

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

January 7, 2022

Doug Heller, R.A.
Mullen Heller Architecture P.C.
1718 Central Ave. SW
Albuquerque, NM 87104

Re: Hope Village, 1215 Third St. NW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 5-11-20 (J14-D194)
Certification dated 01-04-22

Dear Mr. Heller,

Based upon the information provided in your submittal received 01-04-22, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Jeanne Wolfenbarger at (505) 924-3991.

Albuquerque

Sincerely,

NM 87103

Jeanne wolfenbarger

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

www.cabq.gov

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Hopeworks | Hope Village Building Permit #: BP-2020-23827 Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot 1 Hope Village, Block 6 Paris Addition

City Address: 1215 Third St NW, Albuquerque NM 87102

Applicant: Mullen Heller Architecture Contact: Doug Heller

Address: 1718 Central Ave SW, Albuquerque NM 87104

Phone#: 505-268-4144 Fax#: 505-268-4244 E-mail: Doug@mullenheller.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes No

DEPARTMENT TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) _____
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- OTHER (SPECIFY) _____

DATE SUBMITTED: Jan 04, 2022 By: Doug Heller

COA STAFF: _____

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

January 04, 2022

Jeanne Wolfenbarger, P.E., Transportation Development
Planning Department
Development and Building Services Division
City of Albuquerque
600 2nd Street NW.
Albuquerque, NM 87102

Re: **Permanent Certificate of Occupancy for
Hope Works | Hope Village
1215 Third Street NW
Albuquerque, NM 87102**

Dear Ms. Wolfenbarger:

I, Doug Heller, NMRA with Mullen Heller Architecture P.C., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved Traffic Circulation Layout (Permit #BP-2020-23827). The attached As-Built Traffic Circulation Layout shows "redlined" revisions made to the site plan per construction coordination.

I further certify that I have personally visited the project site on Jan 03, 2022, and have determined by visual inspection that the information provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

The construction of the sitework matches the approved permit drawings with a few minor exceptions, which include:

- Four of the bicycle racks were relocated from the central rack bank. Two racks were moved to the east side of the central courtyard and the remaining two were relocated to the north. The total number of bicycle parking spaces remains unchanged.
- The motorcycle parking space was temporarily moved into the adjacent Compact Parking space in order to accommodate an existing PNM guywire. PNM has been contacted to remove the wire after the Certificate of Occupancy is issued. In the interim, we are counting one on-street parking space that was not previously utilized, in order to meet the minimum parking requirement. The 'Parking Provided' calculations have been adjusted accordingly. Once the guy wire is removed, the motorcycle signage will move to the approved location and the Compact space will be marked "COMPACT" for vehicular parking.
- A portion of the sidewalk and ADA ramp to the east of the ADA parking spaces has been removed per the approved site plan. This change does not impact the accessibility route of the site.
- In accordance with the approved Hydrology and Grading Plan, parking along the north end of the parking lot is flush with the adjacent sidewalk. Parking bumpers have replaced the 6" curb shown on the Traffic Circulation Layout. A ramp has been provided to the raised portion of the sidewalk to maintain accessibility.
- The vehicular access gate along 4th Street has not been installed at this time, but is scheduled to be installed later this week.
- Site fencing is approximately 75% complete and three of the pedestrian gates will be installed alter this week. The completion of these gates does not affect vehicular circulation.

This certification is submitted in support for Permanent Certificate of Occupancy.

MULLEN HELLER

ARCHITECTURE. P.C.

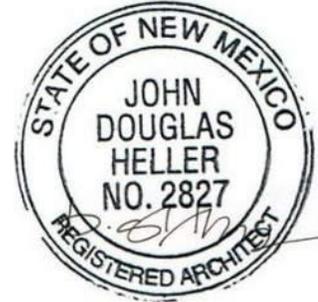
The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Please feel free to contact me if you have any questions.

Sincerely,
Mullen Heller Architecture, PC



Douglas Heller, AIA



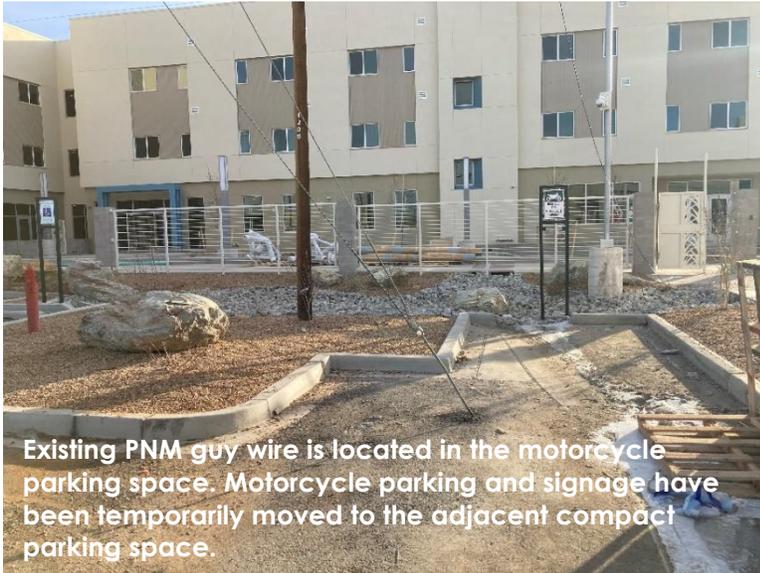
Attachments: Site Photographs from visit conducted on 01/03/2022
Approved TCL dated 05/11/2020 with as-built redlines dated 01/04/2022



New 4th St access and compact parking spaces.
Vehicular gate to be installed later this week.



New accessible parking spaces and signage.



Existing PNM guy wire is located in the motorcycle parking space. Motorcycle parking and signage have been temporarily moved to the adjacent compact parking space.



Parking spaces next to refuse are flush with the adjacent sidewalk. Parking bumpers have been installed at 18'-0".



New parking, island, site lighting, and fire hydrant.



Relocated bike racks in central courtyard.

**FINAL C.O. APPROVAL
WORK MUST BE COMPLETE
AND ACCEPTED**

**CONDITION: WORK
ORDER MUST BE
COMPLETED & ACCEPTED**

**TRAFFIC CIRCULATION LAYOUT
APPROVED**

Signed _____ Date **5-11-20**

**CITY OF ALBUQUERQUE
PLANNING**

PROJECT DESCRIPTION: HOPE VILLAGE, CO-DEVELOPMENT OF HOUSING, INCLUDING HOPEWORKS, IS A 42 UNIT SINGLE-SITE PERMANENT SUPPORTIVE HOUSING PROJECT FOR THE MOST VULNERABLE INDIVIDUALS WITH BEHAVIORAL CHALLENGES AND/OR CO-OCcurring mental health conditions who require 24-hour supervision and supportive services.

PROJECT ZONING: MX-M (COMMUNITY RESIDENTIAL FACILITY) MS AND PT CORRIDORS

APPROVED

The Approval of these plans shall not be construed to be a permit for any violations of any code or ordinance of this city.

VICINITY MAP

PERMIT # **BP-2020-23827**

DATE: **07/09/20**

printed copy of these plans shall be on the job site for all requested inspections.

GENERAL NOTES:
[A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
[B] SIGNING AND SIGNING WILL NOT INTERFERE WITH CITY REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
[C] ANY OVERHANGING OR OVERHANGING INTO THE ROW FROM CANOPY, ROOF LINES, ETC., WILL REQUIRE AN ANNUAL REVIEWABLE ENCROACHMENT PERMIT.
[D] ALL EXISTING SURROUNDING LANDSCAPING, SHALL PROVIDE OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING). ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.
[E] ALL CURBS CUTS LOCATED IN THE RIGHT OF WAY MUST BE RELOCATED TO A PUBLIC TRUCK COVER WITH 18" MINIMUM CLEARANCE.
[F] SIDEWALK AREAS TO BE SHADED ALONG THE PRIMARY FACADE OF BUILDING.
[G] CURB CUTS MUST BE REPLACED WITH SIDEWALK APPROX. 4" ABOVE GUTTER. REFER TO COA STANDARD DETAILS 2414 (SIDEWALK) AND 2415 (CURB & GUTTER).
[H] THE 10' x 4' WIDE MINIMUM ADA-ACCESSIBLE PATHWAY IS REQUIRED FROM 3RD AND 4TH STREET TO THE BUILDING MAIN ENTRANCES.

KEYED NOTES:
[1] EXISTING ASPHALT PAVED ROAD.
[2] EXISTING CITY STANDARD SIDEWALK.
[3] EXISTING CONCRETE CURB TO REMAIN.
[4] EXISTING PROPERTY LINE.
[5] EXISTING 16' UTILITY EASEMENT.
[6] EXISTING 8' UTILITY EASEMENT.
[7] EXISTING UTILITY POLE.
[8] EXISTING WATER METER MANHOLE. UPGRADE TO TRAFFIC RATED AS REQUIRED.
[9] EXISTING CELL PHONE TOWER AND FENCED ENCLOSURE.
[10] EXISTING CELL PHONE TOWER EASEMENT.
[11] PROPOSED REFUSE ENCLOSURE.
[12] PROPOSED LANDSCAPING AREA.
[13] PROPOSED HANDICAP PAVEMENT SIGN.
[14] PROPOSED CONCRETE BUMPER, TYPICAL AT EACH HANDICAP PARKING SPACE.
[15] PROPOSED STRIPED HANDICAP AISLE WITH 2" WIDE x 12" HIGH PAINTED LETTERING "NO PARKING" PER 66-1-4.1.8 NMSA 1978. LETTERING SHALL BE LOCATED ADJACENT TO THE REAR TIRE.
[16] PROPOSED ASPHALT PAVING.
[17] PROPOSED SITE LIGHTING. SEE GENERAL NOTES.
[18] PROPOSED BIKE RACK WITH 10 SPACES. REFER TO SITE DETAILS ON SHEET A003.
[19] PROPOSED CONCRETE SIDEWALK WITH CONTROL JOINTS EVERY 5'-0" AND EXPANSION JOINTS EVERY 20'-0".
[20] PROPOSED CONCRETE CURB AND GUTTER. (COA STD DETAIL 2415)
[21] PROPOSED MOUNTABLE CONCRETE CURB AND GUTTER. (COA STD DETAIL 2415)
[22] PROPOSED HANDICAP PARKING SIGN, "VAN" WHERE NOTED. SIGN TO BE NOTED PER 66-7-352.4C NMSA 1978. "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING".
[23] PROPOSED MOTORCYCLE PARKING STALL WITH SIGN.
[24] PROPOSED HANDICAPPED RAMP.
[25] PROPOSED CITY STANDARD HC RAMPED CURB (COA STD DETAILS 2418, 2440, & 2441) AT NEW PRIVATE DRIVE ACCESS. INSTALL TRUNCATED DOMES PER COA STANDARDS.
[26] PROPOSED (6" MINIMUM) SIDEWALK CONNECTION TO PUBLIC SIDEWALK. SEE DIMENSIONS FOR WIDTH.
[27] PROPOSED CURB CUT.
[28] PROPOSED PAINTED CROSSWALK STRIPING. 2'-0"x6'-0" STRIPES AT 6'-0" ON CENTER.
[29] PROPOSED PAINTED PAVEMENT STRIPING.
[30] THE NEW CURB CUT INTO EXISTING CURB/GUTTER.
[31] PROPOSED STORM WATER PONDING AREA.
[32] PROPOSED ELECTRICAL TRANSFORMER AND CONCRETE PAD. REFER TO ELECTRICAL.
[33] PROPOSED RAISED CONCRETE PLANTER WITH LANDSCAPING.
[34] THE NEW SIDEWALK INTO EXISTING FIELD. VERIFY.
[35] PROPOSED WALL MOUNTED IRRIGATION CONTROL BOX. REFER TO LANDSCAPE.
[36] PROPOSED IRRIGATION BACKFLOW PREVENTOR IN HOT BOX. REFER TO LANDSCAPE.
[37] PROPOSED BUILDING-MOUNTED FIRE DEPARTMENT CONNECTION (FDC).
[38] PROPOSED REMOTE POST INDICATOR VALVE (PIV).
[39] PROPOSED FIRE HYDRANT.
[40] DASHED LINE DENOTES EXTENTS OF PAINTED CURB FIRE LANE.
[41] PROPOSED AUTOMATIC VEHICLE ACCESS GATE WITH FIRE DEPARTMENT KNOX BOX.
[42] PROPOSED PEDESTRIAN ACCESS GATE WITH ACCESS CONTROL AND FIRE DEPARTMENT KNOX BOX.
[43] PROPOSED DECORATIVE FENCING.
[44] PROPOSED OVERHEAD POWER POLE BY PNM.
[45] PROPOSED 6" STEEL PIPE, CONCRETE FILLED BOLLARD, TYPICAL AT PIV, DUMPSTER ENCLOSURE, AND TRANSFORMER LOCATIONS.
[46] LINE OF BUILDING OVERHANG.
[47] BUILDING MOUNTED LIGHTING AT MAXIMUM HEIGHT OF 15' AFF. REFER TO SITE LIGHTING GENERAL NOTES.
[48] LANDSCAPED COURTYARD.
[49] LINE OF 11' MINI SIGHT TRIANGLE AT PROPOSED DRIVEWAY.
[50] TAPERED SIDEWALK CONNECTION.
[51] 12" WIDE CONCRETE COLLAR ALL AROUND BICYCLE SPACES TO DESIGNATE 1'-0" CLEAR ZONE.
[52] INFILL EXISTING UNUSED CURB CUT WITH NEW SIDEWALK AND CURB/GUTTER TO MATCH EXISTING. REFER TO COA STANDARD DETAILS 2430 (SIDEWALK) AND 2415 (CURB & GUTTER).
[53] LINE OF OLD PROPERTY LINE VACATED PER RECORDED REPLAT.
[54] LINE OF NEW PROPERTY LINE PER RECORDED REPLAT - DEDICATES 5'-0" ADDITIONAL R.O.W. TO CITY OF ALBUQUERQUE IN FEE SIMPLE. NEW SIDEWALK TO ABUT NEW PROPERTY LINE.
[55] NEW VALLEY GUTTER AT NEW DRIVE ENTRANCE PER COA STD DETAILS 2420 & 2426.
[56] NEW 2' WIDE MINIMUM CONCRETE CURB APRON AT EACH SIDE OF REFUSE ENCLOSURE.
[57] PROPOSED "COMPACT" PARKING STALL WITH 4" WIDE WHITE PAVEMENT LETTERING. 7'-6" WIDE x 15'-0" DEEP MINIMUM. SIZE AS DIMENSIONED.
[58] EXISTING RECESSED UTILITY PULL BOX TO REMAIN. VERIFY IN FIELD.

SITE

1515 3rd Street Northwest

ZONING MAP

J-14-Z

LEGAL DESCRIPTION:
LOT 1, HOPE VILLAGE BLOCK 6, PARIS ADDITION CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BUILDING AREA:
GROSS AREA: 12,506 SF
FIRST FLOOR GROSS AREA: 12,756 SF
SECOND FLOOR GROSS AREA: 12,756 SF
THIRD FLOOR GROSS AREA: 12,756 SF
TOTAL GROSS BUILDING AREA: 38,018 SF

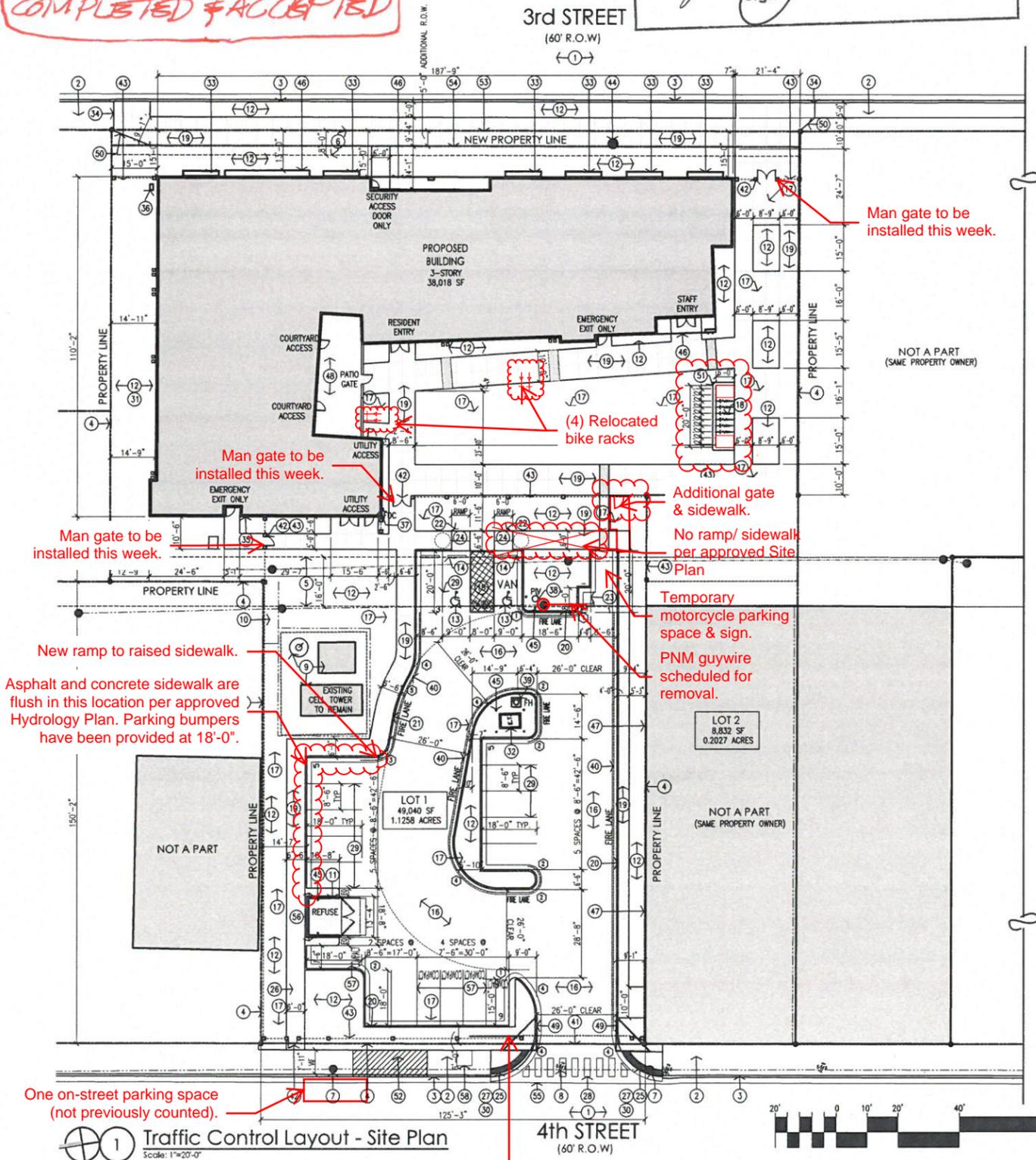
CLEAR SIGHT TRIANGLE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE WITHIN THE CLEAR SIGHT TRIANGLE.

PARKING CALCULATIONS:

MINIMUM PARKING REQUIRED PER IDO SECTION 5-5-1 AND TABLE 5-5-1, FOR THE PURPOSES OF PARKING REQUIREMENTS, THE FACILITY SHALL BE CONSIDERED A COMMUNITY RESIDENTIAL FACILITY. THE PROJECT IS ZONED MX-M & LOCATED WITHIN MAIN STREET (MS) & PREMIUM TRANSIT (PT) CORRIDORS.

THE BUILDING INCLUDES 42, SINGLE-OCCUPANCY UNITS, FOR A TOTAL OF 42 RESIDENTS WITHIN THE COMMUNITY RESIDENTIAL FACILITY. THE GROUND LEVEL INPATIENT CUSTODIAL CARE OFFICES AREAS SHALL BE CONSIDERED STANDARD OFFICES.

RESIDENTIAL (UC-MS-PT): COMMUNITY RESIDENTIAL FACILITY	CALCULATION	REQUIRED
1 SPACE PER 4 PERSONS	42 / 4 = 10.5 SPACES =	10 SPACES*
OFFICE: (UC-MS-PT)	CALCULATION	REQUIRED
2.5 SPACES PER 1,000 SF	12,506 SF / 1000 = 12.506 12,506 x 2.5 = 31.26	31 SPACES*
SUBTOTAL		41 SPACES REQUIRED
50% REDUCTION IN PREMIUM TRANSIT AREAS [5-5(c)(5)(c)]		41 x .5 = 20.5 SPACE REDUCTION
TOTAL		21 SPACES REQUIRED
		21 SPACES PROVIDED:
		1 On-Street
		14 STANDARD
		4.5 COMPACT**
		2 ADA-ACCESSIBLE
IDO SECTION [5-5(d)]: MOTORCYCLE PARKING:	1 SPACE REQUIRED	1 SPACE PROVIDED
IDO SECTION [5-5(e)]: BICYCLE PARKING:	3 SPACES REQUIRED	10 SPACES PROVIDED



ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

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JOB NUMBER 18-13
DRAWN BY SEJ/JAG/MW
PROJECT MGR JDH
DATE 5-11-2020
PHASE TCL

PROJECT Hope Works | Hope Village
1215 Third Street NW
Albuquerque, NM 87102

TITLE Traffic Circulation Layout

SHEET **TCL**