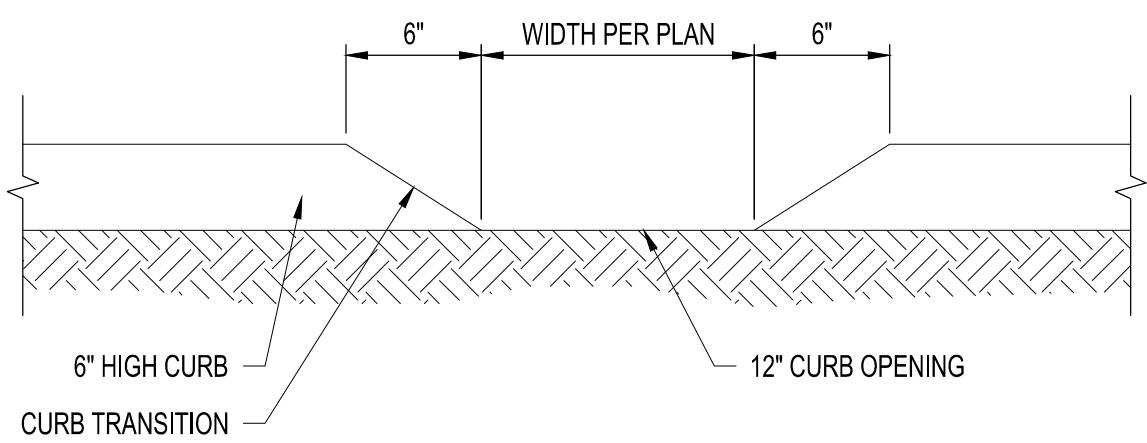
Lower the invert of both weep holes (install turn blocks at elevation 4960.77) within the northern courtyard to allow for runoff to drain away from the doors and exit the area. Lower green space areas outside of each weep hole to be 0.50-ft deep (FG = 4960.27). Install 12" sidewalk culvert to drain east green space area to west side.

INSTALL CURB CUT TO ALLOW DRAINAGE INTO WH-D

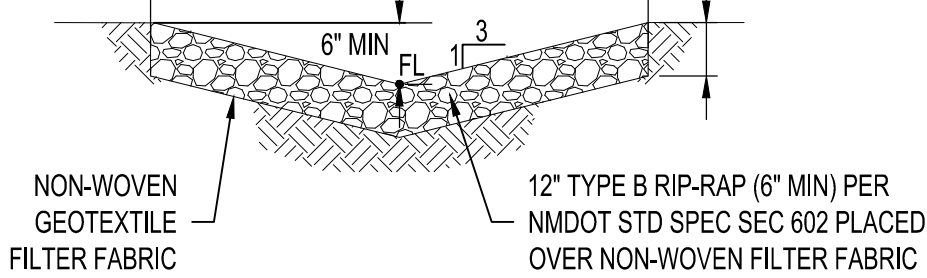
ADJUST BEGINNING FLOW LINE OF VALLEY GUTTER TO ENSURE POSITIVE DRAINAGE

INSTALL CURB CUT TO ALLOW DRAINAGE TO FLOW AWAY FROM GARAGE DOOR TO VALLEY GUTTER

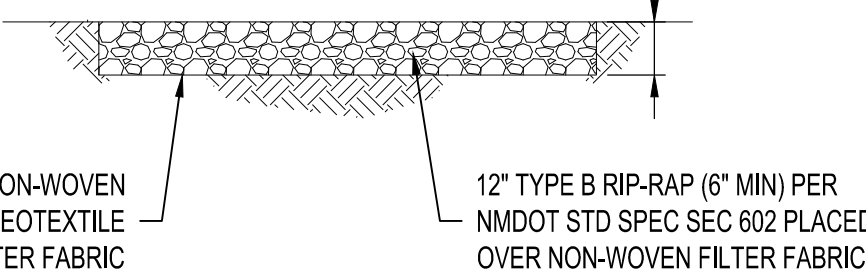
Per as-built elevations, the landing of the ADA stalls exceeds the maximum slopes. Replace concrete sidewalk square to ensure maximum 2% slope in all directions to meet ADA.



## RIP-RAP SWALE



## RIP-RAP PAD



## NOTICE TO CONTRACTORS (SO 19)

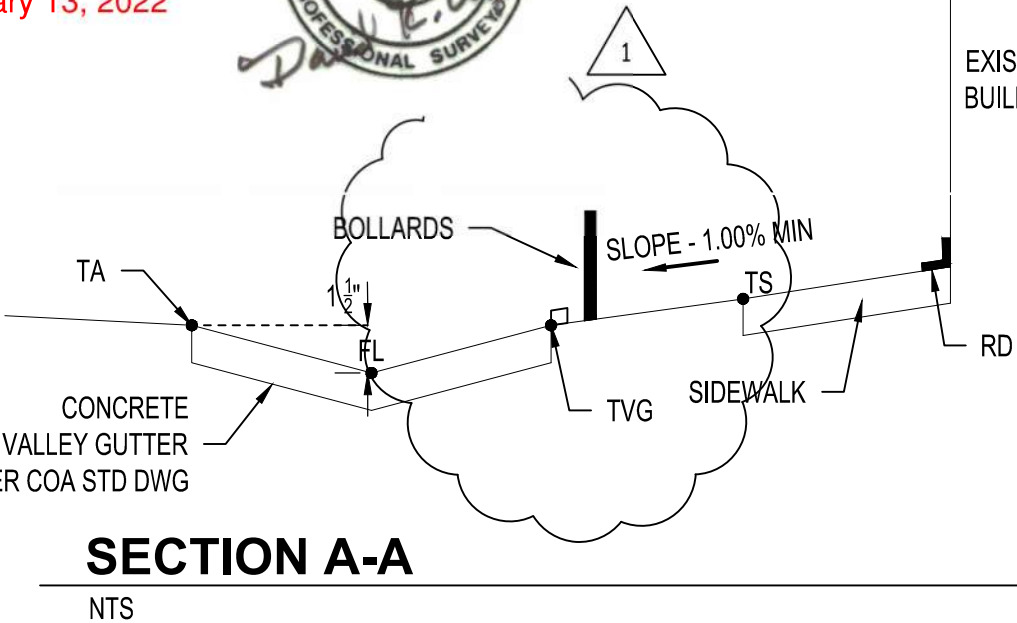
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (280-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

## SURVEYORS CERTIFICATION

I, David R. Vigil, New Mexico Professional Surveyor Number 8911, hereby certify that the as-built information shown hereon is the result of an actual field survey performed by me or under my direct supervision and that the same is true and correct to the best of my knowledge and belief.

David R. Vigil  
NMPS No. 8911  
January 13, 2022



## LEGEND

- PROPERTY LINE
- PROPOSED BUILDING FOOTPRINT
- LIMITS OF GRADING
- EXISTING EASEMENT
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING GROUND SPOT ELEVATION
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED FINISHED GRADE SPOT ELEVATION
- PROPOSED CURB & GUTTER
- DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK
- EXISTING ROOF DRAINS
- RIP RAP
- DIRECTION OF FLOW AT FL OF SWALE
- STORM WATER QUALITY VOLUME AREA
- BOLLARDS

## GRADING NOTES

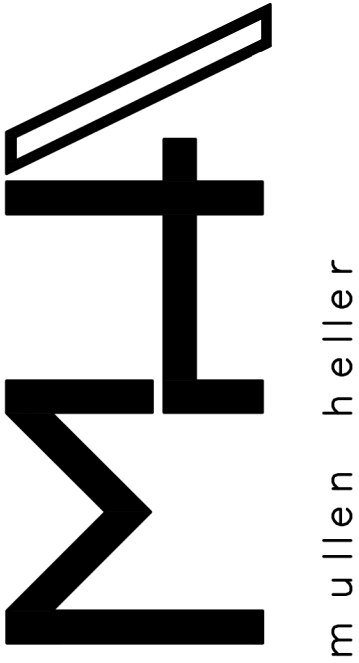
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- THE CONTRACTOR SHALL FURNISH AND INSTALL TEMPORARY AND PERMANENT SURFACE EROSION CONTROL MEASURES FOR ALL DISTURBED AREAS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- ALL PROPOSED SPOT ELEVATIONS AND CONTOURS REFLECT FINISHED GRADE OF TOP OF PAVEMENT AND FINISHED LANDSCAPING ELEVATIONS.
- PAVING AND ROADWAY GRADES SHALL BE  $\pm 0.1'$  FROM PLAN ELEVATIONS. FINISHED FLOOR ELEVATIONS SHALL BE  $\pm 0.05'$  FROM PLAN ELEVATION.
- NO WORK SHALL BE PERFORMED IN THE PUBLIC RIGHT OF WAY WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.

## GRADING KEYED NOTES

- INSTALL 12" CONCRETE CURB OPENING PER DETAIL 1.
- MATCH EXISTING ELEVATION.
- INSTALL RIP-RAP SWALE PER DETAIL 2.
- INSTALL 12" SIDEWALK CULVERT PER COA STD DWG 2236. EXTEND CONCRETE CULVERT TO BUILDING. CENTER ROOF DRAIN OVER CONCRETE CULVERT.
- REMOVE EXISTING DRIVE PAD AND REPLACE WITH SIDEWALK, CURB, AND GUTTER PER COA STD. DETAILS 2415 & 2430. SO-19 PERMIT MUST BE OBTAINED.
- INSTALL CURB ACCESS RAMP PER COA STD. DETAIL 2426 AND 2446. SO-19 PERMIT MUST BE OBTAINED.
- INSTALL 12" SIDEWALK CULVERT PER COA STD DWG 2236. SO-19 PERMIT MUST BE OBTAINED.
- INSTALL 24" CONCRETE CURB OPENING PER DETAIL 1.
- INSTALL 4" WIDE CONCRETE VALLEY GUTTER PER COA DETAIL 2420.
- INSTALL 2" WIDE CONCRETE SIDEWALK CULVERTS PER COA STD DWG 2236. MODIFY DETAIL TO ACCOUNT FOR VARIOUS DEPTHS. DEPTH OF CULVERT VARIES PER PLAN ELEVATIONS.
- INSTALL 2" WIDE CONCRETE SIDEWALK CULVERTS PER COA STD DWG 2236. MODIFY DETAIL TO ACCOUNT FOR VARIOUS DEPTHS OF CULVERT. DEPTH OF CULVERT VARIES PER PLAN ELEVATIONS. SO-19 PERMIT MUST BE OBTAINED.
- INSTALL CONCRETE SPLASH PAD AT DOWNSPOUT.
- INSTALL FLUSH CURB.
- INSTALL BOLLARDS 20' APART. SEE ARCHITECTURAL PLANS FOR DETAILS.
- INSTALL RIP RAP PAD PER DETAIL 3.
- INSTALL RETAINING WALL. SEE STRUCTURAL PLANS.
- SEE UTILITY PLAN. IF WATER STRUCTURE IS TO REMAIN, ADJUST RIM OF WATER VALVE BOX TO MATCH PROPOSED SURFACE.
- EXISTING LIGHT POLE TO REMAIN IN PLACE AND BE PROTECTED.
- TRANSITION FROM FLUSH CURB TO 6" CURB & GUTTER.
- INSTALL 1-2" WIDE CONCRETE SIDEWALK CULVERT ADJACENT TO A 1-1" WIDE CONCRETE SIDEWALK CULVERT PER MODIFIED COA STD DWG 2236.
- INSTALL NEW SIDEWALK. SEE ARCHITECTURAL PLAN FOR DETAILS. SO-19 PERMIT MUST BE OBTAINED.
- REMOVE EXISTING FLUSH CURB AT NEAREST JOINT. INSTALL NEW STANDARD 8" CURB & GUTTER PER COA STD DWG 2415A. SO-19 PERMIT MUST BE OBTAINED.
- MATCH EXISTING FLOW LINE ELEVATION. CONTACT ENGINEER WITH ANY DISCREPANCIES.
- SAWCUT EXISTING ASPHALT AND INSTALL DRIVE PAD PER COA STD DWG 2425. SO-19 PERMIT MUST BE OBTAINED.
- RAISED CURB WITH DRAINAGE OPENINGS. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.

Bohannan Huston  
www.bhinc.com 800.877.5332

REV	DATE	DESCRIPTION	BY	DATE	DESCRIPTION
1	9/08/20	PRELIMINARY	AMP		
2	9/08/20	FINAL COORDINATION	AMP		



MULLEN HELLER  
ARCHITECTURE  
1718 CENTRAL AVE SW |  
STE. D  
ALBUQUERQUE, NM |  
87109  
P | 505.268.4144  
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www.mullenheller.com

JOB NUMBER 18-13

DRAWN BY RMM

PROJECT MGR AP

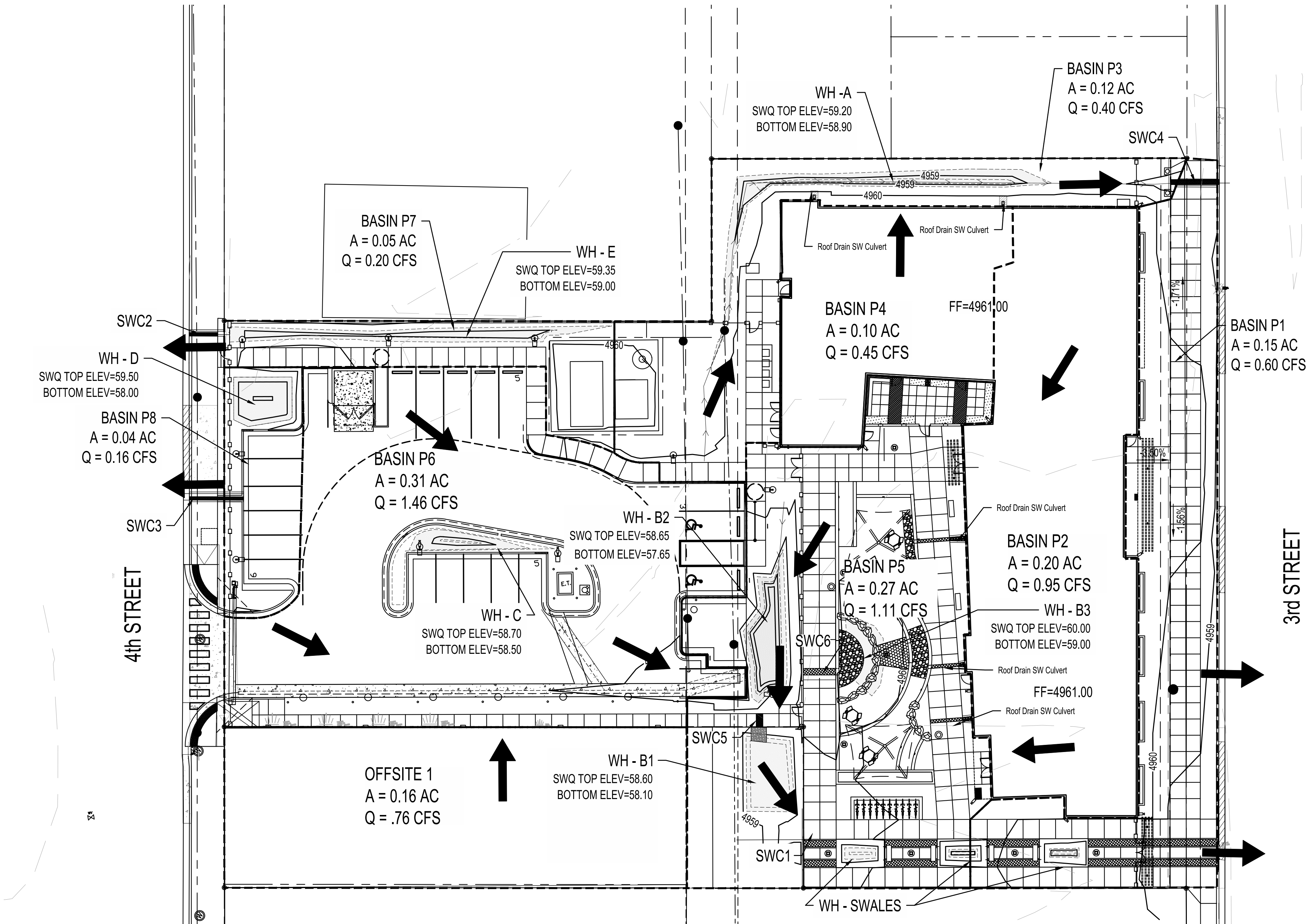
DATE 12-31-2019

PHASE DRB SUBMITTAL

PROJECT Hope Works | Hope Village  
1215 Third Street NW  
Albuquerque, NM 87102

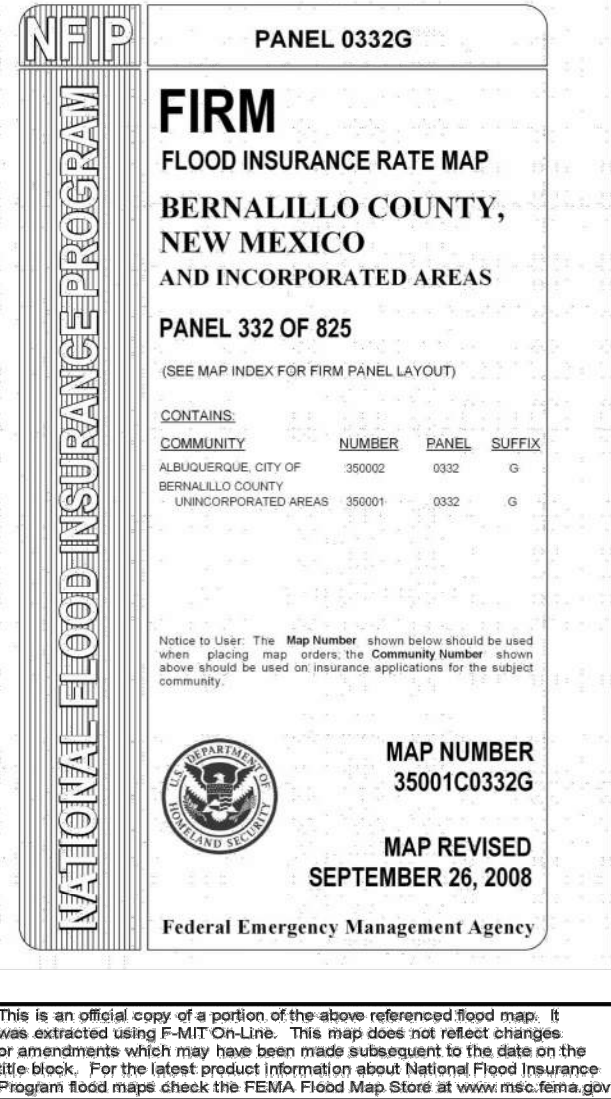
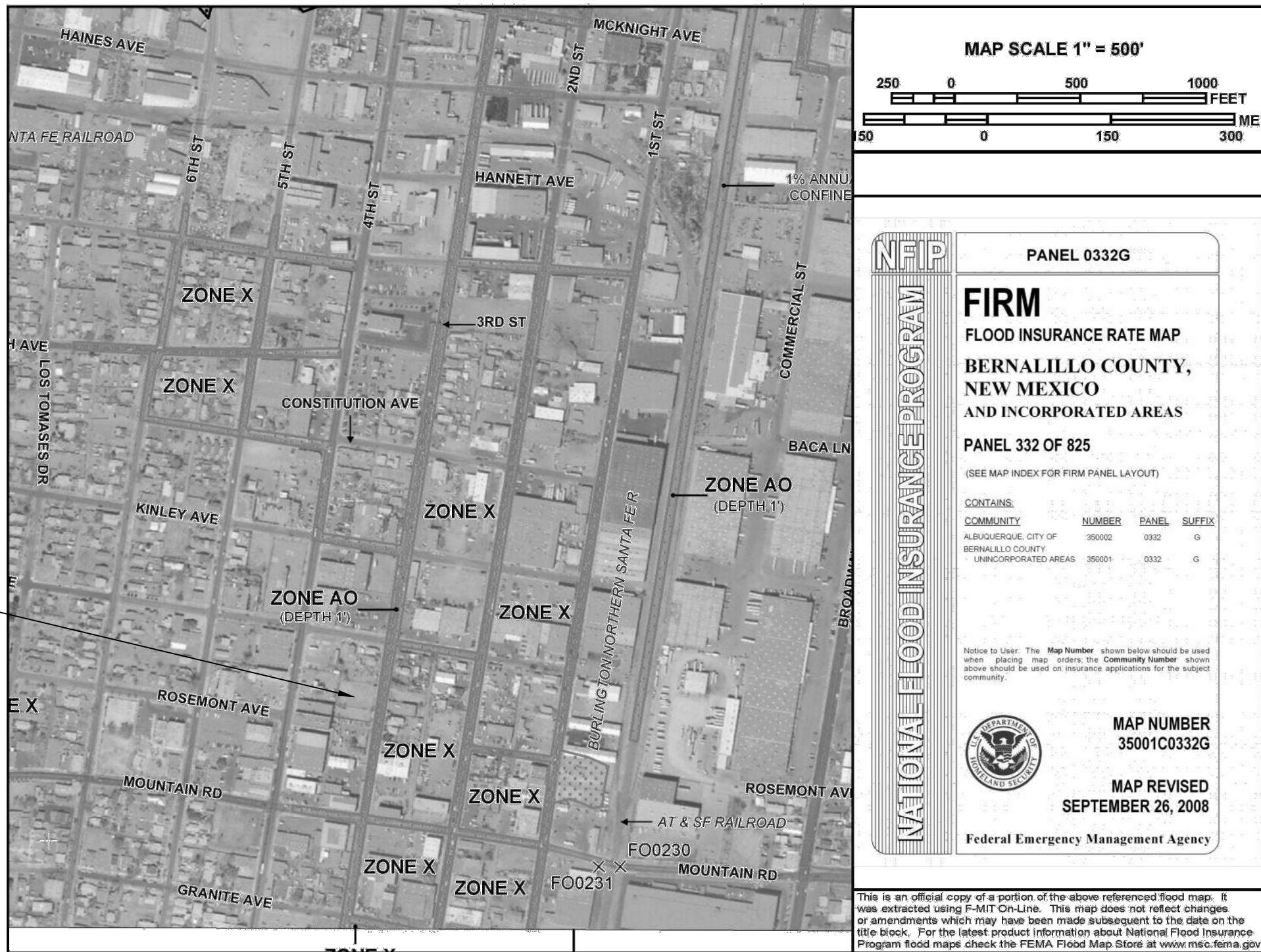
TITLE GRADING PLAN

SHEET C100



Side Walk Culvert Summary Table							
Culvert #	Basin ID	Q (actual)	Depth (weir opening height)	Total Width ft	Minimum Slope	Q(max) Mannings*	Q(max) Weir**
SWC1	P2, P5, P6 & OFF1	4.25	0.67	4.00	0.50%	13.72	5.81
SWC2	P7	0.20	0.50	1.00	0.50%	1.61	0.94
SWC3	P8	0.16	0.50	1.00	0.50%	1.61	0.94
SWC4	P3, P4	0.85	0.50	1.00	0.50%	1.61	0.94
SWC5	UPSTREAM	3.88	0.67	3.00	0.50%	9.75	4.36
SWC6	P2, P5	2.06	0.50	3.00	0.50%	3.22	2.81
Roof Drain SW Culverts***	-	0.45	0.50	1.00	0.50%	-	0.94

\* Based on Mannings Equation where n=0.013  
\*\* Based on Weir Eq:  $Q = CL(h^{1.5})$  where C=2.65  
\*\*\* Q(actual) based on largest flow from a Roof Drain



### DRAINAGE MANAGEMENT PLAN

The purpose of this submittal is to present a drainage and grading plan for the proposed Hope Works - Hope Village Site. The site will consist of a 3-story building including 42 residential units, along with the associated parking, landscaping, and site amenities. The development is located between 3<sup>rd</sup> and 4<sup>th</sup> St and between Summer and Mountain. Per FEMA community map panel #35001C0332G, the site is not located within a floodplain (see below). The site is in rainfall zone 2 as defined by figure A-1 of the DPM section 22. This grading and drainage plan is submitted in support of Preliminary/Final Plat.

The existing site is extremely flat with only 1' drop between 4th Street and 3rd Street. Existing survey and observation indicate that ponding currently occurs onsite, but runoff also enters both 3rd Street and 4th Street. The site is currently developed with buildings (which will be demolished), paved and unpaved parking areas and a cell tower (which will remain). See Existing Conditions Table.

The 100-year, 6-hour storm is routed through water harvesting areas and then drains to 3<sup>rd</sup> and 4<sup>th</sup> St. The runoff volumes are analyzed using Equation A-9 from the DPM, Section 22.2. Land treatments are based on the proposed uses which include a building, courtyard, parking lot, irrigated landscaping, and water harvesting ponds. The land treatments, volume calculations for the contributing basins, and pond volume calculations are shown in a table format on this sheet.

The proposed roof drains of the northern leg of the building (Basin P4) will be directed and collected in the water harvesting pond WH-A along the north property line before draining to 3<sup>rd</sup> St. The long building leg (Basin P2) will have roof drains that will be directed to the west. Drainage from basin P2, P5, P6 & OFF1 will be detained in a series of water harvesting ponds, WH-B1, WH-B2, WH-B3 and then be directed to 3rd Street through 2 x 2' wide sidewalk culverts. Basin P8 partially contributes to the water harvesting pond WH-D, and then it will overflow to 4<sup>th</sup> St. Basin P7 drains through water harvesting pond WH-E and eventually outfalls into 4th street.

The Storm Water Quality Volume (SWQV) per DPM 6-11 is retained in multiple water harvesting areas throughout the site as described above. The required storm water quality is 1008 cf (based on a runoff depth of 0.26" as required for sites in re-development areas). The total available storm water quality volume retained on site is 965 cf. "Payment in lieu" will be made to account for the remaining volume.

This drainage submittal has been prepared in accordance with City of Albuquerque requirements. This plan demonstrates the proposed grading and drainage concepts. The implementation of these concepts would result in the safe detention of the 100-year, 6-hour storm event. With this submittal we request Hydrology Development approval of this Grading and Drainage Plan for Preliminary/Final Plat.

20200060 Hope Works Project										
Existing Conditions Basin Data Table										
This table is based on the DPM Section 22.2, Zone: 2										
Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100yr) (cfs/ac.)	Q(100yr-6hr) (CFS)	WT E (inches)	V(100yr-6hr) (CF)
Basin 1	54048	1.24	0.0%	0.0%	96.6%	3.4%	3.19	3.96	1.16	5242

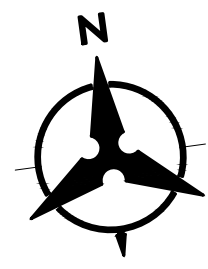
20200060 Hope Works Project										
Proposed Conditions Basin Data Table										
This table is based on the DPM Section 22.2, Zone: 2										
Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100yr) (cfs/ac.)	Q(100yr-6hr) (CFS)	WT E (inches)	V(100yr-6hr) (CF)
P1	6668.01	0.15	0.0%	0.0%	49.7%	50.3%	3.92	0.60	1.63	905
P2	8827.20	0.20	0.0%	0.0%	0.0%	100.0%	4.70	0.95	2.12	1559
P3	5154.89	0.12	0.0%	0.0%	82.2%	17.8%	3.42	0.40	1.31	561
P4	4147.51	0.10	0.0%	0.0%	0.0%	100.0%	4.70	0.45	2.12	733
P5	11632.38	0.27	0.0%	0.0%	35.5%	64.5%	4.15	1.11	1.77	1714
P6	13615.33	0.31	0.0%	0.0%	8.1%	91.9%	4.57	1.43	2.04	2314
P7	2183.04	0.05	0.0%	0.0%	42.6%	57.4%	4.04	0.20	1.70	309
P8	1798.39	0.04	0.0%	0.0%	46.6%	53.4%	3.97	0.16	1.66	249
OFF1	7047.74	0.16	0.0%	0.0%	0.0%	100.0%	4.70	0.76	2.12	1245
Total	61074.49	1.40						6.07	17.59	9589

Basin	Impervious Area (SF)	Required SWQ Volume (CF)*
P1	3354.90	72.7
P2	8827.20	191.3
P3	915.00	19.8
P4	4147.51	89.9
P5	0.00	0.0
P6	7499.04	162.5
P7	12512.33	271.1
P8	1253.04	27.1
P9	960.27	20.8
OFF1	7047.74	152.7
Total	46517.03	1007.9

\* Using 0.26 in. per DPM (6-11) for re-development site.

FEE-IN-LIEU OF PROVIDED VOLUME =  
\$8/CF \* (1008 cf - 405 cf) = \$4,824.00

Water Harvesting Area	Contributing Basins	Required SWQV (CF)	Volume Provided (CF)	ASBUILT VOL PROVIDED (CF)
-	P1	73	0	0
WH-A	P3 + P4	110	95	0
-	P5	0	0	0
WH-B1	(UPSTREAM PONDS), PART-P5	54	138	42
WH-B2	PART-P5, PART-P6 & OFFSITE	342	269	134
WH-B3	P2 & PART-P5	245	105	197
WH-C	PART-P6	136	34	6
WH-D	P8	21	199	26
WH-E	P7	27	97	0
WH-SWALES	UPSTREAM	-	28	0
Total		1008	965	405



1"=20'

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www.bhinc.com 800.877.5332

REV	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			



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JOB NUMBER 18-13

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PROJECT MGR AP

DATE 12-31-2019

PHASE DRB SUBMITTAL

PROJECT Hope Works | Hope Village  
1215 Third Street NW  
Albuquerque, NM 87102

TITLE DRAINAGE MANAGEMENT PLAN

SHEET

C101

**PRIVATE FACILITY**  
**DRAINAGE COVENANT**

This Drainage Covenant ("Covenant"), between Hope Village, LLC  
 ("Owner"), whose address is 901 Pennsylvania St NE, Albuquerque, NM 87110,  
 and whose telephone number is (432) 530-7978 and the City of Albuquerque, New Mexico,  
 a municipal corporation whose address is P.O. Box 1293, Albuquerque, New Mexico 87103, is  
 made in Albuquerque, Bernalillo County, New Mexico and is entered into as of the date Owner  
 signs this Covenant.

1. **Recital.** The Owner is the current owner of the following described real property  
 located at [give legal description, and street address]

Lot 1 (Being Comprised of Lots 3A, 4A, 5A, 6A and 7A, Block 6 Paris Addition)

recorded on 03/02/2020, pages \_\_\_\_ through \_\_\_\_, as Document No. 2020019665  
 in the records of the Bernalillo County Clerk, State of New Mexico (the "Property").

Pursuant to City ordinances, regulations and other applicable laws, the Owner is required to  
 construct and maintain certain drainage facilities on the Property, and the parties wish to enter into  
 this Covenant to establish the obligations and responsibilities of the parties.

2. **Description and Construction of Drainage Facility.** The Owner shall construct the  
 following "Drainage Facility" within the Property at the at the Owner's sole expense in accordance  
 with the standards, plans and specifications approved by the City:

Retention ponds as shown on the stamped Construction Drawings highlighted in Exhibit A

The Drainage Facility is more particularly described in **Exhibit A** attached hereto and  
 made a part hereof.

3. **Maintenance of Drainage Facility.** The Owner shall maintain the Drainage Facility at  
 Owner's sole cost in accordance with the approved Drainage Report and plans.

4. **Benefit to Property.** The Owner acknowledges and understands that the Drainage  
 Facility required herein to be constructed on the Owner's property is for the private benefit and  
 protection of the Owner's property and that failure to maintain such facility could result in damage  
 or loss to the Property.

5. **Inspection of Drainage Facility.** The City shall have no duty or obligation  
 whatsoever to perform any inspection, maintenance or repair of the Drainage Facility, it being the  
 duty of the Owner, its heirs, successors and assigns to construct and maintain the facility in  
 accordance with approved plans and specifications.

6. **Liability of City.** The Owner understands and agrees that the City shall not be liable

to the Owner, its heirs, successors or assigns, or to any third parties for any damages resulting from the Owner's failure to construct, maintain or repair the Drainage Facility.

7. Indemnification. The Owner owns and controls the Drainage Facility and shall not permit the Drainage Facility to constitute a hazard to the health or safety of the general public. The Owner agrees to indemnify, defend and hold harmless the City, its officials, agents and employees, from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Owner, its agents, representatives, contractors or subcontractors or arising from the failure of the Owner, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Developer or Owner herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Covenant, this Covenant to indemnify will not extend to liability, claims, damages, losses or expenses, including attorneys' fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the respective indemnitee, or the agents or employees of the respective indemnitee; or (2) the giving of or the failure to give direction or instructions by the respective indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

8. Assessment. Nothing in this Covenant shall be construed to relieve the Owner, its heirs, assigns and successors from an assessment against the Owner's property for improvements to the property under a duly authorized and approved Special Assessment District. The parties specifically agree that the value of the Drainage Facility will not reduce the amount assessed by the City.

9. Binding on Owner's Property. The covenants and obligations of the Owner set forth herein shall be binding on the Owner, its heirs, assigns and successors and on the Owner's property and constitute covenants running with the Owner's property until released by the City. This Covenant can only be released by the City's Chief Administrative Officer with concurrence of the City Engineer.

10. Entire Covenant. This Covenant contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

11. Changes to Covenant. Changes to this Covenant are not binding unless made in writing, signed by both parties.

12. Effective Date of Covenant. This Covenant shall be effective as of the date of signature of the Owner.

**OWNER:**

By [signature]: Michelle Den Bleyker  
Name [print]: Michelle Den Bleyker  
Title: Senior Vice President of Development  
Dated: 1/12/2022

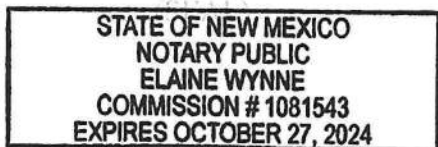
**CITY OF ALBUQUERQUE:**

By: \_\_\_\_\_  
Shahab Biazar, P.E., City engineer  
Dated: \_\_\_\_\_

**OWNER'S ACKNOWLEDGMENT**

STATE OF NEW MEXICO       )  
  )ss  
COUNTY OF BERNALILLO    )

This instrument was acknowledged before me on this 12<sup>th</sup> day of January, 2022, by Michelle Den Bleyker (name of person signing permit), Senior Vice President of Development (title of person signing permit) of Hope Village LLC (Owner).



Elaine Wynne  
Notary Public  
My Commission Expires: 10/27/2024

**CITY'S ACKNOWLEDGMENT**

STATE OF NEW MEXICO       )  
  )ss  
COUNTY OF BERNALILLO    )

This instrument was acknowledged before me on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by Shahab Biazar, P.E., City Engineer, of the City of Albuquerque, a municipal corporation, on behalf of said corporation.

(SEAL)

\_\_\_\_\_  
Notary Public  
My Commission Expires: \_\_\_\_\_

**(EXHIBIT A ATTACHED)**

# EXHIBIT A

SUMMER AVENUE

## NOTICE TO CONTRACTORS (SO 19)

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (280-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

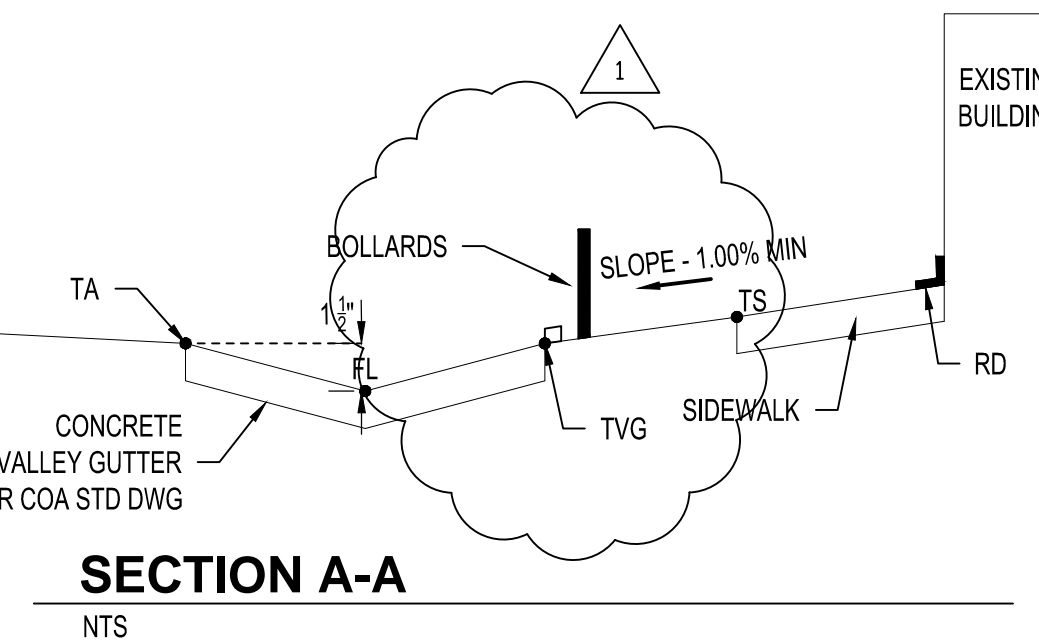
APPROVAL	NAME	DATE
INSPECTOR		

## GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- THE CONTRACTOR SHALL FURNISH AND INSTALL TEMPORARY AND PERMANENT SURFACE EROSION CONTROL MEASURES FOR ALL DISTURBED AREAS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- ALL PROPOSED SPOT ELEVATIONS AND CONTOURS REFLECT FINISHED GRADE OF TOP OF PAVEMENT AND FINISHED LANDSCAPING ELEVATIONS.
- PAVING AND ROADWAY GRADES SHALL BE  $\pm 0.1'$  FROM PLAN ELEVATIONS. FINISHED FLOOR ELEVATIONS SHALL BE  $\pm 0.05'$  FROM PLAN ELEVATION.
- NO WORK SHALL BE PERFORMED IN THE PUBLIC RIGHT OF WAY WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.

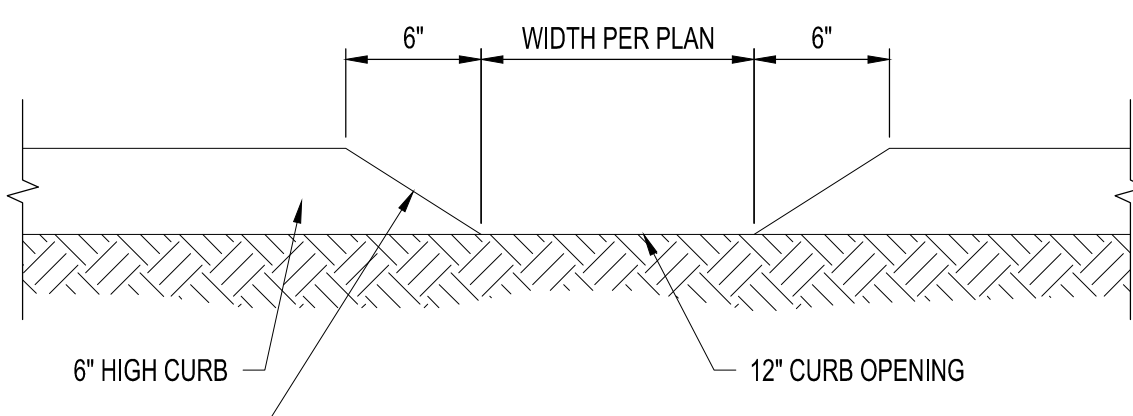
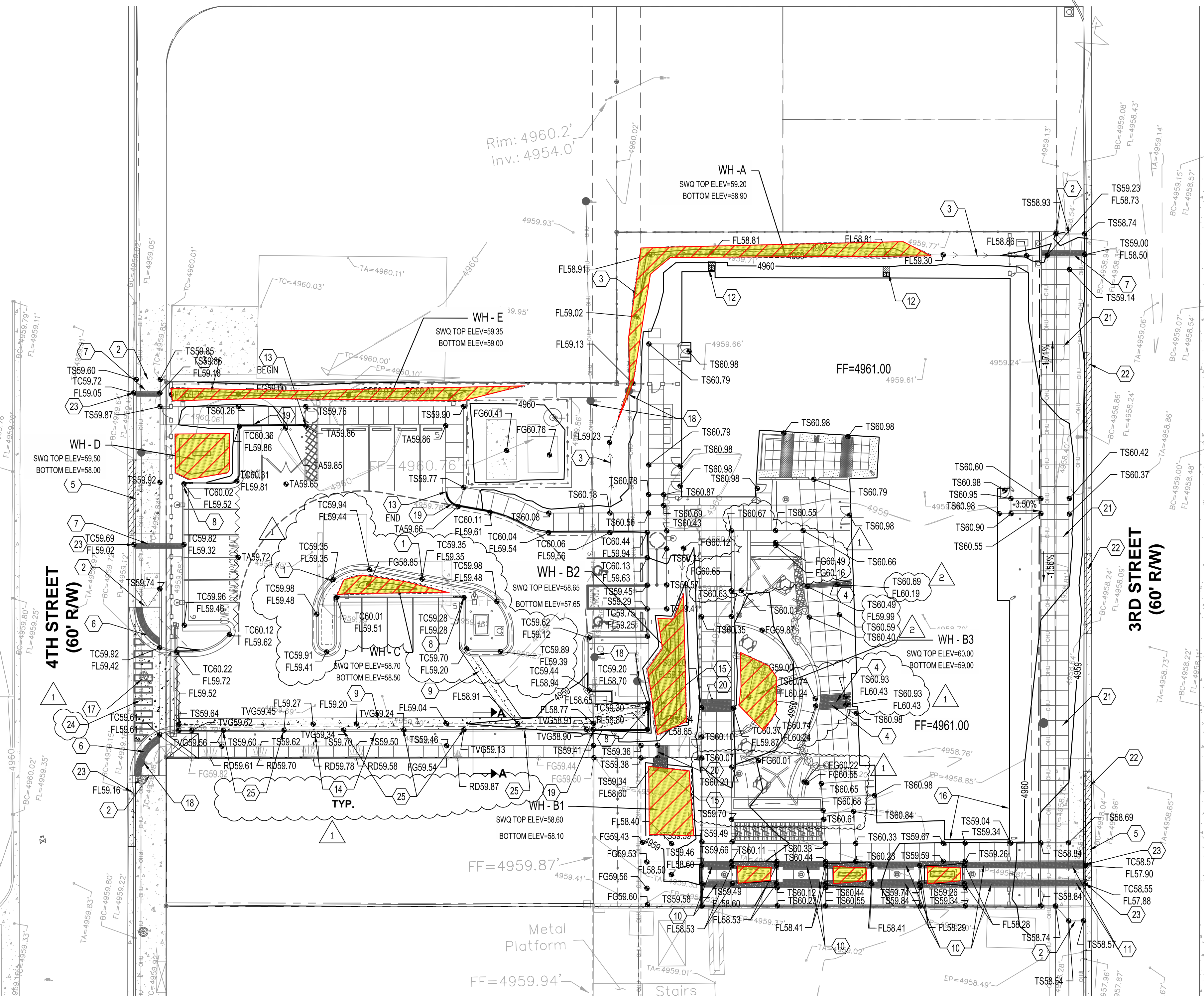
## GRADING KEYED NOTES

- INSTALL 12" CONCRETE CURB OPENING PER DETAIL 1.
- MATCH EXISTING ELEVATION.
- INSTALL RIP-RAP SWALE PER DETAIL 2.
- INSTALL 12" SIDEWALK CULVERT PER COA STD DWG 2236. EXTEND CONCRETE CULVERT TO BUILDING. CENTER ROOF DRAIN OVER CONCRETE CULVERT.
- REMOVE EXISTING DRIVE PAD AND REPLACE WITH SIDEWALK, CURB, AND GUTTER PER COA STD. DETAILS 2415 & 2430. SO-19 PERMIT MUST BE OBTAINED.
- INSTALL CURB ACCESS RAMP PER COA STD. DETAIL 2426 AND 2446. SO-19 PERMIT MUST BE OBTAINED.
- INSTALL 12" SIDEWALK CULVERT PER COA STD DWG 2236. SO-19 PERMIT MUST BE OBTAINED.
- INSTALL 24" CONCRETE CURB OPENING PER DETAIL 1.
- INSTALL 4" WIDE CONCRETE VALLEY GUTTER PER COA DETAIL 2420.
- INSTALL 2" WIDE CONCRETE SIDEWALK CULVERTS PER COA STD DWG 2236. MODIFY DETAIL TO ACCOUNT FOR VARIOUS DEPTHS. DEPTH OF CULVERT VARIES PER PLAN ELEVATIONS.
- INSTALL 2" WIDE CONCRETE SIDEWALK CULVERTS PER COA STD DWG 2236. MODIFY DETAIL TO ACCOUNT FOR VARIOUS DEPTHS OF CULVERT. DEPTH OF CULVERT VARIES PER PLAN ELEVATIONS. SO-19 PERMIT MUST BE OBTAINED.
- INSTALL CONCRETE SPLASH PAD AT DOWNSPOUT.
- INSTALL FLUSH CURB.
- INSTALL BOLLARDS 20' APART. SEE ARCHITECTURAL PLANS FOR DETAILS.
- INSTALL RIP RAMP PAD PER DETAIL 3.
- INSTALL RETAINING WALL. SEE STRUCTURAL PLANS.
- SEE UTILITY PLAN. IF WATER STRUCTURE IS TO REMAIN, ADJUST RIM OF WATER VALVE BOX TO MATCH PROPOSED SURFACE.
- EXISTING LIGHT POLE TO REMAIN IN PLACE AND BE PROTECTED.
- TRANSITION FROM FLUSH CURB TO 6" CURB & GUTTER.
- INSTALL 1-2" WIDE CONCRETE SIDEWALK CULVERT ADJACENT TO A 1-1" WIDE CONCRETE SIDEWALK CULVERT PER MODIFIED COA STD DWG 2236.
- INSTALL NEW SIDEWALK. SEE ARCHITECTURAL PLAN FOR DETAILS. SO-19 PERMIT MUST BE OBTAINED.
- REMOVE EXISTING FLUSH CURB AT NEAREST JOINT. INSTALL NEW STANDARD 8" CURB & GUTTER PER COA STD DWG 2415A. SO-19 PERMIT MUST BE OBTAINED.
- MATCH EXISTING FLOW LINE ELEVATION. CONTACT ENGINEER WITH ANY DISCREPANCIES.
- SAWCUT EXISTING ASPHALT AND INSTALL DRIVE PAD PER COA STD DWG 2425. SO-19 PERMIT MUST BE OBTAINED.
- RAISED CURB WITH DRAINAGE OPENINGS. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.

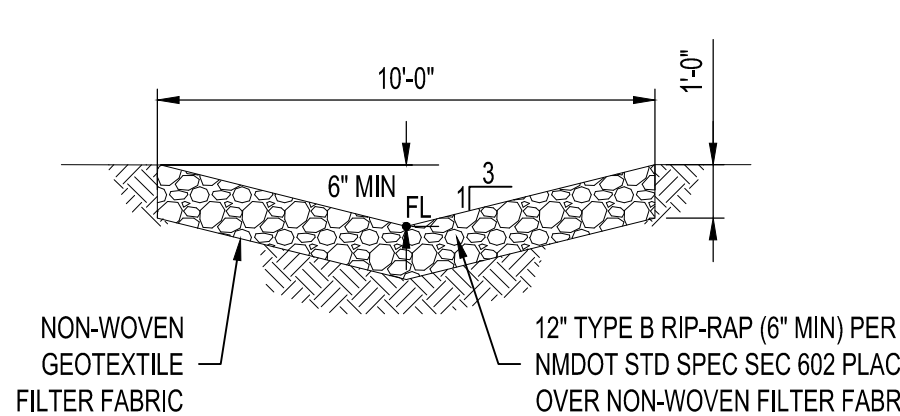


## LEGEND

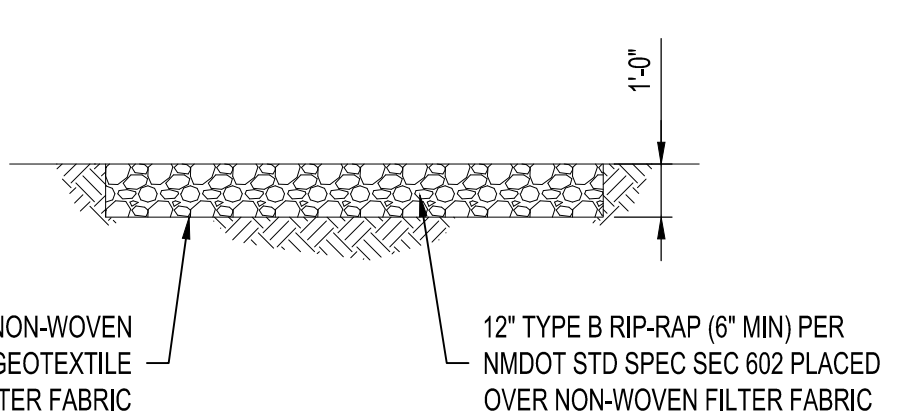
- PROPERTY LINE
- PROPOSED BUILDING FOOTPRINT
- LIMITS OF GRADING
- EXISTING EASEMENT
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- XX.XX EXISTING GROUND SPOT ELEVATION
- 5310 PROPOSED INDEX CONTOUR
- 5309 PROPOSED INTERMEDIATE CONTOUR
- XX.XX PROPOSED FINISHED GRADE SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK, RD=ROOF DRAIN, TVG=TOP OF VALLEY GUTTER.
- PROPOSED CURB & GUTTER
- XX% DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK
- EXISTING ROOF DRAINS
- RIP RAP
- DIRECTION OF FLOW AT FL OF SWALE
- STORM WATER QUALITY VOLUME AREA
- BOLLARDS



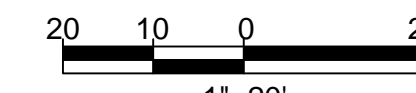
1 CURB CUT



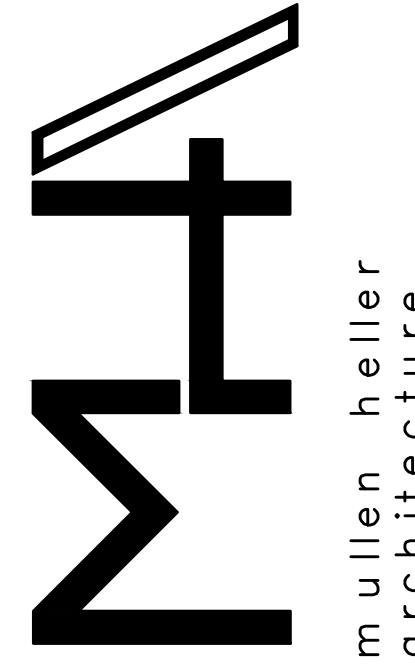
2 RIP-RAP SWALE



3 RIP-RAP PAD



REV	DATE	DESCRIPTION	BY	APP	FOR CONSTRUCTION SET	FINAL COORDINATION
1	9/29/20		AM	AM		



MULLEN HELLER  
ARCHITECTURE  
1718 CENTRAL AVE SW  
STE. D  
ALBUQUERQUE, NM  
87109  
P | 505.268.4144  
F | 505.268.4244  
www.mullenheller.com

JOB NUMBER 18-13

DRAWN BY RMM

PROJECT MGR AP

DATE 12-31-2019

PHASE DRB SUBMITTAL

PROJECT Hope Works | Hope Village  
1215 Third Street NW  
Albuquerque, NM 87102

TITLE GRADING PLAN

SHEET

C100

Bohannon & Huston  
www.bhinc.com 800.877.5332