

# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*

January 7, 2022

Doug Heller, R.A.  
Mullen Heller Architecture P.C.  
1718 Central Ave. SW  
Albuquerque, NM 87104

**Re: Hope Village, 1215 Third St. NW**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Architect's Stamp dated 5-11-20 (J14-D194)  
Certification dated 01-04-22

Dear Mr. Heller,

Based upon the information provided in your submittal received 01-04-22, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Jeanne Wolfenbarger at (505) 924-3991.

Sincerely,

*Jeanne Wolfenbarger*

Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\xxx via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Hopeworks | Hope Village **Building Permit #:** BP-2020-23827 **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** Lot 1 Hope Village, Block 6 Paris Addition  
**City Address:** 1215 Third St NW, Albuquerque NM 87102

**Applicant:** Mullen Heller Architecture **Contact:** Doug Heller  
**Address:** 1718 Central Ave SW, Albuquerque NM 87104  
**Phone#:** 505-268-4144 **Fax#:** 505-268-4244 **E-mail:** Doug@mullenheller.com

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** Jan 04, 2022 **By:** Doug Heller

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

January 04, 2022

Jeanne Wolfenbarger, P.E., Transportation Development  
Planning Department  
Development and Building Services Division  
City of Albuquerque  
600 2<sup>nd</sup> Street NW.  
Albuquerque, NM 87102

Re: **Permanent Certificate of Occupancy for  
Hope Works | Hope Village  
1215 Third Street NW  
Albuquerque, NM 87102**

Dear Ms. Wolfenbarger:

I, Doug Heller, NMRA with Mullen Heller Architecture P.C., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved Traffic Circulation Layout (Permit #BP-2020-23827). The attached As-Built Traffic Circulation Layout shows "redlined" revisions made to the site plan per construction coordination.

I further certify that I have personally visited the project site on Jan 03, 2022, and have determined by visual inspection that the information provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

The construction of the sitework matches the approved permit drawings with a few minor exceptions, which include:

- Four of the bicycle racks were relocated from the central rack bank. Two racks were moved to the east side of the central courtyard and the remaining two were relocated to the north. The total number of bicycle parking spaces remains unchanged.
- The motorcycle parking space was temporarily moved into the adjacent Compact Parking space in order to accommodate an existing PNM guywire. PNM has been contacted to remove the wire after the Certificate of Occupancy is issued. In the interim, we are counting one on-street parking space that was not previously utilized, in order to meet the minimum parking requirement. The 'Parking Provided' calculations have been adjusted accordingly. Once the guy wire is removed, the motorcycle signage will move to the approved location and the Compact space will be marked "COMPACT" for vehicular parking.
- A portion of the sidewalk and ADA ramp to the east of the ADA parking spaces has been removed per the approved site plan. This change does not impact the accessibility route of the site.
- In accordance with the approved Hydrology and Grading Plan, parking along the north end of the parking lot is flush with the adjacent sidewalk. Parking bumpers have replaced the 6" curb shown on the Traffic Circulation Layout. A ramp has been provided to the raised portion of the sidewalk to maintain accessibility.
- The vehicular access gate along 4<sup>th</sup> Street has not been installed at this time, but is scheduled to be installed later this week.
- Site fencing is approximately 75% complete and three of the pedestrian gates will be installed after this week. The completion of these gates does not affect vehicular circulation.

This certification is submitted in support for Permanent Certificate of Occupancy.

# MULLEN+HELLER

ARCHITECTURE. P.C.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

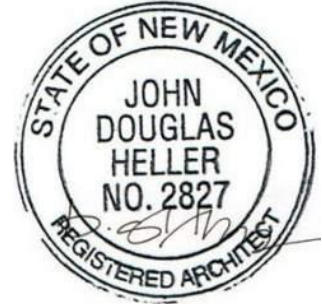
Please feel free to contact me if you have any questions.

Sincerely,

**Mullen Heller Architecture, PC**



Douglas Heller, AIA



Attachments: Site Photographs from visit conducted on 01/03/2022  
Approved TCL dated 05/11/2020 with as-built redlines dated 01/04/2022







Existing PNM guy wire is located in the motorcycle parking space. Motorcycle parking and signage have been temporarily moved to the adjacent compact parking space.



Parking spaces next to refuse are flush with the adjacent sidewalk. Parking bumpers have been installed at 18'-0".



New parking, island, site lighting, and fire hydrant.



Relocated bike racks in central courtyard.



